

HERMOSA TOWN BOARD  
REGULAR MEETING  
TUESDAY, MAY 3, 2022 @ 6:00pm



- 1) **ROLL CALL:**
  - A. BOT Roll Call: Henrichsen, Holsworth, Kramer, Schumack
  - B. Acknowledgement of other Attendees
  - C. Pledge of Allegiance to be led by Holsworth
  
- 2) **PUBLIC HEARING:**
  - A. Public Hearings on the Resolution of Intent to Annex – Fairgrounds Place
  - B. Public Hearings on the Resolution of Intent to Annex – Gumbo Lily
  - C. Public Hearings on the Resolution of Intent to Annex – McDermand Street
  - D. Adjournment of Public Hearing, Reconvene into Regular Session
  
- 3) **CALL FOR CHANGES:**
  - A. Review of current agenda items
  - B. Motion to accept the agenda as presented/amended
  
- 4) **CONSENT CALENDAR:**
  - A. Approval of the April 18, April 19, April 22, and April 25 Special and Regular meeting minutes
  
- 5) **CLAIMS:**
  - A. Review payroll and claims
  - B. Motion to approve the claims as presented/amended
  
- 6) **LAW ENFORCEMENT/ ABATEMENTS/COMPLAINTS:**
  - A. Committee report
  - B. Homeland Security Grant Award
  - C. Custer County Log
  - D. Custer County contract for law enforcement
  
- 7) **LEGAL:**
  - A. Prepare Extraterritorial Agreement with Pennington County (Platting, Building)  
Letter to Pennington County
  
- 8) **ENGINEER:**
  - A. Water Rehab Project (WRT System): pending due to awaiting results from water test
  - B. Hermosa Sidewalk Project
  - C. Sewer Project (Lagoon expansion)
  - D. Water/Sewer Facility Plans
  - E. Town of Hermosa Water and Sewer Extension Project  
Approval of Change Order 2
  - F. Hermosa Hills Drainage
  - G. Whitney Street Drainage  
SDARWS Report
  - H. Hermosa School Certificate of Occupancy
  - I. 5<sup>th</sup> Street repair discussion
  - J. Roy's Drive In Sewer Line
  - K. Waive Staff Report Fee on Permit 2022-07
  - L. Facility Plan for Booster, Water Meters
  
- 9) **PLANNING & ZONING:**
  - A. P&Z April 26, 2022, minutes
  - B. Permit 2022-10; Subdivision Plat Application; Lone Coyote Subdivision
  - C. Permit 2022-14; Digging/Grading; Mt. Rushmore Telephone; Fiber Optic Telecommunications Line Upgrade

- 10) **PUBLIC WORKS**  
A. Committee Report  
B. Streets, Street Light Repairs, Water & Sewer Department Updates  
C. Land Application Contract  
D. SDARWS  
    Daily readings/spreadsheet?  
E. Booster pump fitting  
    Ferguson bid proposal
- 11) **FINANCE OFFICE:**  
A. 2021 Annual Report  
B. Department updates  
C. Information request form
- 12) **OLD BUSINESS:**  
A. Annexation: Gumbo Lilly, Fairgrounds Place, McDermand Street  
B. Town Sign, pending  
C. Town Office: Deck Staining, pending  
D. Library: Deck Staining, Mud Jacking, pending
- 13) **NEW BUSINESS:**  
A. Malt Beverage, Liquor License  
    Operating Agreement  
B. Food Pantry, Lease approval, pending  
C. Robert (Bob) King Resignation  
D. Appoint BOT Vice President  
    Approval of bank signature card
- 14) **ITEMS FROM CITIZENS:** No action will be taken (3-minute time limit per speaker)
- 15) **TRUSTEE INPUT:**
- 16) **EXECUTIVE SESSION:**  
A. Motion to enter Executive Session allowable by SDCL 1-25-2.1 – Legal/Personnel/Contract  
B. Motion to exit out of Executive Session  
C. Motions resulting from Executive Session
- 17) **ADJOURN:**  
Motion by \_\_\_\_\_; second by \_\_\_\_\_ to adjourn the meeting at \_\_\_\_\_ pm.

## RESOLUTION 03-2022

### RESOLUTION OF INTENT TO ANNEX CONTIGUOUS PROPERTY

**WHEREAS**, the Board of Trustees of the Town of Hermosa has statutory authority conducted a study pursuant to SDCL § 9-4-1.1 prior to holding the public hearing required as part of a municipality-initiated annexation of property, and

**WHEREAS**, the Town of Hermosa duly appointed engineer, ACES, has completed the Annexation Study required by that law, and

**WHEREAS**, that Annexation Study is focused upon the platted contiguous to portions of the present boundary of the Town of Hermosa, all contained within Section 29 and Section 30, Township 2 South, Range 8 East, Custer County, South Dakota, and

**WHEREAS**, those subject properties are within the area where the growth of the Town of Hermosa can be accommodated to provide for the orderly growth and development of the Town of Hermosa, and

**WHEREAS**, a map of the areas subject to this Resolution is attached as Exhibit "A" and incorporated herein by this reference.

**NOW, THEREFORE, BE IT RESOLVED** the Board of Trustees for the Town of Hermosa hereby declares an, "Intent to Annex" the following contiguous territory:

1. The territory subject to this Resolution of Intent to Annex Contiguous property consists of platted non-agricultural territory as defined at SDCL § 9-4-5 and SDCL § 10-6-31 as follows:

Description:

- a. Lot B-1 of Fairgrounds Place Subdivision of Lot B, located in the NE1/4NE1/4 of Section 32, Township 2 South, Range 8 East of the Black Hills Meridian, Custer County, South Dakota, as shown on plat filed in Book 12 of Plats, Page 267
- b. Lot B-2 and B-3 of Fairgrounds Place Subdivision of Lot B, located in the NE1/4NE1/4 of Section 32, Township 2 South, Range 8 East of the Black Hills Meridian, Custer County, South Dakota, as shown on the plat filed in Book 12 of Plats, Page 267; subject to covenants, restrictions, declarations, reservations, rights-of-way, and easements of record, if any.
- c. Lot C of Replat of Lot A in the NE1/4NE1/4 of Section 32, Township 2 South, Range 8 East of the Black Hills Meridian, Custer County, South Dakota, as shown on Plat filed in Plat Book 2, Page 139, in the office of the Register of Deeds of Custer County, South Dakota (DOE #4143)
- d. Lot 1A of Lot 1 of Lot D of Lot A of the Northeast Quarter of the Northeast Quarter (NE1/4NE1/4) of Section 32 in Township 2 South of Range 8 East of the Black Hills meridian, Custer County, South Dakota, as shown on the plat filed in Book 4 of Plats, Page 47.

- e. Lot 2A, as described in Re-plat of Lot 1 of Lot D of Lot A into Lot 1A and 2A of Lot 1 of Lot D of Lot 1A, located in the NE/1/4NE1/4 of Section 32, Township 2 South, Range 8 East of the Black Hills Meridian, Custer County, South Dakota
  - f. Lot 2 of Lot D of Lot A in the Northeast Quarter of the Northeast Quarter of Section 32 in Township 2 South of Range 8 East of the Black Hills meridian, as shown on the plat filed in Plat Book 4, Page 14.
  - g. Waner Tract 2 of NE1/4NE1/4, Section 32, T2S, R8E, BHM, Custer County, South Dakota, together with all improvements and appurtenances thereon and subject to easements, rights-of-way, restrictions, reservations, declarations, and covenants of record.
  - h. Waner Tract 1 and Waner Tract 2 of NE1/4 NE1/4, Section 32, T2S, R8E, BHM, Custer County, South Dakota Formerly Lot 1 of NE 1/4 NE 1/4 Section 32
  - i. Neugebauer Tract 2 & 3 Located in E 1/2, NE 1/4, Section 32, T2S, R8E, BHM, Custer County
  - j. PT of W2E2NE4 SEC 32 T2 R8 MHBL5 – Neugebauer Tract 3, Located in E ½, N ¼, Section 32, T2S R8E, BHM Custer County
  - k. Section 29; Part of SW1/4 of NE1/4, Part of NW1/4 of SE1/4, N1/2 of NE1/4. Balance of S1/2 of SE1/4 of SE1/4(less Lot St. Michael's and Lot Legion of North Corral Subdivision) Lot Access in G&G Subdivision in SW1/4 of NE1/4
  - l. Lot St. Michael's of North Corral Subdivision located in the S1/2 SE1/4 SE1/4 of Section 29, Township 2 South, Range 8 East of the Black Hills Meridian, Custer County, SD as shown on the plat filed in book 12 of Plats Page 6145, together with all improvement and appurtenances thereon and subject to easements, rights-of-way, restrictions, reservations, declarations, and covenants of record.
  - m. Lot Legion of North Corral Subdivision located in the S1/2 SE1/4 of section 29, township 2 south, range 8 east of the Black Hills Meridian, Custer County, SD as shown on the plat filed in book 12 of plats, page 614, together with all improvement and appurtenances thereon and subject to easements, rights-of-way, restrictions, reservations, declarations, and covenants of record.
2. That ample and suitable resources exist to accommodate the orderly growth and development of the contiguous territories as evidenced by the Town of Hermosa's current provision of many of the Town of Hermosa services to the areas and consistent with the Annexation Study.
  3. The estimated difference in tax assessment rate for the residents in the contiguous territory is 0.32 percent.

4. That exclusions or irregularities in municipal boundary lines are not the result of arbitrariness but are based upon existing geographical features, physical barriers, existing property boundaries, existing occupancies and uses, and existing municipal boundaries.
5. That there is reasonable present and demonstrable future need for annexing the contiguous territories in accordance with the Annexation Study; and
6. That population and census data indicate that the municipality has or may experience growth or development beyond its present boundaries.
7. There exists a community of interest between the contiguous territories as described above and the Town of Hermosa.

**NOW, THEREFORE, BE IT RESOLVED** that as a result of this Resolution of Intent to Annex Contiguous Properties, the Town of Hermosa has completed the first step to change the corporate limits of the Town of Hermosa so that same may be extended to include the above-described properties.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2022

**TOWN OF HERMOSA**

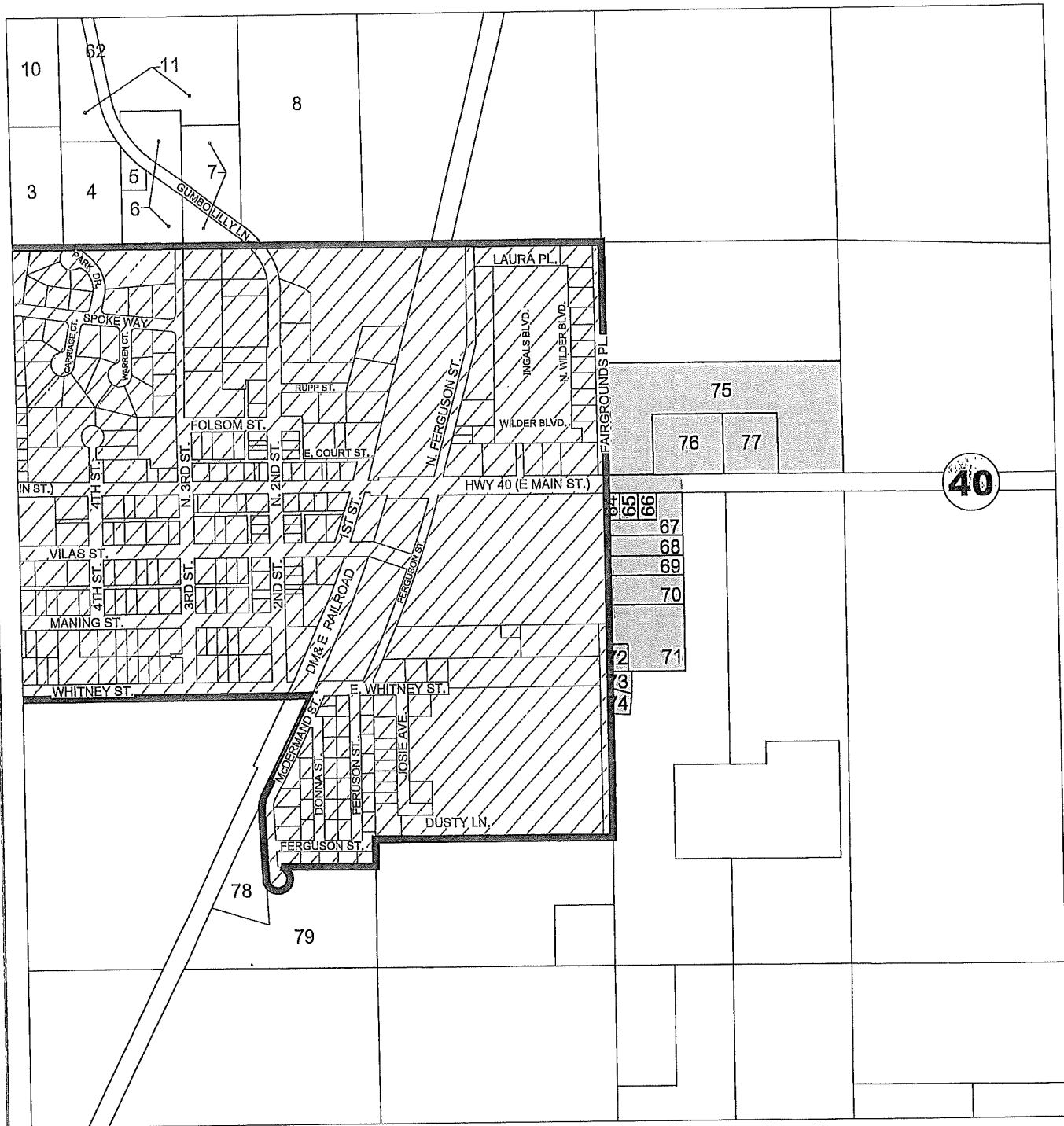
\_\_\_\_\_  
Dan Holsworth  
President – Board of Trustees

ATTEST:

\_\_\_\_\_  
Gail Boddicker, Finance Officer




Published: \_\_\_\_\_  
Effective Date: \_\_\_\_\_

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HORIZ. SCALE: 1"=800'  
Original Sheet Size 8.5"x11"

**LEGEND**

-  TOWN OF HERMOSA MUNICIPAL BOUNDARY
-  ANNEXATION AREA 'B'
-  PROPERTY LINE

TITLE: **MAP**

TOWN OF HERMOSA  
**ANNEXATION AREA 'B'**

SHEET NUMBER: **1 of 1**

HERMOSA, CUSTER COUNTY, SOUTH DAKOTA

REVISIONS: DATE:

DRAWN BY: LB/AV CHECKED BY: LB

ACES PROJECT NO: DATE:

21-1144h 3/17/2022

**ACES**

AFFORDABLY CREATIVE ENGINEERING SERVICES

**AFFORDABLY CREATIVE ENGINEERING SERVICES, INC.**

324 Saint Joseph Street, Suite 200, Rapid City, SD 57701  
(605) 716-4948 \* Fax (605) 716-1144

## RESOLUTION 04-2022

### RESOLUTION OF INTENT TO ANNEX CONTIGUOUS PROPERTY

**WHEREAS**, the Board of Trustees of the Town of Hermosa has statutory authority conducted a study pursuant to SDCL § 9-4-1.1 prior to holding the public hearing required as part of a municipality-initiated annexation of property, and

**WHEREAS**, the Town of Hermosa duly appointed engineer, ACES, has completed the Annexation Study required by that law, and

**WHEREAS**, that Annexation Study is focused upon the platted contiguous to portions of the present boundary of the Town of Hermosa, all contained within Section 29, Township 2 South, Range 8 East, Custer County, South Dakota.

**WHEREAS**, those subject properties are within the area where the growth of the Town of Hermosa can be accommodated to provide for the orderly growth and development of the Town of Hermosa, and

**WHEREAS**, a map of the areas subject to this Resolution is attached as Exhibit "A" and incorporated herein by this reference.

**NOW, THEREFORE, BE IT RESOLVED** the Board of Trustees for the Town of Hermosa hereby declares an, "Intent to Annex" the following contiguous territory:

1. The territory subject to this Resolution of Intent to Annex Contiguous property consists of platted non-agricultural territory as defined at SDCL § 9-4-5 and SDCL § 10-6-31 as follows:

Description:

- W1/2SW1/4NW1/4SW1/4 Less Lot H1 as shown on Plat filed in Book 11 of Plats, Page 322; and E1/2SW1/4NW1/4SW1/4; W1/2SE1/4NW1/4SW1/4; and W1/2NE1/4NW1/4SW1/4; all of Section 29 in Township 2 South Range 8 East of the Black Hills Meridian, Custer County, South Dakota
- Lots 4 and 5 of Bush Subdivision, located in the NE1/4SW1/4 of Section 29, T2S, R8E, BHM, Custer County, South Dakota, as shown on Plats recorded in Book 6 of Plats, Page 152 and in Book 7 of Plats, Page 57
- Lot 3 of Bush Subdivision located in the NE1/4SW1/4, Section 29, Township 2 South, Range 8, East, BHM, Custer County, South Dakota, as described in plat recorded on October 21, 1975, at 1:35 PM in Book 6 of Plats, Page 152, in the Office of the Register of Deeds, Custer County, South Dakota, containing 5.013 acres, more or less.

- Lot 2 of Bush Subdivision as shown on the plat filed in Plat Book 6, Page 152, situated in the W1/4 in E ¼ SW ¼ of Section 29, T2S, R8E, BHM in Custer County, South Dakota.
- The East Half of the Northeast Quarter of the Southwest Quarter (E1/2NE1/4SW1/4) of Section Twenty-nine (29), Township Two South (T2S), Range Eight East (R8E) of the Black Hills Meridian
- The South Half (S1/2) of the Northwest Quarter (NW1/4) of the Northwest Quarter (NW1/4) of the Southwest Quarter (SW1/4) of Section Twenty-nine (29), Township Two (2) South, Range Eight (8) East of the Black Hills Meridian, Custer County, South Dakota, containing 5 acres, more or less
- Lot One R (1R) of Bush Subdivision, located in the Northwest Quarter of the Southwest Quarter (NW1/4SW1/4) and Northeast Quarter of the Southwest Quarter (NE1/4SW1/4) of Section Twenty-Nine (29), Township Two South (T2S), Range Eight East of the Black Hills Meridian (R8E BHM), Custer County, South Dakota, as shown on the plat filed in Book 11 of Plats, Page 266.
- S1/2SW1/4 of the SW1/4 NW1/4(Less Lot H1) located in Section 29, Township 2 South, Range 8 East of the Black Hills Meridian, Custer County, South Dakota. (DOE #4119)
- The Southeast Quarter of the Southwest Quarter of the Northwest Quarter (SE1/4SW1/4NW1/4) of Section 29 in Township 2 South of Range 8 East of the Black Hills Meridian, Custer County, South Dakota. The Southeast Quarter of the Northwest Quarter (SE1/4 of the NW1/4) less OT of the TR's B&C of Gabel Subdivision, Section Twenty-nine (29), Township Two South (T2S), Range Eight East (R8E) of the Black Hills Meridian in Custer County, South Dakota, 37.06 ± acres, and SE4NW4 (Less TR'S B&C of Gabel Subd) SEC 29 T2 R8 37.06 AC 0020802900000500
- Lot BR of C and J Subdivision (formerly a portion of Lot 1 of C and J Subdivision) located in the SW1/4NW1/4 of Section 29, Township 2 South, Range 8 East of the Black Hills meridian, Custer County, South Dakota as shown on the Plat recorded in Book 12 of Plats, Page 96.
- Lot C of C & J Subdivision (formerly a portion of Lot 1 of C and J Subdivision) located in the SW1/4NW1/4 of Section 29, Township 2 South, Range 8 East of the Black Hills Meridian, Custer County, South Dakota, as shown on Plat filed in Book 12 of Plats, Page 96 (DOE #4118)
- The west half of the Northeast Quarter of the Southwest Quarter of the Northwest Quarter (W 1/2, NE 1/4, SW 1/4, NW 1/4) of Section Twenty-nine (29), Township two (2) South, Range Eight (8) East of the Black Hills Meridian, Custer County, SD containing 5 acres, more or less

- W1/2 E1/2, W1/2 of Section 33 in Township 2 South, Range 11 East of the Black Hills Meridian
- W1/2 E1/2, W1/2 of Section 3,
- NE1/4, E1/2 NW1/4, NW1/4 NW1/4, E1/2 SE1/4 of Section 4,
- E1/2, E1/2 W1/2 of Section 9,
- All of Section 10,
- All of Section 11,
- W1/2 W1/2 NE1/4 NW1/4 SE1/4 SW1/4 of Section 12,
- W1/2 NW1/4 of Section 14,
- N1/2 N1/2, SE1/4 NE1/4, NE1/4 SE1/4 of Section 15,
- N1/2, N1/2 S1/2 of Section 16 all in Township 3 South, Range 11 East of the Black Hills Meridian.
- Tract A of the Northwest Quarter (NW1/4) of Northwest Quarter (NW1/4). Section Twenty-nine (29), Township Two (2) South, Range Eight (8) East, Black Hills Meridian, Custer County, South Dakota.
- Lot 17, 18. And 19 of Tract C of Gable Subdivision located in the Northwest Quarter (NW1/4) of Section 29 in Township 2 South of Range 8 East of the Black Hills meridian, Custer County, South Dakota as shown on the plat filed in Plat Book 9, Page 5.
- Lots 1, 2, 5, 6, 9, 10, 11, 12, 13, 14, 15, 16, 20, 21 and 22 of Tract C of Gable Subdivision, located in the SE1/4 and that portion of the NW 1/4 of NW ¼ East of Old Highway 79, and the NE 1/4 of NW 1/4, all in Section 29, Township 2 South, Range 8 East of the Black Hills Meridian, Custer County, South Dakota.
- Lots 1 through 10 of Tract B and Lots 4, 8, 12 and 16 through 22 of Tract C of Gable Subdivision in Section 29, T2S, R8E, BHM, Custer County, South Dakota.
- Tract B, including Lots One (1) through Eleven (11) both inclusive of Tract B, of Gable Subdivision located in the Southeast Quarter of the Northwest Quarter (SE1/4NW1/4), that portion of the Northwest Quarter of the Northwest Quarter (NW1/4NW1/4) situated East of Old Highway 79 and the Northeast Quarter of the Northwest Quarter (NE1/4NW1/4) all in Section Twenty-Nine (29), Township Two (2) South, Range Eight (8) East of the Black Hills Meridian, Custer County, South Dakota.

- Lots 4, 8, 17., 18 and 19 of Tract C of Gable Subdivision located in the Northwest Quarter (NW1/4) of Section 29 in Township 2 South of Range 8 East of the Black Hills Meridian, Custer County, South Dakota as shown on the plat filed in Plat Book 9, Page 5.
  - Tract A of Gabel Subdivision in Section Twenty-nine (29), Township Two South (T2S), Range Eight East (R8E) of the Black Hills meridian, consisting of 22.001± acres, all in Custer County, South Dakota.
  - Lot 1 of LN Subdivision located in the SW1/4SW1/4 of Section 20, Township 2 South, Range 8 East of the Black Hills Meridian, Custer County, South Dakota, as shown on Plat filed in Book 12 of Plats, Page 174. (DOE #11896)
  - Lot 1 of Corr Subdivision, located in the South Half of the Southwest Quarter (S1/2SW1/4) of Section 20 in Township 2 South of Range 8 East of the Black Hills Meridian, Custer County, South Dakota, as shown on the plat filed in Plat Book 12, Page 488.
  - Lot C of C & J Subdivision (formerly a portion of Lot 1 of C and J Subdivision) located in the SW1/4NW1/4 of Section 29, Township 2 South, Range 8 East of the Black Hills Meridian, Custer County, South Dakota, as shown on Plat filed in Book 12 of Plats, Page 96 (DOE #4118)
  - East Half of the Northeast Quarter of the Southwest Quarter of the Northwest Quarter (E 1/2 NE 1/4 SW1/4 NW 1/4) of Section Twenty-nine (29), Township Two South (T2S) Range Eight East (R8E), of the Black Hills Meridian, Consisting of Five (5) acres in Custer County
  - Lot A in Southwest One Quarter (SW1/4) of Section twenty (20) Township Two (2) South, Range Eight (8) East of the Black Hill Meridian, Custer County, SD containing 1.14 acres more or less. Lot B in Northwest One Quarter (NW1/4) of Section Twenty-Nine (29), Township Two (2) South, Range Eight (8) East of the Black Hills Meridian, Custer County, SD containing 4.11 acres, more or less. Lot C in Southwest One Quarter (SW1/4) of Section Twenty-nine (29) Township Two (2) South, Range Eight (8) East of the Black Hills Meridian in Custer County, SD containing 2.54 acres, more or less
2. That ample and suitable resources exist to accommodate the orderly growth and development of the contiguous territories as evidenced by the Town of Hermosa's current provision of many of the Town of Hermosa services to the areas and consistent with the Annexation Study.
  3. The estimated difference in tax assessment rate for the residents in the contiguous territory is 0.32 percent.
  4. That exclusions or irregularities in municipal boundary lines are not the result of arbitrariness but are based upon existing geographical features, physical barriers, existing property boundaries, existing occupancies and uses, and existing municipal boundaries.

5. That there is reasonable present and demonstrable future need for annexing the contiguous territories in accordance with the Annexation Study; and
6. That population and census data indicate that the municipality has or may experience growth or development beyond its present boundaries.
7. There exists a community of interest between the contiguous territories as described above and the Town of Hermosa.

**NOW, THEREFORE, BE IT RESOLVED** that as a result of this Resolution of Intent to Annex Contiguous Properties, the Town of Hermosa has completed the first step to change the corporate limits of the Town of Hermosa so that same may be extended to include the above-described properties.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2022

**TOWN OF HERMOSA**

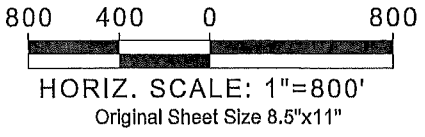
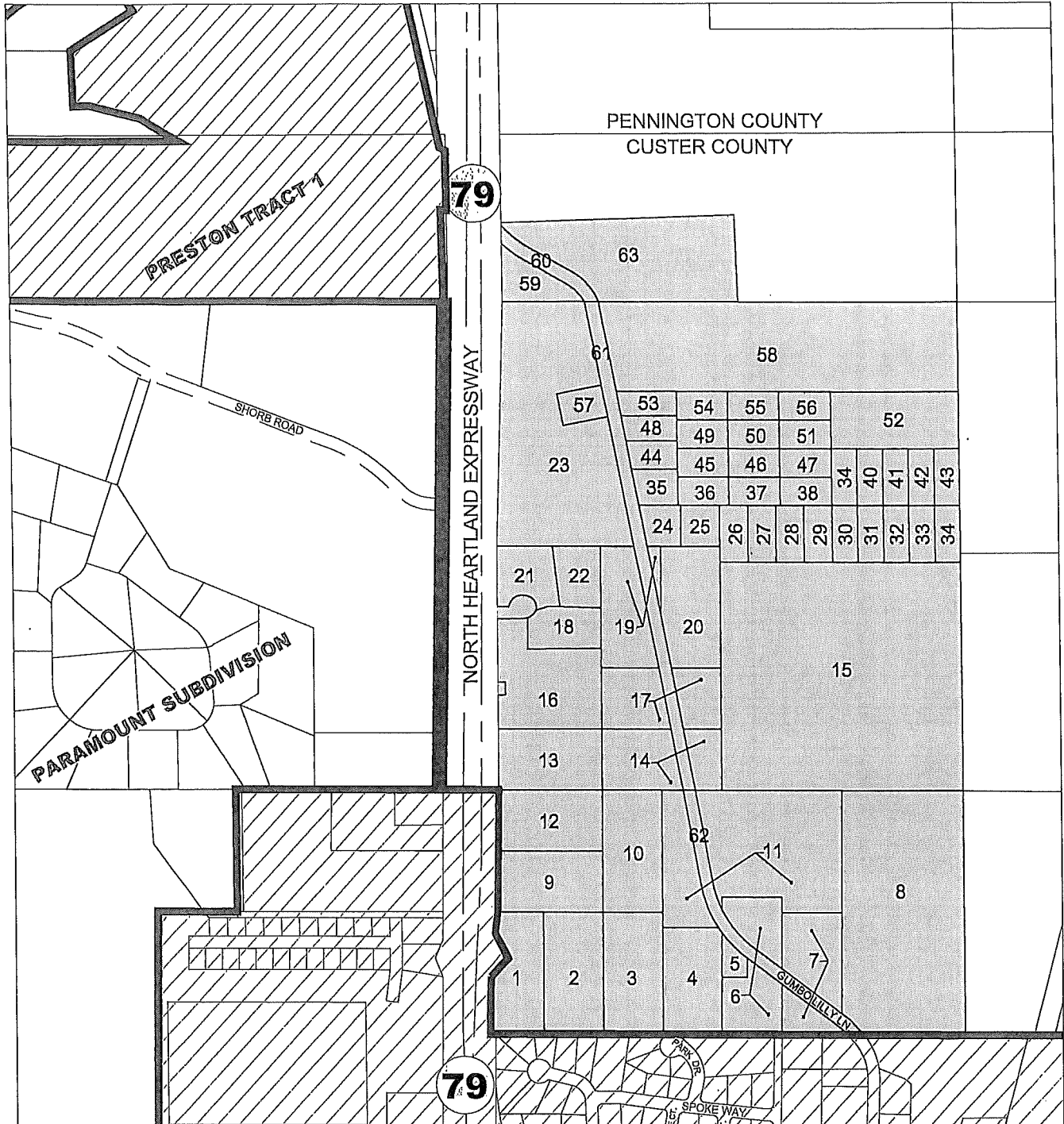
\_\_\_\_\_  
Dan Holsworth  
President – Board of Trustees

ATTEST:

\_\_\_\_\_  
Gail Boddicker, Finance Officer

Published: \_\_\_\_\_  
Effective Date: \_\_\_\_\_

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**LEGEND**

- TOWN OF HERMOSA MUNICIPAL BOUNDARY
- ANNEXATION AREA 'A'
- PROPERTY LINE

TITLE: **MAP**  
 SHEET NUMBER: **1 of 1**  
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TOWN OF HERMOSA  
**ANNEXATION AREA 'A'**  
 HERMOSA, CUSTER COUNTY, SOUTH DAKOTA

REVISIONS: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DRAWN BY: LB/AV CHECKED BY: LB  
 ACES PROJECT NO: 21-1144h DATE: 3/17/2022

**ACES**  
 AFFORDABLY CREATIVE ENGINEERING SERVICES  
**AFFORDABLY CREATIVE ENGINEERING SERVICES, INC.**  
 324 8th Joseph Street, Suite 200, Rapid City, SD 57701  
 (605) 716-4646 \* Fax (605) 716-1144

## RESOLUTION 05-2022

### RESOLUTION OF INTENT TO ANNEX CONTIGUOUS PROPERTY

**WHEREAS**, the Board of Trustees of the Town of Hermosa has statutory authority conducted a study pursuant to SDCL § 9-4-1.1 prior to holding the public hearing required as part of a municipality-initiated annexation of property, and

**WHEREAS**, the Town of Hermosa duly appointed engineer, ACES, has completed the Annexation Study required by that law, and

**WHEREAS**, that Annexation Study is focused upon the platted contiguous to portions of the present boundary of the Town of Hermosa, all contained within Section 30, Township 2 South, Range 8 East, Custer County, South Dakota; and

**WHEREAS**, those subject properties are within the area where the growth of the Town of Hermosa can be accommodated to provide for the orderly growth and development of the Town of Hermosa, and

**WHEREAS**, a map of the areas subject to this Resolution is attached as Exhibit "A" and incorporated herein by this reference.

**NOW, THEREFORE, BE IT RESOLVED** the Board of Trustees for the Town of Hermosa hereby declares an, "Intent to Annex" the following contiguous territory:

1. The territory subject to this Resolution of Intent to Annex Contiguous property consists of platted non-agricultural territory as defined at SDCL § 9-4-5 and SDCL § 10-6-31 as follows:

Descriptions:

- Lot Dale of the McDermand Subdivision, formerly a portion of Outlot D and all of Lot 1 (Revised) situated in the Northwest Quarter (NW1/4) of Section 32, in Township 2 South Range 8 East of the Black Hills Meridian, Custer County, South Dakota, containing 10.550 acres, more or less, as shown on the plat filed in Plat Book 11, Page 93
- Lot 1 (Revised) of McDermand Subdivision, formerly a portion of Outlot D and Lot 1, located in the NW1/4 of Section 32, Township 2 South, Range 8 East of the Black Hills Meridian, Custer County, South Dakota, as shown on Correction Plat filed at Book 11 of Plats, Page 93, in the office of the Register of Deeds, of Custer County, South Dakota.

2. That ample and suitable resources exist to accommodate the orderly growth and development of the contiguous territories as evidenced by the Town of Hermosa's current provision of many of the Town of Hermosa current and planned services to the areas and consistent with the Annexation Study.
3. The estimated difference in tax assessment rate for the residents in the contiguous territory is an increase of 0.32 percent.
4. All land included the contiguous territory are platted and defined. Any exclusions or irregularities in municipal boundary lines are not the result of arbitrariness but are based upon existing geographical features, physical barriers, existing property boundaries, existing occupancies and uses, and existing municipal boundaries.
5. That there is reasonable present and demonstrable future need for annexing the contiguous territories in accordance with the Annexation Study. The need for the proposed annexation of the contiguous territory consists of properties which are currently receiving some municipal services, or which can reasonably be expected to request municipal services with future growth and development of the community.
6. That population and census data indicate that the municipality has or may experience growth or development beyond its present boundaries. Based on population and census data, the Town of Hermosa has been experiencing a population growth since 1990. Past growth indicates a trend of 2 percent population increase annually. This demonstrates that the continued growth and development in the area will need the Town of Hermosa to expand beyond its present boundaries.
7. There exists a community of interest between the contiguous territories as described above and the Town of Hermosa.

**NOW, THEREFORE, BE IT RESOLVED** that as a result of this Resolution of Intent to Annex Contiguous Properties, the Town of Hermosa has completed the first step to change the corporate limits of the Town of Hermosa so that same may be extended to include the above-described properties.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2022

**TOWN OF HERMOSA**

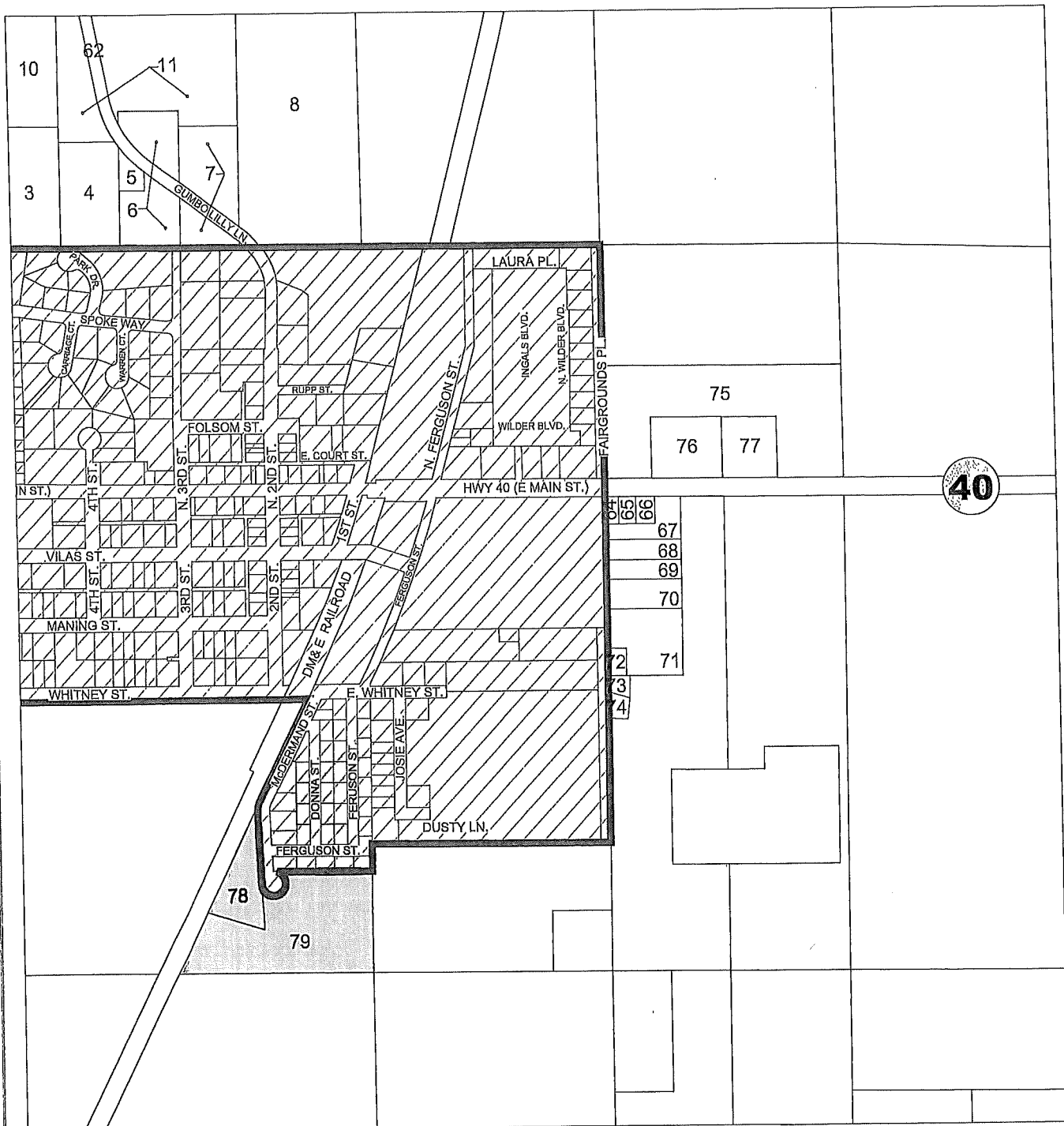
\_\_\_\_\_  
 Dan Holsworth  
 President – Board of Trustees

ATTEST:

\_\_\_\_\_  
 Gail Boddicker, Finance Officer

Published: \_\_\_\_\_  
 Effective Date: \_\_\_\_\_

G:\My Drive\Jobs\21-1144 Hermosa\21-1144h Annexation\Drawings\Sheets\21-1144h Exhibits.dwg 3/17/2022 12:01:08 PM



HORIZ. SCALE: 1"=800'  
Original Sheet Size 8.5"x11"

**LEGEND**

- TOWN OF HERMOSA MUNICIPAL BOUNDARY
- ANNEXATION AREA 'C'
- PROPERTY LINE

TITLE: **MAP**  
SHEET NUMBER: **1 of 1**

TOWN OF HERMOSA  
**ANNEXATION AREA 'C'**  
HERMOSA, CUSTER COUNTY, SOUTH DAKOTA

REVISIONS:	DATE:
DRAWN BY: LBAW	CHECKED BY: LB
ACES PROJECT NO: 21-1144h	DATE: 3/17/2022

**ACES**  
AFFORDABLY CREATIVE ENGINEERING SERVICES  
**AFFORDABLY CREATIVE ENGINEERING SERVICES, INC.**  
324 Saint Joseph Street, Suite 200, Rapid City, SD 57701  
(605) 718-4846 \* Fax (605) 718-1144

HERMOSA TOWN BOARD  
SPECIAL MEETING  
MONDAY, APRIL 18, 2022 @ 2:00pm



4

**ROLL CALL:** Holsworth called the meeting to order at 2:00 pm with the following members present: Henrichsen, Holsworth, King, Kramer and Schumack. ACES, Pulis, and interested citizens also present. Pledge of Allegiance led by Holsworth.

**CALL FOR CHANGES:** Motion made and seconded to approve agenda as presented; vote; all ayes, motion carried.

**CONSENT CALENDAR:** N/A

**NEW BUSINESS:** Special meeting scheduled to discuss Hermosa Hills Drainage, the Drive-In Theater sewer line, and development on the south side of Hermosa Hills. Motion made and seconded to install an 18" culvert on Walter Street, complete the remaining ditches with seeding and removing sedimentation and place gravel on the roads; vote; all ayes, motion carried. Discussion continued on the future expansion of Hermosa Hills. No action as the developer and owner need to make decisions on the development of Hermosa Hills. Motion made and seconded to approve ACES to send a letter to the owner of the drive-in theater to inform him he will need to hook up to the city sewer with a timeline he should adhere to; vote; all ayes, motion carried. SDDANR: informed ACES they do not approve of the sewer installation on Highway 79. Motion made and seconded to approve ACES to send another letter to DANR; vote; all ayes, motion carried. Floodplain Development Permit on the water/sewer project: ACES reported there is no impact on the base flood elevation in that area.

**ITEMS FROM CITIZENS:** None

**TRUSTEE INPUT:** Henrichsen, Kramer and Schumack; good meeting, thanks for the update. King: appreciates the utilizing the big screen.

**EXECUTIVE SESSION:** None

**ADJOURN:** Motion made and seconded to adjourn the meeting at 3:35pm.

**HERMOSA TOWN BOARD  
REGULAR MEETING  
TUESDAY, APRIL 19, 2022 @ 6:00pm**



**ROLL CALL:** Holsworth called the meeting to order at 6:00 pm with the following members present: Henrichsen, Holsworth, King, Kramer and Schumack. Ferguson and interested citizens also in attendance. Pledge of Allegiance led by Holsworth.

**CALL FOR CHANGES:** Motion made and seconded to approve agenda as amended to add Committee Assignments and Discussion of Stop Signs under New Business and Discussion of Adding a Booster Station under Engineer; vote; all ayes, motion carried.

**CONSENT CALENDAR:** Motion made and seconded to approve the April 5, 2022, board minutes; vote; all ayes, motion carried.

**CLAIMS:** Motion made and seconded to accept the claims as amended (to delete Black Hills Cooperative from list); vote; all ayes, motion carried. ACES, Water and sewer extension, \$21,120.00; Black Hills Electric Coop, Monthly billing, \$3,310.55; Custer County Sheriff's Office, May 1, 2022 - July 31, 2022 Dispatch Contract, \$2,000.00; Ferguson Construction, Inspections, \$315.00; Grimms Pump & Industrial Supply, Bushing, coupler, \$49.20; Mid Continent Testing, Water testing for 1st quarter 2022, \$465.00; Pace, Clean and video sewer, \$37,584.73; Verizon Connect, Monthly billing, \$32.38; Payroll related: Finance Department, \$2,853.91; Gail Boddicker, Health insurance, \$200.00; EFTPS, 941 payroll tax deposit, \$671.38. TOTAL: \$68,602.15.

**LAW ENFORCEMENT/ ABATEMENTS/COMPLAINTS:** Hermosa trustees to meet on Friday, April 22 with Custer County Sheriff and Commissioner to discuss the contract between Hermosa and Custer County Sheriff's Office. All trustees are encouraged to attend the special paid meeting.

**LEGAL:** No report.

**ENGINEER:** Berg provided a written report: Water Rehab Project (WRT System): pending due to awaiting results from water test. Lone Coyote Subdivision (Preston Sub) Preliminary Plat Application: proceeding and issue will be on April 26, 2022, P&Z meeting. Hermosa Sidewalk Project: awaiting DOT; hopeful they will go out for bid in 2022 on the first phase. Sewer Project/Lagoon Expansion: Previously, Hermosa was awarded a grant of \$76,000, those funds were matched to provide Local ARPA Contribution of \$76,000 and a State ARPA Grant of \$299,400. Also approved: Clean Water SRF Loan for \$698,600. Loan rate is 2.125% for 30 years. Surcharge will be \$12.80. Motion made and seconded to approve ACES to work with the bond agent and/or Black Hills Council of Local Government to work through the contingencies and bring it back for board approval; motion carried. Town of Hermosa Water and Sewer Extension Project: project is complete other than some punch list items. Change Order 2 for additional hydroseeding areas to be presented at May 3 BOT meeting. The water project was deferred and town board will be meeting with SDDANR to discuss for further development. Hermosa Hills Drainage: a special meeting was addressed with action on April 18, 2022, meeting. Whitney Street/SDARWS: SDARWS planning to return to Hermosa to conduct flow tests. Landowner across from Whitney Street concerned about the effect of the water on his pasture. Would appreciate discussion on what will be done to bring the property back to condition. The board is waiting to ensure the water has receded before proceeding. Hermosa School Occupancy: ACES to send a letter to school/contractor to inform them once the parking lot is paved and 5<sup>th</sup> Street is completed, the final certificate will be submitted. 5<sup>th</sup> Street Repair: requesting a quote from contractor to pave 5<sup>th</sup> Street versus chip seal. Booster Station: plan to apply for additional ARPA funds to install a booster to boost the water flow in Hermosa Hills and further north. It is hopeful it will fit in the existing vault but there may be a need to build a new vault.

**PLANNING & ZONING:** P&Z April 12, 2022, minutes: no action. Motion made and seconded to approve Permit 2022-08; Residential Bldg Permit; 785 Marie St, Garage addition, per Staff Report; vote; all ayes, motion carried. Motion made and seconded to approve Permit 2022-09; Informational Permit; 194 Fairgrounds Pl, vote; all ayes, motion carried. The county will need confirmation of BOT approval before they can provide permits. Permit 2022-11; Informational Permit; Parcel 09243; Installed 16"x 30' shallow well. Informational permit; no action required. Motion made and seconded to approve Permit 2022-12; Residential Bldg Permit; 315 Manning; Carport; vote; Henrichsen, King, Kramer, Schumack aye; Holsworth abstained, motion carried. Motion made and seconded to approve Permit 2022-13; Residential Bldg Permit; 115 Rupp; Carport; vote; Henrichsen, King, Kramer, Schumack aye; Holsworth abstained, motion carried. Motion made and seconded to approve Permit 2022-14; Residential Bldg Permit; 105 2<sup>nd</sup> St.; Carport; vote; Henrichsen, King, Kramer, Schumack aye; Holsworth abstained, motion carried. Motion made and seconded to approve the appointment of Bobbie Klaski to the Planning & Zoning Board; vote; all ayes, motion carried. Permit 2022-22 – Motion made and seconded to approve the preliminary plat; vote; all ayes, motion carried. Motion made and seconded to approve the mylar per engineer approval and sign once the engineer has approved it; vote; all ayes, motion carried.

**PUBLIC WORKS:** Requested Simon (contractor) to provide quote for chip sealing several streets in Hermosa. Ferguson suggested taking a soil test on the Nickel's property; no action taken. Motion made and seconded to approve the submittal of the CMOM report to SD DANR with a paragraph added to the report regarding the root control the town has performed in the past; vote; all ayes, motion carried. Ferguson requested to submit a daily reading of the master meter reading, hourly readings, pump log, in a spreadsheet to be provided to SDARWS. The lagoon test results depict erratic E-Coli results. Motion made and seconded to approve Ferguson to purchase a lagoon treatment to bring down the E-Coli; vote; all ayes, motion carried. Discussion regarding Ferguson to provide a written quote for the booster station repair. Motion made and seconded to approve the PACE contract; vote; all ayes, motion carried. Motion made and seconded to remove the following items from Public Works: CMOM Program Development,

2021 Drinking Water Report, PACE, Midwest Assistance Program, SD DANR Letter; vote; all ayes, motion carried. Motion made and seconded to remove Town of Hermosa Water and Sewer Extension Project, Change Order 1, Approval of Pay Application No. 1, Approval of Pay Application No. 2, Approval of easement reroute, Approval of Gate Valve, Approval of Change Order No. 1, Approval of Pay Application No. 3, from the agenda; vote; all ayes, motion carried. Motion made and seconded to remove the following from P&Z: Permit 2022-08; Permit 2022-09; Informational Permit; Permit 2022-11; Informational Permit; Permit 2022-12; Residential Bldg Permit; Permit 2022-13; Residential Bldg Permit; Permit 2022-14; Residential Bldg Permit; Letter of Intent – Bobbie Klaski; vote; all ayes, motion carried.

**FINANCE OFFICE:** Financial reports in packet and available at town hall. Following a lengthy discussion, no final resolution on the Operating Agreements, malt beverage/liquor licenses. Motion made and seconded to table item for further research; vote; all ayes, motion carried. Will move it to Work Session on April 22, 2022. Boddicker reported the ARPA required report was completed and submitted; Dybvig and Ferguson working on a spreadsheet depicting valve locations and what their responsibilities are, annexation public notices were sent to citizens. Motion made and seconded to approve Dybvig to attend a mapping assessment seminar in Pierre with expenses paid; vote; all ayes, motion carried. Annual report to be presented May 3, 2022.

**OLD BUSINESS:** Annexation: Gumbo Lilly, Fairgrounds Place, McDermant Street: public hearing is scheduled May 3, 2022. Town Sign, pending. Town Office: Deck Staining, pending. Library: Deck Staining, Mud Jacking, pending.

**NEW BUSINESS:** 2nd Reading Accessory Dwelling Unit Ordinance, An ordinance amending Chapter 155 to define and regulate accessory dwelling units and tiny houses on wheels. Motion made and seconded to approve the ADU Ordinance; vote; all ayes, motion carried. Food Pantry, pending. Motion made and seconded to remove: Blotter patch on asphalt roads, Approval of gravel on Nickels Road, Nick Benton, Custer Co Commissioner Candidate Introduction, Volunteer of the Year Presentation, Roy Reitenbaugh property discussion; vote; all ayes, motion carried. Stump removal on 194 Fairgrounds: motion made and seconded to approve Troy's Stump Removal to remove stump; vote; all ayes, motion carried. Motion made and seconded to remove item from agenda; vote; all ayes, motion carried. Signage discussion in Hermosa Hills; no action. Motion made and seconded to install 15 MPH speed limit on West Main Street; vote; all ayes, motion carried. Committee assignments: Kramer to chair Water Committee, Schumack is Vice Chair. Schumack to Chair Sewer Committee, Henrichsen is Vice Chair.

**ITEMS FROM CITIZENS:** Citizen voiced concern with Midco moving into the area, sees no benefit to the community. Citizen discussed the past comments by board members regarding his notice to run for the open trustee seat. Citizen requested to view the photos/video of the recent camera-ing of the sewer system.

**EXECUTIVE SESSION:** None.

**TRUSTEE INPUT:** Kramer: appreciates the board is doing its best to respect each other and work together, Schumack: interesting meeting, King: none, Henrichsen: will not compromise her beliefs, will work towards maintaining peace, Holsworth: questioned if any trustees were planning to participate in the Energize seminar, Rural Development funding program for developing community facilities in rural areas. Henrichsen interested in attending the Code Enforcement workshop; no action.

**ADJOURN:** Motion made and seconded to adjourn the meeting at 8:36 pm; vote; all ayes, motion carried.

\_\_\_\_\_  
Dan Holsworth, Town Board President

ATTEST:

\_\_\_\_\_  
Gail Boddicker, Finance Officer

Published once at the approximate cost of \_\_\_\_

HERMOSA TOWN BOARD  
SPECIAL MEETING  
FRIDAY, APRIL 22, 2022 @ 1:00pm



**ROLL CALL:** Holsworth called the meeting to order at 1:00 pm with the following members present: Henrichsen, Holsworth, Kramer and Schumack. Sheriff Mechaley, Commissioner Mark Hartman and interested citizens also present. Pledge of Allegiance led by Holsworth.

**CALL FOR CHANGES:** Motion made and seconded to approve agenda as amended to add City Clean-up; vote; all ayes, motion carried.

**CONSENT CALENDAR:** N/A

**NEW BUSINESS: Law Enforcement Contract:** The contract between Hermosa and Custer County Sheriff's Office to provide law enforcement services in Hermosa is nearing the end of the contract and there is a need to prepare for the future. Custer County will need to hire additional personnel to be able to support services in the area. Custer County Commissioners plan to meet to discuss the new rate. In the meantime, Custer County Sheriff's Office will continue to provide services to Hermosa. **Garbage Rates:** Hermosa's contract for garbage services was renewed with Sander Sanitation. With the new contract, the rate for totes, yard waste dumpsters and the town clean-up program increased. Following a review of rates and discussion at BOT meetings, the board recommended to increase the fees. Motion made and seconded to increase the garbage rate to \$20.00 plus the tax for all customers; vote; all ayes, motion carried. The rate will go into effect with the May 2022 bills. **Stop and Speed Limit Signage:** Motion made and seconded to approve the installation of Stop Signs at Dollar General and on Walter Street, plus 15 MPH speed limit signs to be located on the road coming in off Highway 79, on Walter Street and on the north and south sides of Marie Street; vote; all ayes, motion carried. **Sewer Issues:** Trustee committee members requested to come to the office to view the sewer line videos. Will report at the next meeting of their findings. **Abatements:** Discussion; no action. **Hermosa Clean-up Day:** On schedule for April 23, 2022. **Liquor/Malt Beverage Licenses:** pending May 3, 2022, meeting.

**ITEMS FROM CITIZENS:** Citizen thanked the board for proceeding with installing the speed limit and stop signs in Hermosa Hills area. Also thanked the board for informing the citizens of the need for increasing the garbage rates.

**EXECUTIVE SESSION:** Motion made and seconded to enter into executive session at 3:08 pm; vote; all ayes, motion carried. Motion made and seconded to exit executive session at 3:32; vote; all ayes; motion carried. No motions made in executive session.

**TRUSTEE INPUT:** Kramer: Thanks to Bob King for his service to the town and board – he will be greatly missed. Henrichsen and Schumack echoed Kramer's comments regarding Bob. Holsworth: appreciates the board for taking time to meet on a Friday afternoon. Bob will be missed very much.

**EXECUTIVE SESSION:** None

**ADJOURN:** Motion made and seconded to adjourn the meeting at 3:34pm.

**HERMOSA TOWN BOARD  
SPECIAL MEETING  
MONDAY, APRIL 25, 2022 @ 2:30pm**



**ROLL CALL:** Holsworth called the meeting to order at 2:30 pm with the following members present: Henrichsen, Holsworth, and Schumack. Pledge of Allegiance led by Holsworth.

**CALL FOR CHANGES:** Motion made and seconded to approve agenda as presented; vote; all ayes, motion carried.

**CONSENT CALENDAR:** N/A

**EXECUTIVE SESSION:** Motion made and seconded to enter into executive session at 2:31 pm; vote; all ayes, motion carried. Motion made and seconded to exit executive session at 4:55; vote; all ayes; motion carried. No actions resulting from the executive session.

**TRUSTEE INPUT:** None.

**EXECUTIVE SESSION:** None

**ADJOURN:** Motion made and seconded to adjourn the meeting at 4:56pm.

**Claims for Approval 5-3-2021**

A&B Business Solutions	Monthly Charge	\$	599.81
Black Hills Cooperative Inc.	Monthly Charge	\$	3,310.55
C.C. Chronicle/Western (Formerly Southern Hills Publishing)	Monthly publications	\$	760.36
Ferguson, Chuck	April 2022 Contract	\$	2,446.34
Johnson Law Office	April 2022 services	\$	493.00
Lingo	Monthly billing	\$	31.61
Morris, Mandy	Accounting assistance	\$	570.00
Mt. Rushmore Telephone Company	Monthly bililng	\$	240.02
Northwest Pipe Fittings, Inc.	Valve box, sawzall blade, pipe, Anode Connection	\$	225.18
Office Depot, Inc.	Paper, office supplies	\$	152.61
Pioneer Bank & Trust	2 Signature Account Charge, April	\$	25.00
Rural Development (RD1)	April 2022 Payment	\$	1,278.00
Rural Development (RD2)	April 2022 Payment	\$	417.00
Rural Development (RD)	April 2022 Payment	\$	222.00
SDML	District 9 meeting	\$	156.00
South Dakota 811	Message fees January - March 2022, Voice Out Charge	\$	74.97
Time Rental	Jackhammer, Air compressor	\$	220.40
Troy's Tree Stump Removal	Stump removal	\$	275.00
Verizon Connect	Monthly billing	\$	32.38
<b>Payroll related:</b>			
Payroll	Board of Trustees	\$	1,275.00
Payroll	Finance Department	\$	2,849.18
Payroll	Planning & Zoning		
Payroll	Janitorial	\$	114.00
Payroll	Meter	\$	175.00
Gail Boddicker	Health insurance		
EFTPS	941 payroll tax deposit	*	\$ 932.11
Health Pool of South Dakota	Monthly premium	\$	882.97
SD Retirement Fund	April 2022 SDRS	\$	708.38
<b>TOTAL</b>		\$	<b>18,466.87</b>

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**Department of Transportation**

**Division of Planning/Engineering**

**Office of Project Development**

700 E Broadway Avenue

Pierre, South Dakota 57501-2586 605/773-3281

April 20, 2022

Ron Bengs  
Interstate Engineering  
120 Industrial Dr., Suite 2  
Spearfish, SD 57783

Re: P TAPR(36) PCN 07RK  
Hermosa Transportation Alternatives Work Order Amendment #1

Dear Mr Bengs:

A Work Order amendment to accomplish the work defined in the attached memo for the project is attached for your signature.

Please sign the attached document and forward the work order to the city contact for execution by the city. Once the city has executed the work order, have them returned to me for processing through the SDDOT. Once all signatures are obtained, we will return originals to you for your files.

If you have any questions, please give me a call at 605-773-4912.

**Please remember that the work in the memo cannot begin until after the work order is signed by all parties and a Notice to Proceed has been issued.**

Respectfully,

A handwritten signature in black ink, appearing to read 'Logan Gran'. The signature is written in a cursive, flowing style.

Logan Gran  
Active Transportation Engineer  
SDDOT-Project Development

Enclosures



# MEMO

**TO: Logan Gran**

**FROM: Interstate Engineering**

**IE Project No: L21-00-083**

**DOT Project: PTAPR(36), PCN: 07RK**

**DATE: April 13, 2022**

**RE: Hermosa Sidewalk Amendment 1**

A handwritten signature in black ink, appearing to be 'RAB'.

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## **Project Description:**

The purpose of this project is to construct a sidewalk from the school through town and tie back into SD Hwy 40 as Phase 1 of a multi-phase plan for sidewalk in Hermosa. This phase provides access to more populated areas and is the route the majority of children use to get from Ferguson Subdivision to the school. The grant was secured pre-covid. The current SDDOT estimate came in well above the funded amount due to increased prices that we all are dealing with in the construction arena.

The amendment will break the plan set into two plan sets with the first plan set being under the funded amount. The second plan set will become Phase 1A to complete Phase 1 under a later project. This amendment will make the project smaller but viable under the current price conditions.

## **Specific Tasks:**

- Review pricing with DOT pricing and determine the requires separation point of the plan set. It is estimated the point is Second Street.
- Revise and modify plans to reduce the construction cost to the funded amount. The proposed reduction is the proposed sidewalk from Second Street to SD Hwy 40.
- Revise the Engineers estimate on CES
- Submit plans to SDDOT for review and approval.
- Submit plan set from Second Street to SD Hwy 40 to the Town of Hermosa for use on a future project.

**Estimated Engineering Cost - Design**  
**Interstate Engineering, Inc.**  
**Project Number: PTAPR (36), PCN 07RK**  
**Pennington County**  
**Retainer Agreement Number:**

<b>Direct Labor Salary Cost:</b>	<b>Estimated Hours</b>	<b>Hourly Rate</b>	<b>Estimated Cost</b>
Ron Bengs	10	\$53.08	\$530.80
Zach Grapentine	80	\$36.92	\$2,953.60
Deb Murphey	4	\$20.00	\$80.00
Kaylee Vostad	4	\$16.00	\$64.00
	<hr style="width: 50%; margin: 0 auto;"/>		<hr style="width: 50%; margin: 0 auto;"/>
	98		\$3,628.40
<b>Labor Overhead Cost:</b>		201.63%	\$7,315.94
<b>Fixed Fee</b>		11.04%	\$1,208.26
<b>Capital Cost of Money</b>		1.03%	\$37.37
<b>Direct Expenses:</b>			
<hr style="width: 30%; margin-left: 0;"/>			
Mileage	0	\$0.585	\$0.00
Meals (Per Diem)			
Lodging			
Photocopies			
Postage			
Miscellaneous			
Total Direct Expenses			<hr style="width: 50%; margin: 0 auto;"/>
			\$0.00
			<hr style="width: 50%; margin: 0 auto;"/>
<b>Total Cost for Application</b>			<b>\$12,189.97</b>

**WORK ORDER FOR CONSULTANT SERVICES  
LOCAL GOVERNMENT PROJECTS**

DOT 917-B  
03/20/2018

**GENERAL**

1 **Work Order No.** TAPR-36-20    2 **Agri. No.**    3 **Date** 08/20/2020  
 4 **Amendment No.**  
 5 **Consultant** Interstate Engineering, Inc.

**PROJECT INFORMATION**

6 **Project No.** PTAPR(36)    7 **PCIV** 07RK    8 **County/City** Custer/Hermosa  
 9 **Project Description** CE & construction of sidewalk  
 10 **Project Location** Hermosa-along Vilas St from 4th St to 1st St and along 1st St from Vilas St to Main St  
 11 **Work Type** Re-design - Survey, Design, Environmental Clearances  
 For Specifics on the Scope of Work, See Attachment I  
**SERVICES REQUIRED** See Attachment II

**REIMBURSEMENT FOR TRAVEL** See Attachment II

12 <b>MAXIMUM LIMITING AMOUNT</b>	\$26,342.69	13 <b>FIXED FEE</b>	\$2,588.20
14 <b>Amendment Amount</b>	12189.97	15 <b>FIXED FEE</b>	\$1,208.26
16 <b>New Maximum Limiting Amount</b>	\$38,532.66	17 <b>FIXED FEE</b>	\$3,796.46
18 <b>COMPLETION DATE</b>	12/31/2023		

See Attachment I for interim dates and deliverables.

**19 CONTACT PERSONS**

**Consultant** Ron Bengs  
**City or County** Dan Holsworth  
**SDDOT** Logan Gran

**INSURANCE REQUIREMENTS**

20 Type of Insurance	Expiration Date	On File
General Liability	09/04/2022	Yes
Automobile Liability	09/04/2022	Yes
Workers Compensation	09/04/2022	Yes
Errors and Omissions	09/04/2022	Yes

**APPROVAL BY:**

**Consultant:** *Ronald Bengs*    **Date** 4.20.2022  
**City or County:**    **Date**  
**Concurrence**    **Date**  
 21 **DOT:**    **Date**

- DISTRIBUTION:**
- (1) Original - Finance Office
  - (1) Copy - Consultant
  - (1) Copy - Local Government Agency
  - (1) Copy - Internal Audits
  - (1) Copy - Initiating Office



DEPARTMENT of AGRICULTURE  
and NATURAL RESOURCES

JOE FOSS BUILDING  
523 E CAPITOL AVE  
PIERRE SD 57501-3182  
danr.sd.gov

8c

April 26, 2022

Mr. Dan Holsworth, Board President  
Town of Hermosa  
PO Box 298  
Hermosa, SD 5774

Dear Mr. Holsworth:

Congratulations! It is my pleasure to inform you that on April 13, 2022, the Board of Water and Natural Resources approved a \$698,600 Clean Water State Revolving Fund loan and a \$375,400 American Rescue Plan Act Grant to the town of Hermosa. The term of the Clean Water loan is 2.125 percent for 30 years.

The funding is for Hermosa's wastewater treatment facility upgrade project. The town is to be commended for its efforts to upgrade its wastewater facilities. Hermosa's application through the state water planning process made this financial assistance possible.

Your project has been assigned to Abbey Larson who will serve as the department's point of contact. Abbey is a Natural Resources Engineer who will assist you with the loan, so please contact her at 605-394-5318 or [Abbey.Larson@state.sd.us](mailto:Abbey.Larson@state.sd.us) if you have any questions.

Congratulations again, and we look forward to the successful completion of your project.

Sincerely,

Hunter Roberts  
Secretary

cc: Bill Lass, Black Hills Council of Local Governments, Rapid City  
Leah Berg, P.E., Affordably Creative Engineering Services, Inc., Rapid City  
Todd Meierhenry, Meierhenry Sargent LLP, Sioux Falls

8E

**Gail Boddicker**

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**Subject:** FW: Hermosa Water & Sewer - Seeding

**From:** Leah Berg <lberg@proacesinc.com>  
**Sent:** Tuesday, April 26, 2022 10:04 AM  
**To:** Gail Boddicker <gail@hermosasd.com>; Dan Holsworth - Hermosa <gjholsworth@midco.net>  
**Cc:** Daniel Finch <dfinch@proacesinc.com>  
**Subject:** Fwd: Hermosa Water & Sewer - Seeding

Gail and Dan,

I recieved a response from RCS, shown below. Their offer to reduce their unit cost on seeding is acceptable to me.

This will still result in an add, which an add was anticipated with the additional areas and actual work tasks.

This would be change order 2: CO #2 would have 2 lines –

Bid Item #19 – Seed, Fertilize, Mulch – Deduct 3,225 SY @ \$1.85/SY = -\$5,966.25

New Bid Item – Seed, Fertilize, Mulch – ADD 18,360 SY @ \$1.25/SY = +\$22,950.00

**CO #2 – Change to Contract = +\$16,983.75**

Let me know if you have any questions.

I will prepare CO#2 for the BOT meeting on Tuesday.

Thanks, Leah

On Fri, Apr 22, 2022, 3:07 PM Evan Walterman <[evan@rcsconst.com](mailto:evan@rcsconst.com)> wrote:

Leah,

I went out to the site yesterday to review the seeding area. I do notice the slightly different colored area that you show in your picture. See attached pictures, there is adequate seed/fert/mulch coverage. I also talked to Dion, he said there can be a “shadow” effect based on which side he sprayed from vs which side you are looking at the area. In addition, when the soil is softer/looser it will absorb more into the top layer instead of sitting on top as it did in other areas. As a result, we feel that this area is adequately seeded and should be paid in full. If there are coverage issues in this area, we would address as a warranty item. Throughout construction we made every effort possible to reduce our disturbed area footprint. The overall average width disturbed was approximately 50’ over the length of the project. We typically disturb an area of 40’ wide for just 1 utility line, so installing 2 lines with 10’ of separation, 50’ of disturbed area would be narrower than most projects. The plan quantity of 3,225 SY would only allow for less than 10’ of disturbance over the entire length of the project.

We talked internally and we are willing to work with ACES and Hermosa by offering a reduced unit price for the seeding. This new unit price would replace the original unit price and will be used for the entire quantity of seeding completed (18,360 SY). The reduced unit price gives Hermosa a savings of more than \$11,000 compared to the bid unit price.

New Unit Price	Actual Quantity Completed	Total
\$1.25/SY	18,360 SY	\$22,950.00

We feel that both the quantity of area seeding as well as the reduced unit prices are very fair

Thanks,

**Evan Walterman**

Project Manager/Estimator

**RCS Construction, Inc.**

1314 Fountain Plaza Drive

Rapid City, SD 57702

Office 605-342-3787 | Cell 605-877-6659 | Fax 605-348-4041

Like us on **Facebook**

Prairie Business 50 Bests Places to Work 2019

**From:** [lberg@proacesinc.com](mailto:lberg@proacesinc.com) <[lberg@proacesinc.com](mailto:lberg@proacesinc.com)>

**Sent:** Tuesday, April 19, 2022 1:42 PM

**To:** Evan Walterman <[evan@rcsconst.com](mailto:evan@rcsconst.com)>

**Cc:** Brandon Sanderson <[brandons@rcsconst.com](mailto:brandons@rcsconst.com)>; [dfinch@proacesinc.com](mailto:dfinch@proacesinc.com)

**Subject:** RE: Hermosa Water & Sewer - Seeding

Evan,

After reviewing the seeded areas, I have some concerns with the quantity being claimed and the application/coverage.

There is a large section that does not appear to have been seeded? See attached photo.

Also the application coverage is not uniform in all areas.

For the additional 15,135 SY is there any way to negotiate the unit cost? Or the area with full coverage etc.? Looking for a solution that works for both the Town and RCS for the additional add. An additional \$27,999.75 is not feasible for the Town.

Let me know if you have any thoughts.

Thank you,

**Leah M. Berg, P.E.**

Civil Engineer / President

Affordably Creative Engineering Services, Inc

324 St. Joseph St, Suite 200

Rapid City, SD 57701

Fax 605-716-1144

Phone 605-716-4646

Cell 605-545-1120

[LBerg@proacesinc.com](mailto:LBerg@proacesinc.com)

**From:** Evan Waltermann <[evan@rcsconst.com](mailto:evan@rcsconst.com)>

**Sent:** Wednesday, April 13, 2022 4:48 PM

**To:** [lberg@proacesinc.com](mailto:lberg@proacesinc.com)

**Cc:** Brandon Sanderson <[brandons@rcsconst.com](mailto:brandons@rcsconst.com)>

**Subject:** Hermosa Water & Sewer - Seeding

Leah,

As we discussed earlier this afternoon the actual seeding quantity used exceeded the plans quantity.

Plan Qty – 3,225 SY

Actual Qty – 18,360 SY\*

Difference – 15,135 SY

\*I deducted 1,000 SY from the actual quantity as a portion was included in the RFP #5R2 – Adjust Heartland Storage Access. All other areas were disturbed due to pipe installation or were identified to be paid per actual quantities in the RFP.

Once we receive the CO from you, we will submit the final invoice

Final closeout documentation will be coming shortly

Thanks,

**Evan Waltermann**

Project Manager/Estimator

**RCS Construction, Inc.**

1314 Fountain Plaza Drive

Rapid City, SD 57702

Office 605-342-3787 | Cell 605-877-6659 | Fax 605-348-4041

**Like us on Facebook**

Prairie Business 50 Bests Places to Work 2019

8E

### CHANGE ORDER NO. 2 - FINAL

Date of Issuance: 5/3-2022

Project: Town of Hermosa - Water & Sewer Extension Project	Project Location: Hermosa, SD
Owner: Town of Hermosa PO BOX 298, Hermosa, SD 57744	Owner's Contract No.:
Engineer: ACES, 324 Saint Joseph Street, Suite 200, Rapid City, SD 57701	Project No: 21-1144d
Contractor: RCS Construction, PO BOX 9337, Rapid City, SD 57709-9337	Date of Contract: October 29, 2021

**The Contract Documents are modified as follows upon execution of this Change Order:**

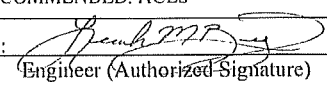
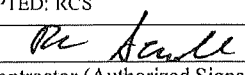
Bid Item #19 – Seed, Fertilize and Mulch: Delete -\$5,966.25 (3225 SY at Unit Cost of \$1.85/SY)

Replacement Item - Seed, Fertilize and Mulch at \$1.25/SY for 18,360 SY filed quantity: ADD \$22,950

Balance ADD of Change Order: \$16,983.75

Attachments: (List documents supporting change): None

CHANGE IN CONTRACT PRICE:	CHANGE IN CONTRACT TIMES:
Original Contract Price:  \$ 564,981.04	Original Contract <input type="checkbox"/> Working days <input type="checkbox"/> Calendar days Completion (date): March 1, 2022
Increase from previously approved Change Orders No. 1:  \$ 32,568.73	[Increase] [Decrease] from previously approved Change Orders No. _____ to No. _____: Completion (days): N/A
Contract Price prior to this Change Order:  \$ 597,549.77	Contract Times prior to this Change Order: Completion (date): March 1, 2022
Increase of this Change Order:  \$ 16,983.75	Increase of this Change Order: Completion (date): April 15, 2022
Contract Price incorporating this Change Order:  \$ 614,533.52	Contract Times with all approved Change Orders: Completion (date): April 15, 2022

RECOMMENDED: ACES	ACCEPTED: Town of Hermosa	ACCEPTED: RCS
By:  Engineer (Authorized Signature)	By: _____ Owner (Authorized Signature)	By:  Contractor (Authorized Signature)
Date: 04/26/2022	Date: _____	Date: 4/27/22

SI


# ACES

AFFORDABLY CREATIVE ENGINEERING SERVICES

April 29, 2022

Dean Kurtz Construction  
Attn: Steve Burgess  
1651 Rand Road  
Rapid City, SD 57702

Custer School District  
Attn: Mark Naugle  
[mark.naugle@k12.sd.us](mailto:mark.naugle@k12.sd.us)

RE:  Town of Hermosa – Certificate of Occupancy  
Hermosa School Expansion Project  
Hermosa, SD 57744

Dear Steve Burgess and Mark Naugle,

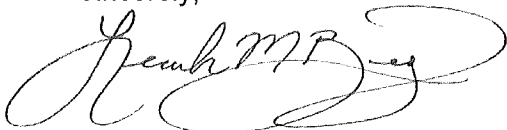
The Town of Hermosa discussed the Phase II project of the Hermosa school at the Board of Trustees Meeting on April 5, 2022.

The Town of Hermosa has issued a Temporary Certificate of Occupancy per IBC Section 111.3. A Temporary Certificate of Occupancy will apply until the exterior site project items are complete, such as paving of the parking lot. The paving noted is in addition to other site and area items that have been planned, agreed upon, and are not complete.

The timeframe for a temporary certificate of occupancy can be for up to a maximum of 90 calendar days.

If you have any questions or need any additional information please feel free to call the Town Board of Trustees President, Mr. Dan Holsworth at 605-255-4291.

Sincerely,



Leah M. Berg, P.E.  
President

Cc: Dave St. Pierre; [daverimrock@gmail.com](mailto:daverimrock@gmail.com)  
Dan Holsworth; [gjholsworth@midco.net](mailto:gjholsworth@midco.net)  
Gail Boddicker; [gail@hermosasd.com](mailto:gail@hermosasd.com)

**HERMOSA PLANNING & ZONING BOARD**  
**REGULAR MEETING**  
**April 26, 2022 @ 6:00pm**



ROLL CALL: Harris called the meeting to order at 6:00pm with the following members present; Harris, Thomason, Waltman, Liaison Holsworth. Pledge of Allegiance led by Harris.

Oath of office – Bobbie Klaski; Welcome to the Planning & Zoning board.

CALL FOR CHANGES: Motion made; seconded to accept the revised agenda as presented. Vote; all aye; motion carried.

CONSENT CALENDAR: Motion made; seconded to approve the April 12, 2022, meeting minutes; Vote; all aye; motion carried.

OLD BUSINESS:

NEW BUSINESS:

Craig Nelson present to discuss future building located 30 feet to the east of existing storage units. Proposed building will meet required setbacks with 75 feet still open to the east. Board required detailed drawing with setback measurements, proper permits submitted, and contractor be licensed to work in Hermosa.

Permit 2022-10; Subdivision Plat Application; Lone Coyote Subdivision; Review of updated plat drawings and Sewer Design Report. Per staff report, county must approve road names. The property owner will need to submit application for rezoning. Preston clarified for Phase 2 that a second access point will be off of Hwy 79. Development will have paved roads with an open ditch. Eventually there will be access off of Murphy Road and Custer County will need to maintain. Preston would like the town of Hermosa to take over road maintenance for Murphy and Shorb Road in the future. Updated Lift Station Plan from April 20, 2022, included with Sewer Design Report. Warranty on the Lift Station guarantees all the work required and performed on the Project, as listed, and will have a two (2) year warranty. This warranty shall commence once the lift station is on-line and operational. Motion to approve based on the Engineer's recommendations, seconded; vote; all aye; motion carried.

Permit 2022-15; Digging/Grading; Mt. Rushmore Telephone; Fiber Optic Telecommunications Line Upgrade; Motion made to approve permit, seconded; vote; all aye; motion carried.

REVIEW BOT MINUTES: Not available yet.

ORDINANCE REVIEW & WORK ITEMS:

Concrete Ordinance; Harris provided Chapter 93; Ordinance to provide for the uniform and safe construction of sidewalks within the town of Hermosa along with additional information regarding the uniform and safe construction of concrete work including but not limited to sidewalks, curbs, driveways, of slabs within the town of Hermosa. Board was encouraged to take home for review and present updated changes at future meetings.

Annexation Study; Pending

Review of 2018 Comprehensive Plan; Pending

TRUSTEE INPUT:

CITIZEN INPUT: Citizen expressed desire to annex property to the west of Southern Hills RV Park. Citizen would keep flat area mowed but would like to have waived mowing the hillside.

Craig Nelson asked about building another storage unit to the east in the future and would like to waive the setbacks.

There may be a quorum of Board of Trustees present at Planning & Zoning Meetings

ADJOURN: Motion made, seconded to adjourn the meeting at 6:28pm; Vote; all aye; motion carried.

---

Joan Harris, Planning & Zoning Board President

---

Jill Dybvig, Administrative

Hours of Operation:  
Monday – Friday 8:00—5:00

# Town of Hermosa

9B

PO Box 298 • 230 Main Street • Hermosa, SD 57744  
Phone (605) 255-4291 • Fax (605) 255-4094, Email: town@hermosasd.com

## SUBDIVISION PLAT APPLICATION

Sketch Plan \_\_\_\_\_ Preliminary Plan X Final Plat \_\_\_\_\_

Date: 4-1-22

Permit # 2022-10

Is any property in the Flood Plain? NO Yes \_\_\_\_\_ \*\*IF YES-YOU WILL NEED A FLOODPLAIN DEVELOPMENT PERMIT\*\*

Receipt # _____	Cash _____	Check # <u>11917</u>	Amount <u>75<sup>00</sup></u> (\$75.00)
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### Applicant:

### Other Owners:

Name: John Preston  
 Address: PO Box 32  
 City, State, Zip: Hermosa, SD  
 Phone & Email: 605-381-0555  
 Sign & Date: [Signature] 4/1/2022

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_  
 Phone & Email: \_\_\_\_\_  
 Sign & Date: \_\_\_\_\_

### Agent:

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_  
 Phone & Email: \_\_\_\_\_  
 Sign & Date: \_\_\_\_\_

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_  
 Phone & Email: \_\_\_\_\_  
 Sign & Date: \_\_\_\_\_

### Surveyor/Engineer:

Name: Renner Associates, Ian Garduna  
 Address: 3231 Teewinot Drive  
 City, State, Zip: Rapid City, SD 57703  
 Phone & Email: 605-721-7310  
 Registration Number: PE 12759  
 Sign & Date: [Signature] 4-1-22

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_  
 Phone & Email: \_\_\_\_\_  
 Sign & Date: \_\_\_\_\_

### Current Legal Description:

Subdivision/H.E.S./M.S. Title: \_\_\_\_\_  
 Secondary Title/Description: \_\_\_\_\_  
 Allquot Location: SE1/4, E1/2 OF SW1/4, SE1/4 OF NW1/4, S1/2 OF NE1/4 Total Acres: \_\_\_\_\_  
 Township: T2S Range: R8E Section(s): 19 Book: \_\_\_\_\_ Page: \_\_\_\_\_

### Proposed Legal Description:

Primary Title (Subdivision Name): Lone Coyote Subdivision  
 Secondary Title: (Description): (see plat)

Does this plat continue to divide an existing subdivision? Yes \_\_\_\_\_ No X FIRM Panel \_\_\_\_\_

Will this subdivision require construction of roads or installation of other improvements? Yes

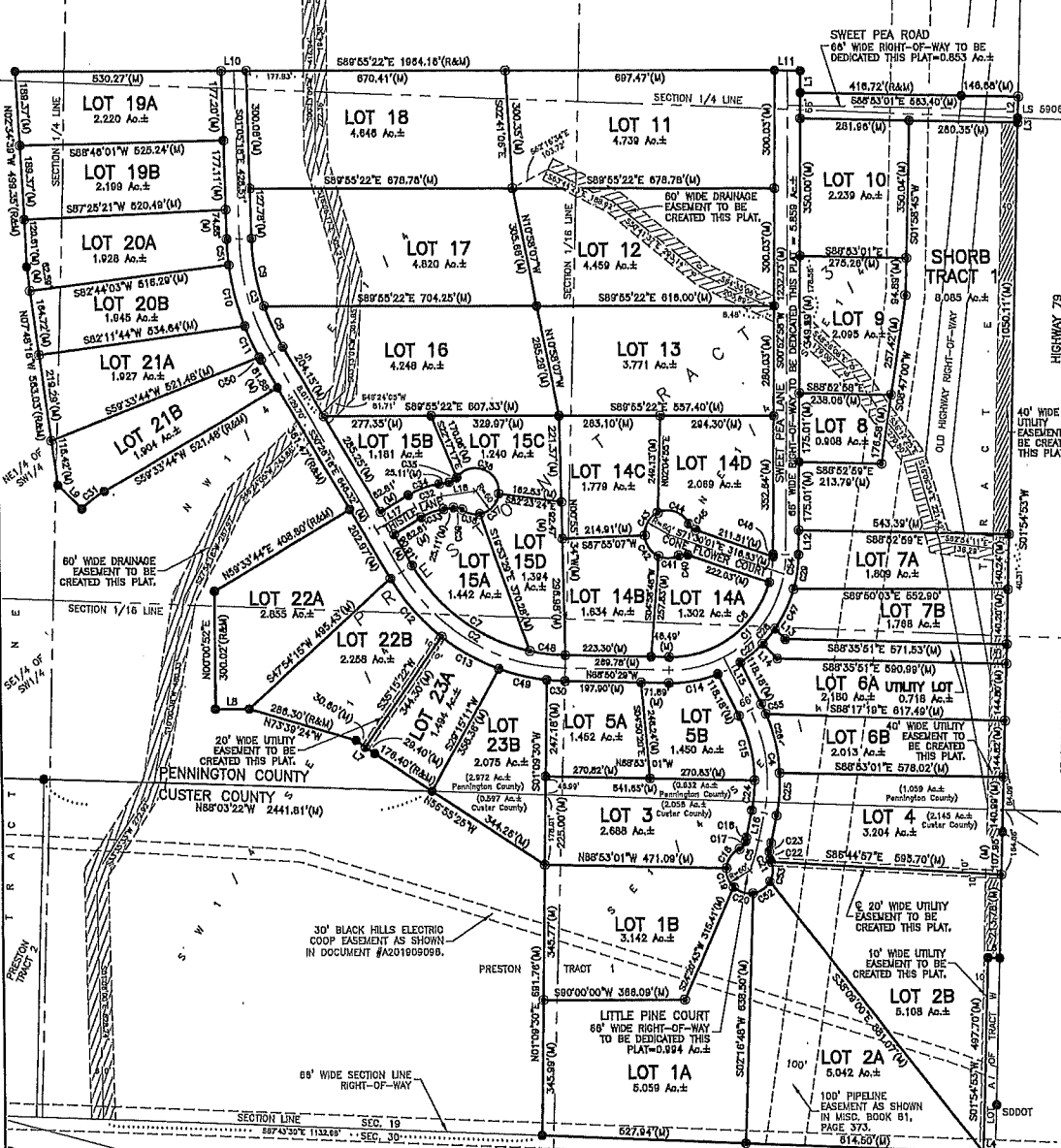
What is the intended land use within the subdivision? Residential X Commercial \_\_\_\_\_ Industrial \_\_\_\_\_ Mixed Use \_\_\_\_\_ (Specify on attached plat copy)

**ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT. \*\*\*\*\* Engineering fees may apply\*\*\*\*\***

<p style="text-align: center;"><b>PLANNING AND ZONING COMMISSION</b></p> <p style="text-align: center;"><input type="checkbox"/> Approved    <input type="checkbox"/> Denied</p> <p>Name: _____        Title: _____        Signature: _____        Date: _____</p> <p style="text-align: right;">Application Fee: <b>\$75.00</b></p> <p>Register of Deeds Fee: <b>\$60.00</b> Date Paid: _____ Balance Due: _____</p>	<p style="text-align: center;"><b>HERMOSA BOARD OF TRUSTEES</b></p> <p style="text-align: center;"><input type="checkbox"/> Approved    <input type="checkbox"/> Denied</p> <p>Name: _____        Title: _____        Signature: _____        Date: _____</p> <p>Date Permit Issued: _____</p>
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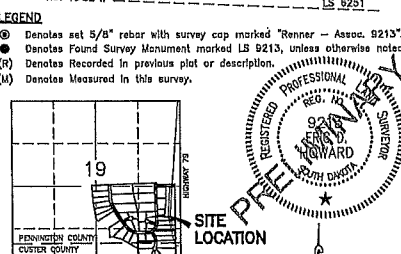
Original Parcel # 000208  
000207  
 Office Use

**PLAT OF  
LONE COYOTE SUBDIVISION**  
 LOTS 1A, 1B, 2A, 2B, 3, 4, 5A, 5B, 6A, 6B, 7A, 7B, 8, 9, 10, 11, 12, 13, 14A, 14B, 14C, 14D, 15A, 15B, 15C, 15D, 16, 17, 18, 19A, 19B, 20A, 20B, 21A, 21B, 22A, 22B, 23A, 23B, SHORB TRACT 1, UTILITY LOT AND DEDICATED SWEET PEA LANE, SWEET PEA ROAD, LITTLE PINE COURT, CONE FLOWER COURT & THISTLE LANE RIGHT-OF-WAYS,  
 (formerly Preston Tract 3 & a portion of Preston Tract 1 of Lone Coyote Subdivision, a portion of Tract E of SE1/4 of NE1/4, a portion of Tract E of NE1/4 of SE1/4, a portion of Tract E of SE1/4 of SE1/4 and vacated Highway right-of-way)  
 LOCATED IN SECTION 19, T2S, R8E, B1M,  
 HERMOSA, PENNINGTON COUNTY, & CUSTER COUNTY, SOUTH DAKOTA



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
01(M)	422.28'	300.00'	80°38'56"	S50°02'00"W	388.27'
02(U)	509.87'	500.00'	68°24'14"	N59°38'23"W	487.89'
03(U)	307.33'	600.00'	52°05'58"	N115°43'47"W	324.00'
04(U)	272.03'	400.00'	36°57'53"	S07°20'47"E	268.81'
05(U)	74.82'	400.00'	10°42'59"	S17°29'39"W	74.71'
06(U)	347.29'	287.00'	74°31'34"	S83°53'43"W	323.32'
07(U)	383.74'	467.00'	47°05'22"	S33°58'42"E	373.24'
08(U)	114.62'	587.00'	11°38'08"	N24°38'11"W	114.82'
09(U)	178.63'	587.00'	17°44'50"	N06°57'43"E	174.92'
010(U)	181.35'	633.00'	14°38'18"	S14°21'33"E	180.82'
011(U)	88.24'	633.00'	7°58'12"	N25°58'18"W	88.10'
012(U)	189.67'	633.00'	21°27'49"	N41°10'10"W	188.50'
013(U)	189.93'	633.00'	18°18'02"	N51°02'08"W	189.21'
014(U)	129.81'	333.00'	22°18'00"	S80°00'30"W	128.79'
015(U)	172.28'	367.00'	26°53'48"	S13°22'51"E	170.70'
016(U)	93.28'	371.50'	1°29'49"	S12°51'04"W	93.28'
017(U)	28.57'	30.00'	50°44'31"	S38°58'14"W	28.71'
018(U)	61.42'	80.00'	88°39'05"	S34°58'57"W	68.77'
019(U)	54.21'	80.00'	81°48'14"	N20°13'42"E	62.39'
020(U)	54.21'	80.00'	81°48'14"	N17°59'58"E	62.39'
021(U)	5.25'	80.00'	5°03'14"	N23°57'08"W	5.25'
022(U)	21.72'	30.00'	41°29'21"	N08°44'04"W	21.26'
023(U)	21.85'	437.89'	2°52'27"	N13°34'23"E	21.95'
024(U)	77.59'	387.00'	12°04'07"	S05°08'08"W	77.19'
025(U)	110.01'	433.00'	21°27'49"	S24°19'21"W	109.71'
026(U)	166.83'	433.00'	20°43'53"	S12°47'02"E	155.78'
027(U)	76.64'	333.00'	13°00'58"	S80°58'38"W	75.48'
028(U)	80.21'	333.00'	8°38'24"	S40°08'55"W	80.17'
029(U)	83.84'	333.00'	18°22'58"	N58°54'12"E	88.37'
030(U)	47.20'	833.00'	5°04'49"	N88°18'05"W	47.25'
031(R&M)	72.62'	283.00'	14°42'12"	S52°12'39"W	72.42'
032(U)	74.20'	200.00'	21°19'21"	S70°11'28"W	73.77'
033(U)	161.93'	80.00'	73°47'00"	N44°03'20"E	161.60'
034(U)	88.44'	233.00'	21°18'21"	S70°11'28"W	85.94'
035(U)	23.89'	30.00'	45°34'23"	N58°01'53"E	23.24'
036(U)	188.08'	80.00'	150°58'04"	N88°18'32"W	118.18'
037(U)	72.07'	80.00'	73°47'00"	N44°03'20"E	72.04'
038(U)	47.41'	80.00'	48°27'59"	S76°20'31"E	46.37'
039(U)	23.88'	30.00'	45°34'23"	N76°23'43"W	23.24'
040(U)	23.88'	30.00'	48°34'23"	S85°42'47"W	23.24'
041(U)	83.35'	80.00'	80°58'52"	N88°24'02"E	81.60'
042(U)	83.35'	80.00'	83°49'03"	S34°14'21"E	83.30'
043(U)	70.11'	80.00'	88°57'91"	S31°07'21"W	68.19'
044(U)	93.70'	80.00'	89°28'30"	N70°39'54"W	84.48'
045(U)	23.89'	30.00'	45°34'23"	S48°42'50"E	23.24'
046(U)	8.39'	297.00'	1°22'12"	N134°04'54"E	8.39'

LINE	BEARING	DISTANCE
01(R&M)	S00°52'58"W	55.93'
02(U)	S01°54'53"W	54.92'
03(U)	S01°54'53"W	11.49'
04(R&M)	N87°43'52"W	30.00'
05(U)	S01°54'53"W	50.00'
06(R&M)	N87°43'52"W	30.00'
07(R&M)	N54°13'03"W	80.00'
08(R&M)	N80°00'00"W	87.73'
09(R&M)	N45°08'27"W	88.44'
10(U)	S89°53'22"E	86.02'
11(R&M)	S89°07'02"E	85.00'
12(U)	S00°52'58"W	60.79'
13(U)	S49°10'35"E	37.39'
14(U)	S49°10'35"E	83.14'
15(U)	S27°48'44"E	149.84'
16(U)	S12°08'09"W	71.25'
17(U)	S59°33'44"W	118.81'
18(U)	S80°49'08"W	89.38'



**DEDICATED RIGHT-OF-WAY**  
 THISTLE LANE  
 68' WIDE RIGHT-OF-WAY TO BE DEDICATED THIS PLAT = 0.548 Ac.±  
 PINE FLOWER COURT  
 68' WIDE RIGHT-OF-WAY TO BE DEDICATED THIS PLAT = 0.603 Ac.±

**NOTES**  
 1) ALL CURVES AND MINOR DRAINAGE EASEMENTS:  
 10' ON THE INTERIOR SIDES OF ALL LOT LINES NOT ADJACENT TO PUBLIC RIGHT-OF-WAYS.

ANY MAJOR GRASS EASEMENT SHOWN HEREON SHALL BE KEPT FREE OF ALL OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS, FENCES, HEDGES, TREES AND SHRUBS. THESE EASEMENTS GRANT TO ALL PUBLIC AUTHORITIES THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT, AND REPAIR SUCH IMPROVEMENTS AND STRUCTURES AS IT DEEMS EXPEDIENT TO FACILITATE DRAINAGE FROM ANY SOURCE.

**BASE OF BEARINGS**  
 SOUTH DAKOTA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83(2011), DERIVED FROM CPUS SOLUTION WITH A COMBINED SCALE FACTOR OF 0.99765687.

**WATER PROTECTION STATEMENT**  
 PURSUANT TO SDGAS 11-3-01 AND 11-3-0.2, THE DEVELOPER OF THE PROPERTY DESCRIBED WITHIN THIS PLAT SHALL BE RESPONSIBLE FOR PROTECTING ANY WATERS OF THE STATE, INCLUDING GROUNDWATER, LOCATED ADJACENT TO OR WITHIN SUCH PLATTED AREA FROM POLLUTION FROM SEWAGE FROM SUCH SUBDIVISION AND SHALL IN PROSECUTION OF SUCH PROTECTIONS CONFORM TO AND FOLLOW ALL REGULATIONS OF THE SOUTH DAKOTA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES RELATING TO THE SAME.

**FLOODPLAIN STATEMENT**  
 BASED ON THE FLOOD INSURANCE RATE MAP NUMBER 49103C1650H (NOT PRINTED), EFFECTIVE DATE JUNE 3, 2013, INDICATES THE SUBJECT PROPERTY IS LISTED IN ZONE D.

APRIL 4, 2022  
 SCALE 1" = 200'

PLAT OF

LONE COYOTE SUBDIVISION

LOTS 1A, 1B, 2A, 2B, 3, 4, 5A, 5B, 6A, 6B, 7A, 7B, 8, 9, 10, 11, 12, 13, 14A, 14B, 14C, 14D, 15A, 15B, 15C, 15D, 16, 17, 18, 19A, 19B, 20A, 20B, 21A, 21B, 22A, 22B, 23A, 23B, SHORB TRACT 1, UTILITY LOT AND DEDICATED SWEET PEA LANE, SWEET PEA ROAD, LITTLE PINE COURT, CONE FLOWER COURT & THISTLE LANE RIGHT-OF-WAYS.

(formerly Preston Tract 3 & a portion of Preston Tract 1 of Lone Coyote Subdivision, a portion of Tract E of SE1/4 of NE1/4, a portion of Tract E of NE1/4 of SE1/4, a portion of Tract E of SE1/4 of SE1/4 and vacated Highway right-of-way) LOCATED IN SECTION 18, T2S, R8E, B1M, HERMOSA, PENNINGTON COUNTY, & CUSTER COUNTY, SOUTH DAKOTA

Table with 6 columns: CURVE, ARC LENGTH, RADIUS, DELTA ANGLE, CHORD BEARING, CHORD LENGTH. Rows include C47(M), C48(M), C49(M), C50(M), C51(M), C52(M), C53(M), C54(M), C55(M).

CERTIFICATE OF OWNERSHIP

State of South Dakota S.S. County of Pennington

We, the undersigned, do hereby certify that we are the owners of the land shown and described herein, that the survey was done at our request for the purpose indicated herein; that we do hereby approve the survey and within plot of said land; and that the development of this land shall conform to all existing applicable zoning, subdivision, erosion and sediment control regulations.

Any land shown on the within plot as dedicated to public right of way is hereby dedicated to public use and public utility use as such, forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, we have set our hand and seal.

OWNERS: Preston Family, Inc.

By: \_\_\_\_\_

On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, a Notary Public, personally appeared \_\_\_\_\_ and \_\_\_\_\_ known to me to be the persons described in the foregoing instrument and acknowledged to me that they signed the same.

NOTARY PUBLIC: \_\_\_\_\_

My commission expires: \_\_\_\_\_

CERTIFICATE OF OWNERSHIP

State of South Dakota S.S. County of Pennington

We, the undersigned, do hereby certify that we are the owners of the land shown and described herein, that the survey was done at our request for the purpose indicated herein; that we do hereby approve the survey and within plot of said land; and that the development of this land shall conform to all existing applicable zoning, subdivision, erosion and sediment control regulations.

Any land shown on the within plot as dedicated to public right of way is hereby dedicated to public use and public utility use as such, forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, we have set our hand and seal.

OWNERS: Wade Shorb

Bridget Shorb

On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, a Notary Public, personally appeared Wade and Bridget Shorb, owners, known to me to be the persons described in the foregoing instrument and acknowledged to me that they signed the same.

NOTARY PUBLIC: \_\_\_\_\_

My commission expires: \_\_\_\_\_

CERTIFICATE OF TOWN FINANCE OFFICER

I, Finance Officer of the Town of Hermosa, South Dakota, do hereby certify that the foregoing instrument is a true and correct copy of the resolution adopted by the Town Board of Hermosa, South Dakota, at a meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

HERMOSA FINANCE OFFICER: \_\_\_\_\_

CERTIFICATE OF DIRECTOR OF EQUALIZATION

I, Director of Equalization of Custer County, do hereby certify that I have on record in my office a copy of the within described plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Director of Equalization of Custer County \_\_\_\_\_

APPROVED: \_\_\_\_\_ Date: \_\_\_\_\_

CERTIFICATE OF HIGHWAY AUTHORITY

It appears that every lot has an acceptable approach location onto a public road and the location of the intersection(s) of the proposed subdivision road(s) with the existing public road(s) is hereby approved.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Highway Authority -- SDDOT \_\_\_\_\_

CERTIFICATE OF SURVEYOR

State of South Dakota S.S. County of Pennington

I, Eric D. Howard, Registered Land Surveyor No. 8213 in the State of South Dakota, do hereby certify that at the request of the owners listed herein, I have surveyed the tract of land shown, and to the best of my knowledge and belief, the within plot is a representation of said survey, Easements or restrictions of miscellaneous record or private easements that are not known to me are not shown herein.

In witness whereof, I have hereunto set my hand and seal.

Eric D. Howard, Registered Land Surveyor Date: \_\_\_\_\_

RESOLUTION OF GOVERNING BOARD

Whereas, there has been presented to the Town Board of Hermosa, South Dakota, the within plot of the above described lands, and it appearing to the Board that said plan conforms to the existing plots of said Town, that the streets set forth therein conform to the system of streets of the municipality, that all provisions of assessments upon the tract have been fully paid, and that said plot and the survey thereof have been executed according to law, now therefore, BE IT RESOLVED, that said plot is hereby approved in all respects.

Dated at Hermosa, South Dakota, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Governing Board President Date \_\_\_\_\_

CERTIFICATE OF COUNTY TREASURER

I, Treasurer of Custer County, do hereby certify that all taxes which are liens upon the within described lands are fully paid according to the records of my office.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Treasurer of Custer County \_\_\_\_\_

CERTIFICATE OF REGISTER OF DEEDS

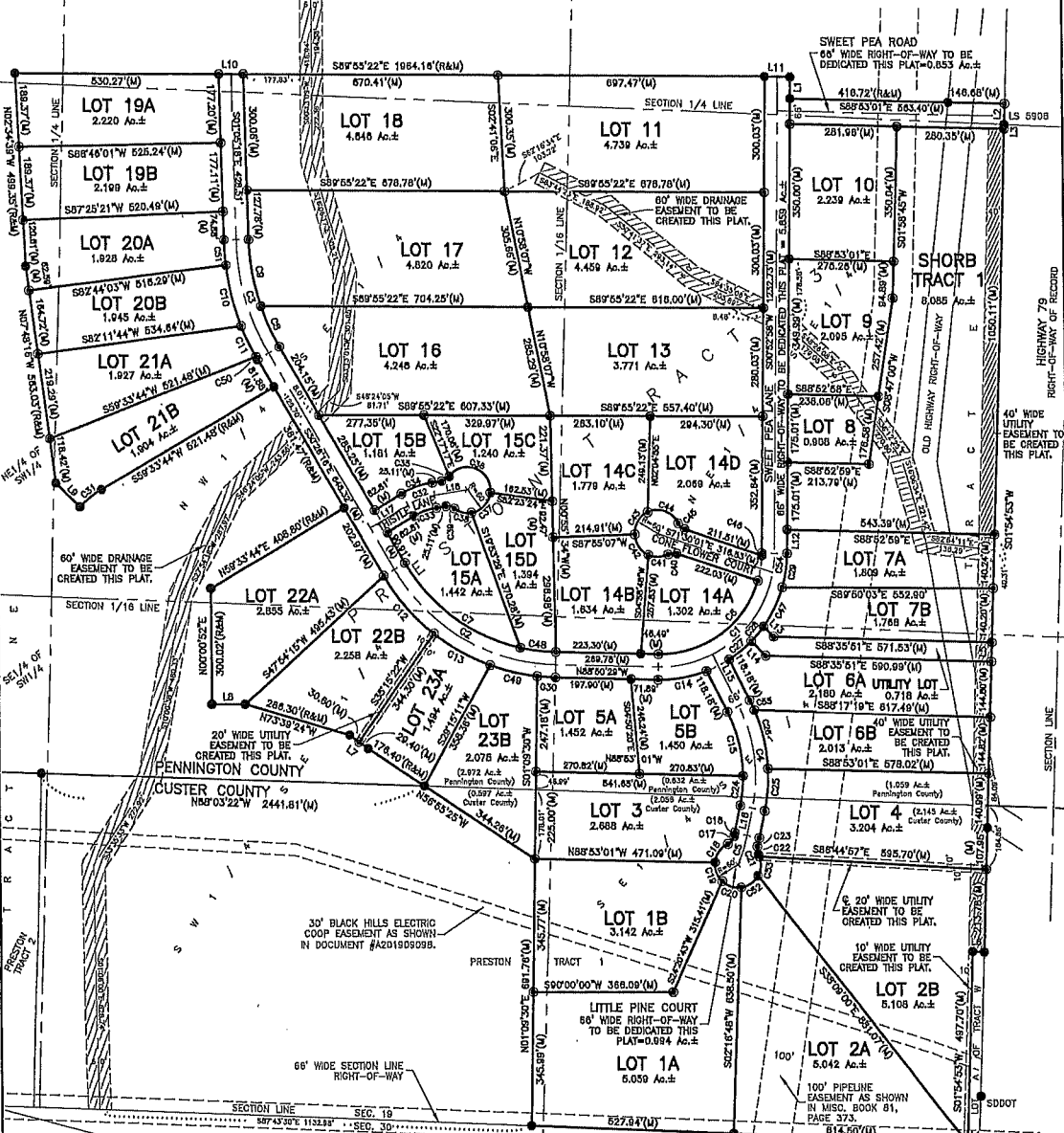
State of South Dakota S.S. County of Custer

Filed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M.

Document Number \_\_\_\_\_

Register of Deeds of Custer County Fee: \$ \_\_\_\_\_

**PLAT OF**  
**LOTS 1A, 1B, 2A, 2B, 3, 4, 5A, 5B, 6A, 6B, 7A, 7B, 8, 9, 10, 11, 12, 13, 14A, 14B, 14C, 14D, 15A,**  
**15B, 15C, 15D, 16, 17, 18, 19A, 19B, 20A, 20B, 21A, 21B, 22A, 22B, 23A, 23B, SHORB TRACT 1, UTILITY**  
**LOT AND DEDICATED SWEET PEA LANE, SWEET PEA ROAD, LITTLE PINE COURT, CONE FLOWER COURT &**  
**THISTLE LANE RIGHT-OF-WAYS,**  
**LONE COYOTE SUBDIVISION**  
 (formerly Preston Tract 3 & a portion of Preston Tract 1 of Lone Coyote Subdivision, a portion of Tract E of SE1/4 of NE1/4, a portion of Tract E of NE1/4 of SE1/4, a portion of Tract E of SE1/4 of SE1/4 and vacated Highway right-of-way)  
 LOCATED IN SECTION 19, T2S, R8E, BHM,  
 HERMOSA, PENNINGTON COUNTY, & CUSTER COUNTY, SOUTH DAKOTA



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
01(U)	422.28	300.00	80°38'58"	S50°50'02"W	388.27'
02(U)	509.67	800.00	58°24'14"	N59°38'23"W	487.85'
03(U)	307.35	800.00	29°20'58"	N18°43'47"W	301.00'
04(U)	272.03	400.00	38°57'53"	S07°20'47"E	288.01'
05(U)	74.82	400.00	10°42'58"	S17°29'39"W	74.71'
06(U)	347.29	287.00	74°31'54"	S83°53'43"W	323.32'
07(U)	353.74	467.00	47°04'52"	S33°30'42"W	373.04'
08(U)	114.82	567.00	11°35'08"	N24°38'11"W	114.82'
09(U)	178.83	567.00	17°44'50"	N09°57'43"W	174.82'
10(U)	181.35	633.00	14°30'18"	S14°21'33"E	180.92'
11(U)	88.24	633.00	7°29'12"	N29°39'38"W	88.16'
12(U)	199.57	633.00	21°27'46"	N41°10'10"W	183.50'
13(U)	169.93	633.00	18°16'02"	N61°02'08"W	169.21'
14(U)	128.81	333.00	22°16'00"	S60°00'30"W	128.79'
15(U)	122.20	367.00	26°53'48"	S12°25'1"E	170.70'
16(U)	62.28	371.59	12°54'04"	S12°51'04"W	62.28'
17(U)	28.57	30.00	60°44'31"	S83°58'14"W	25.71'
18(U)	81.42	60.00	86°30'55"	S34°58'57"W	58.77'
19(U)	64.21	60.00	81°46'14"	N29°13'42"W	82.39'
20(U)	64.21	60.00	81°46'14"	N29°13'42"W	82.39'
21(U)	62.28	60.00	80°31'14"	N23°57'08"W	62.28'
22(U)	21.72	30.00	41°29'21"	N05°44'04"W	21.28'
23(U)	21.95	437.59	2°52'27"	N13°34'23"E	21.95'
24(U)	77.50	387.00	12°04'07"	S88°08'08"W	77.16'
25(U)	110.61	433.00	14°33'24"	S04°12'7"W	109.21'
26(U)	158.63	433.00	20°43'33"	S12°47'02"E	155.78'
27(U)	75.84	333.00	13°00'55"	S09°08'38"W	78.48'
28(U)	60.21	333.00	18°38'24"	S40°08'55"W	60.17'
29(U)	69.84	333.00	16°27'28"	N41°08'56"W	68.37'
30(U)	47.26	633.00	5°04'49"	N89°18'05"W	47.25'
31(R&U)	72.82	283.00	14°42'12"	S52°12'38"W	72.42'
32(U)	74.20	200.00	21°16'21"	S70°11'25"W	73.77'
33(U)	61.89	167.00	21°19'21"	S70°11'25"W	61.60'
34(U)	86.44	233.00	21°19'21"	S70°11'25"W	85.84'
35(U)	23.88	30.00	45°34'23"	N88°01'55"E	23.24'
36(U)	188.00	60.00	160°58'04"	N89°19'32"W	118.18'
37(U)	72.47	60.00	73°47'00"	N41°08'56"W	72.04'
38(U)	47.61	60.00	45°27'58"	S76°20'31"E	46.37'
39(U)	23.88	30.00	45°34'23"	N76°24'43"W	23.24'
40(U)	23.88	30.00	45°34'23"	S85°42'47"W	23.24'
41(U)	63.30	60.00	60°58'52"	N88°01'55"E	61.61'
42(U)	69.78	60.00	63°46'23"	S34°14'21"W	63.39'
43(U)	70.11	60.00	66°57'01"	S31°07'21"W	66.10'
44(U)	63.70	60.00	89°29'50"	N70°39'54"W	64.48'
45(U)	23.88	30.00	45°34'23"	S46°43'00"E	23.24'
46(U)	6.59	287.00	1°22'12"	N134°04"E	6.58'

LINE	BEARING	DISTANCE
1(R&U)	S07°52'58"W	55.93'
2(U)	S01°49'13"W	64.62'
3(U)	S01°49'13"W	11.40'
4(U)	N07°43'52"E	30.00'
5(U)	S01°54'53"W	50.00'
6(R&U)	N87°43'52"E	30.00'
7(R&U)	N84°13'53"W	60.00'
8(U)	N07°00'00"W	67.73'
9(R&U)	N49°08'27"W	66.44'
10(U)	S07°52'58"W	69.78'
11(R&U)	S87°07'02"E	68.00'
12(U)	S07°52'58"W	69.78'
13(U)	S45°10'55"E	37.52'
14(U)	S45°10'55"E	53.14'
15(U)	S26°49'44"E	149.64'
16(U)	S10°00'00"W	71.22'
17(U)	S52°33'44"W	118.61'
18(U)	S80°49'05"W	89.38'

**LEGEND**

- ⊙ Denotes set 5/8" rebar with survey cap marked "Renner - Assoc. 9213".
- Denotes Found Survey Monument marked LS 9213, unless otherwise noted.
- (R) Denotes Recorded in previous plat or description.
- (M) Denotes Measured in this survey.

**VICINITY MAP**  
NOT TO SCALE

APRIL 4, 2022  
1" = 200'

**REGISTERED PROFESSIONAL SURVEYOR**  
 RENNERS ASSOCIATES, LLC  
 REG. NO. 10000  
 SOUTH DAKOTA

**SITE LOCATION**

**DEDICATED RIGHT-OF-WAY**  
 THISTLE LANE  
 68' WIDE RIGHT-OF-WAY TO BE DEDICATED THIS PLAT = 0.546 Ac.±  
 88' WIDE PAVEMENT  
 88' WIDE RIGHT-OF-WAY TO BE DEDICATED THIS PLAT = 0.603 Ac.±

**NOTES**  
 UTILITY AND MINOR DRAINAGE EASEMENTS  
 10' ON THE INTERIOR SIDES OF ALL LOT LINES NOT ADJACENT TO PUBLIC RIGHT-OF-WAYS.

ANY MAJOR GRASS EASEMENT SHOWN HEREAFTER SHALL BE KEPT FREE OF ALL OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS, FENCES, HEDGES, TREES AND SHRUBS. THESE EASEMENTS GRANT TO ALL PUBLIC AUTHORITIES THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT, AND REPAIR SUCH IMPROVEMENTS AND STRUCTURES AS IT DEEMS EXPEDIENT TO FACILITATE TRAFFIC FROM ANY SOURCE.

**BASIS OF BEARINGS**  
 SOUTH DAKOTA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83(2011), DERIVED FROM OPUS SOLUTION WITH A COMBINED SCALE FACTOR OF 0.99975567.

**WATER PROTECTION STATEMENT**  
 PURSUANT TO SDAPL 1-1-1 AND 11-3-3.2, THE DEVELOPER OF THE PROPERTY DESCRIBED WITHIN THIS PLAT SHALL BE RESPONSIBLE FOR PROTECTING ANY WATERS OF THE STATE, INCLUDING GROUNDWATER, LOCATED ADJACENT TO OR WITHIN SUCH PLATTED AREA FROM POLLUTION FROM SEWAGE FROM SUCH SUBDIVISION AND SHALL IN PROSECUTION OF SUCH PROTECTIONS CONFORM TO AND FOLLOW ALL REGULATIONS OF THE SOUTH DAKOTA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES RELATING TO THE SAME.

**FLOODPLAIN STATEMENT**  
 BASED ON THE FLOOD INSURANCE RATE MAP NUMBER 4810301850H (NOT PRINTED), EFFECTIVE DATE JUNE 3, 2013, INDICATES THE SUBJECT PROPERTY IS LISTED IN ZONE D.

PLAT OF

LOTS 1A, 1B, 2A, 2B, 3, 4, 5A, 5B, 6A, 6B, 7A, 7B, 8, 9, 10, 11, 12, 13, 14A, 14B, 14C, 14D, 15A, 15B, 15C, 15D, 16, 17, 18, 19A, 19B, 20A, 20B, 21A, 21B, 22A, 22B, 23A, 23B, SHORB TRACT 1, UTILITY LOT AND DEDICATED SWEET PEA LANE, SWEET PEA ROAD, LITTLE PINE COURT, CONE FLOWER COURT & THISTLE LANE RIGHT-OF-WAYS,

LONE COYOTE SUBDIVISION

(formerly Preston Tract 3 & a portion of Preston Tract 1 of Lone Coyote Subdivision, a portion of Tract E of SE1/4 of NE1/4, a portion of Tract E of NE1/4 of SE1/4, a portion of Tract E of SE1/4 of SE1/4 and vacated Highway right-of-way) LOCATED IN SECTION 18, T2S, R6E, B1M, HERMOSA, PENNINGTON COUNTY, & CUSTER COUNTY, SOUTH DAKOTA

Table with 5 columns: CURVE, ARC LENGTH, RADIUS, DELTA ANGLE, CHORD BEARING, CHORD LENGTH. Contains 12 rows of curve data.

CERTIFICATE OF OWNERSHIP

State of South Dakota S.S. County of Pennington

We, the undersigned, do hereby certify that we are the owners of the land shown and described hereon, that the survey was done at our request for the purpose indicated hereon; that we do hereby approve the survey and within plot of said land; and that the development of this land shall conform to all existing applicable zoning, subdivision, erosion and sediment control regulations.

Any land shown on the within plot as dedicated to public right of way is hereby dedicated to public use and public utility use as such, forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, we have set our hand and seal.

OWNERS: Preston Family, Inc.

BY: \_\_\_\_\_

On the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, a Notary Public, personally appeared \_\_\_\_\_ and \_\_\_\_\_, known to me to be the persons described in the foregoing instrument and acknowledged to me that they signed the same.

NOTARY PUBLIC: \_\_\_\_\_

My commission expires: \_\_\_\_\_



CERTIFICATE OF OWNERSHIP

State of South Dakota S.S. County of Pennington

We, the undersigned, do hereby certify that we are the owners of the land shown and described hereon, that the survey was done at our request for the purpose indicated hereon; that we do hereby approve the survey and within plot of said land; and that the development of this land shall conform to all existing applicable zoning, subdivision, erosion and sediment control regulations.

Any land shown on the within plot as dedicated to public right of way is hereby dedicated to public use and public utility use as such, forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, we have set our hand and seal.

OWNERS: Wade Shorb

Bridget Shorb

On the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, a Notary Public, personally appeared Wade and Bridget Shorb, owners, known to me to be the persons described in the foregoing instrument and acknowledged to me that they signed the same.

NOTARY PUBLIC: \_\_\_\_\_

My commission expires: \_\_\_\_\_

CERTIFICATE OF SURVEYOR

State of South Dakota S.S. County of Pennington

I, Eric D. Howard, Registered Land Surveyor No. 9213 in the State of South Dakota, do hereby certify that at the request of the owners listed hereon, I have surveyed the tract of land shown, and to the best of my knowledge and belief, the within plot is a representation of said survey, Easements or restrictions of miscellaneous record or private easements that are not known to me are not shown hereon.

In witness whereof, I have hereunto set my hand and seal.

Eric D. Howard, Registered Land Surveyor Date: \_\_\_\_\_

RESOLUTION OF GOVERNING BOARD

Whereas, there has been presented to the Town Board of Hermosa, South Dakota, the within plot of the above described lands, and it appearing to the Board that said plan conforms to the existing plots of said Town, that the streets set forth therein conform to the system of streets of the municipality, that all provisions of assessments upon the tract have been fully paid, and that said plot and the survey thereof have been executed according to law, now therefore, BE IT RESOLVED, that said plot is hereby approved in all respects.

Dated at Hermosa, South Dakota, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Governing Board President Date: \_\_\_\_\_

CERTIFICATE OF TOWN FINANCE OFFICER

I, Finance Officer of the Town of Hermosa, South Dakota, do hereby certify that the foregoing instrument is a true and correct copy of the resolution adopted by the Town Board of Hermosa, South Dakota, at a meeting held on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

HERMOSA FINANCE OFFICER: \_\_\_\_\_

CERTIFICATE OF COUNTY TREASURER

I, Treasurer of Pennington County, do hereby certify that all taxes which are liens upon the within described lands are fully paid according to the records of my office.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Treasurer of Pennington County

CERTIFICATE OF DIRECTOR OF EQUALIZATION

I, Director of Equalization of Pennington County, do hereby certify that I have on record in my office a copy of the within described plot.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Director of Equalization of Pennington County

APPROVED: \_\_\_\_\_ Date: \_\_\_\_\_

CERTIFICATE OF REGISTER OF DEEDS

State of South Dakota S.S. County of Pennington

Filed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_ o'clock \_\_\_\_ M.,

Document Number \_\_\_\_\_

Register of Deeds of Pennington County Fee: \$ \_\_\_\_\_

CERTIFICATE OF HIGHWAY AUTHORITY

It appears that every lot has an acceptable approach location onto a public road and the location of the intersection(s) of the proposed subdivision road(s) with the existing public road(s) is hereby approved.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Highway Authority - SDDOT



## STAFF REPORT

MUNICIPALITY: Town of Hermosa, 230 Main Street, Hermosa, SD 57744  
PROJECT: Preston Family Inc. – John Preston  
**Lone Coyote Subdivision**  
Hermosa, SD  
DATE: April 18, 2022  
PERMIT NUMBER: 2022-10  
REPORTED BY: Leah M. Berg, P.E.

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### Conditions:

The subdivision is located in the newly annexed area in the NW area of the Town of Hermosa, located west of Highway 79. The Subdivision is within Custer County and Pennington County.

The provided plat includes Phase 1, Lots 1 through 23, Shorb Tract 1, Utility Lot, and dedicated Right-Of-Ways.

An initial Staff Report was completed on a previous version of this Preliminary Plat by Interstate Engineering under Permit # 2021-18 dated June 17th, 2021. That report is attached for reference.

### **The applicant has submitted the following documents:**

Drainage Report  
Lone Coyote Plans Signed 4/1/2022  
PLAT-Prelim\_LOT(As) 1-23, BLK 1, PREST TRACT 3 (Penn)  
PLAT-Prelim\_LOT(As) 1-23, BLK 1, PREST TRACT 3 (Cust)  
PLAT-Prelim\_LOT(As) 1-23, BLK 1, PREST TRACT 3 (Cust)\_SHT2  
PLAT-Prelim\_LOT(As) 1-23, BLK 1, PREST TRACT 3 (Penn)\_SHT2  
Revised Sanitary Report 4-12-22  
Exemptions Letter dated 11/20/2020  
Permit 2022-10-Subdivision Plat Permit-Lone Coyote  
Signed Application  
Signed CA Proposal  
Signed Warranty Document  
DOT Access Permit  
Lone Coyote DOT Access Permit Email(s)

### Annexation:

Phase 1 of the Lone Coyote Subdivision, as submitted, is located within the Town of Hermosa Boundary.

### Flood Plain:

Based on the flood map overlay, the proposed expansion is NOT located in any identified special hazard area (floodplain).

Zoning: This area will need to be re-zoned now that annexation is complete.

- The property owner will need to submit application for rezoning. This can be done concurrently with the preliminary plat process.

Water and Sewer service:

The Town's water and sanitary sewer mains have been extended to the property line on the Lone Coyote Subdivision.

- It is the contractor's responsibility to verify the existing mains and that size and supply will meet code requirements and properly serve the proposed lots and future home(s), design was not verified in this review.
- Water supply pressure and supply was not committed by the Town.

Access:

Access shall be from Highway 79 off an existing approach.

- Property owner shall be responsible to reclassify use of approach off existing SD Highway 79 through the SDDOT.
  - Permit through SDDOT has been submitted to the Town.
- Phase 2 will require a second access point.
- Sweet Pea Lane will require temporary turn arounds at each dead end.

Comments:

1. County approval of road names Sweet Pea Road, Sweet Pea Lane, and Little Pine Court, Thistle Lane, Cone Flower Court shall be required.
2. The sanitary sewer design report includes a list station with 2 – pump system with high/low level warnings and a backup generator. These are the minimum requirements for a lift station that will be taken over by the Town of Hermosa.
3. It is understood that the developer is proposing gravel roads and open ditch drainage ways. It is up to the Town sidewalks and streetlights shall be provided.
  - a. Letter from the Town has been submitted detailing that streetlights, paved roads, curb and gutter and sidewalks will not be required in the Residential Ag. Zoning within this subdivision.
4. Provided Revised Sanitary Report dated 4-12-22 shows different calculations than what is being designed for. The number of lots has increased and therefore the Dwelling Units per acre (DU) should reflect this change.
5. Multiple labeling and mathematical errors have been discovered with the provided preliminary plats for phase 1 of construction.
6. Submitted package is missing an updated lift station plan.
7. It shall be required that the Engineer of Record Provide Construction Administration Services on this project and verify through Observation Reports that all underground utilities are installed per plan. The agreement between Renner Associates and the development group should be provided to ensure *services will be provided.*
  - a. *Renner will be providing weekly Construction Administration (CA) services see attached Proposal*

Recommendations – Permit 2022-10:

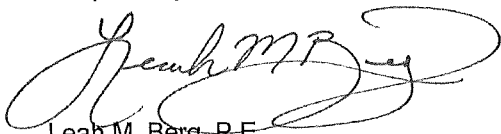
**Based on the application information, the permit complies with the Town of Hermosa's requirements.**

**Recommendation is to approve with the following stipulations:**

1. Owner shall submit revised Sanitary Report to reflect revised dwelling units per acre in calculations to ensure Lift Station is sized properly.
  - a. Lift Station plans shall be revised if sanitary sewer report reflects changes in equipment sizing.
2. Plat shall be revised to correct errors, see attached for some examples of errors identified.

3. Custer County Register of Deeds and Pennington County Register of Deeds must review and accept plat format, legal description, and any other aspects of the plat document.
  - a. This will be verified at final platting by the Owner if the plats are able to be recorded. It is recommended the Owner verify this ahead of final platting.
4. If Preliminary Plat is approved by the Hermosa Planning and Zoning Board, and the BOT, a mylar copy shall be provided by the Owner to the Board of Trustees for final review, approval, and signature at the time of application for final platting.
5. The Owner is responsible for submitting the plat to Custer County and Pennington County, paying applicable taxes, and having the plat signed and recorded.
  - a. *This is a requirement of final platting; it is included herein so that it is clearly understood by the Owner.*
6. All fees to be paid prior to issuing permit.
7. Plans shall be submitted to SDDANR for approval, this approval shall be provided to the Town prior to construction.
8. Applicable inspections must be performed by the Town of Hermosa
9. Compaction test results for roadways and utility trenches shall be provided by an independent testing agency/firm and test results shall be made available to the Town as completed throughout construction.
  - a. No information has been provided.
10. All construction must meet applicable code requirements as well as Town Ordinance requirements weather stated in this Staff Report or not.
11. Lift Station is located on the Utility Lot, verbally confirmed that the Utility Lot will be dedicated to the Town.
12. Contractor's License with the Town of Hermosa shall be required for all contractors working on the project.
13. As-Builts shall be submitted in AutoCAD and PDF format prior to final plat approval.
14. Warranty of two (2) year term upon Lift Station being on-line and active shall be provided by the Owner to the Town.

Respectfully submitted,



Leah M. Berg, P.E.

[LBerg@proacesinc.com](mailto:LBerg@proacesinc.com)

END OF STAFF REPORT

# Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744  
Phone (605) 255-4291 • Fax (605) 255-4094, Email: town@hermosasd.com

## SUBDIVISION PLAT APPLICATION

Sketch Plan \_\_\_\_\_ Preliminary Plan X Final Plat \_\_\_\_\_

Date: 4-1-22

Permit # 2022-10

Is any property in the Flood Plain? NO Yes \_\_\_\_\_ \*\*IF YES-YOU WILL NEED A FLOODPLAIN DEVELOPMENT PERMIT\*\*

Receipt # _____	Cash _____	Check # <u>11917</u>	Amount <u>75<sup>00</sup></u>	(\$75.00)
-----------------	------------	----------------------	-------------------------------	-----------

**Applicant:**  
 Name: John Preston  
 Address: PO Box 32  
 City, State, Zip: Hermosa, SD  
 Phone & Email: 605-381-0555  
 Sign & Date: [Signature] 4/1/2022

**Other Owners:**  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_  
 Phone & Email: \_\_\_\_\_  
 Sign & Date: \_\_\_\_\_

**Agent:**  
 Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_  
 Phone & Email: \_\_\_\_\_  
 Sign & Date: \_\_\_\_\_

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_  
 Phone & Email: \_\_\_\_\_  
 Sign & Date: \_\_\_\_\_

**Surveyor/Engineer:**  
 Name: Renner Associates, Ian Garduna  
 Address: 3231 Teewinot Drive  
 City, State, Zip: Rapid City, SD 57703  
 Phone & Email: 605-721-7310  
 Registration Number: PE 12759  
 Sign & Date: [Signature] 4-1-22

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_  
 Phone & Email: \_\_\_\_\_  
 Sign & Date: \_\_\_\_\_

### Current Legal Description:

Subdivision/H.E.S./M.S. Title: \_\_\_\_\_  
 Secondary Title/Description: \_\_\_\_\_  
 Aliquot Location: SE1/4, E1/2 OF SW1/4, SE1/4 OF NW1/4, S1/2 OF NE1/4 Total Acres: \_\_\_\_\_  
 Township: T2S Range: R8E Section(s): 19 Book: \_\_\_\_\_ Page: \_\_\_\_\_

### Proposed Legal Description:

Primary Title (Subdivision Name): Lone Coyote Subdivision  
 Secondary Title: (Description): (see plat)

Does this plat continue to divide an existing subdivision? Yes \_\_\_\_\_ No X FIRM Panel \_\_\_\_\_  
 Will this subdivision require construction of roads or installation of other improvements? Yes

What is the intended land use within the subdivision? Residential X Commercial \_\_\_\_\_ Industrial \_\_\_\_\_ Mixed Use \_\_\_\_\_ (Specify on attached plat copy)

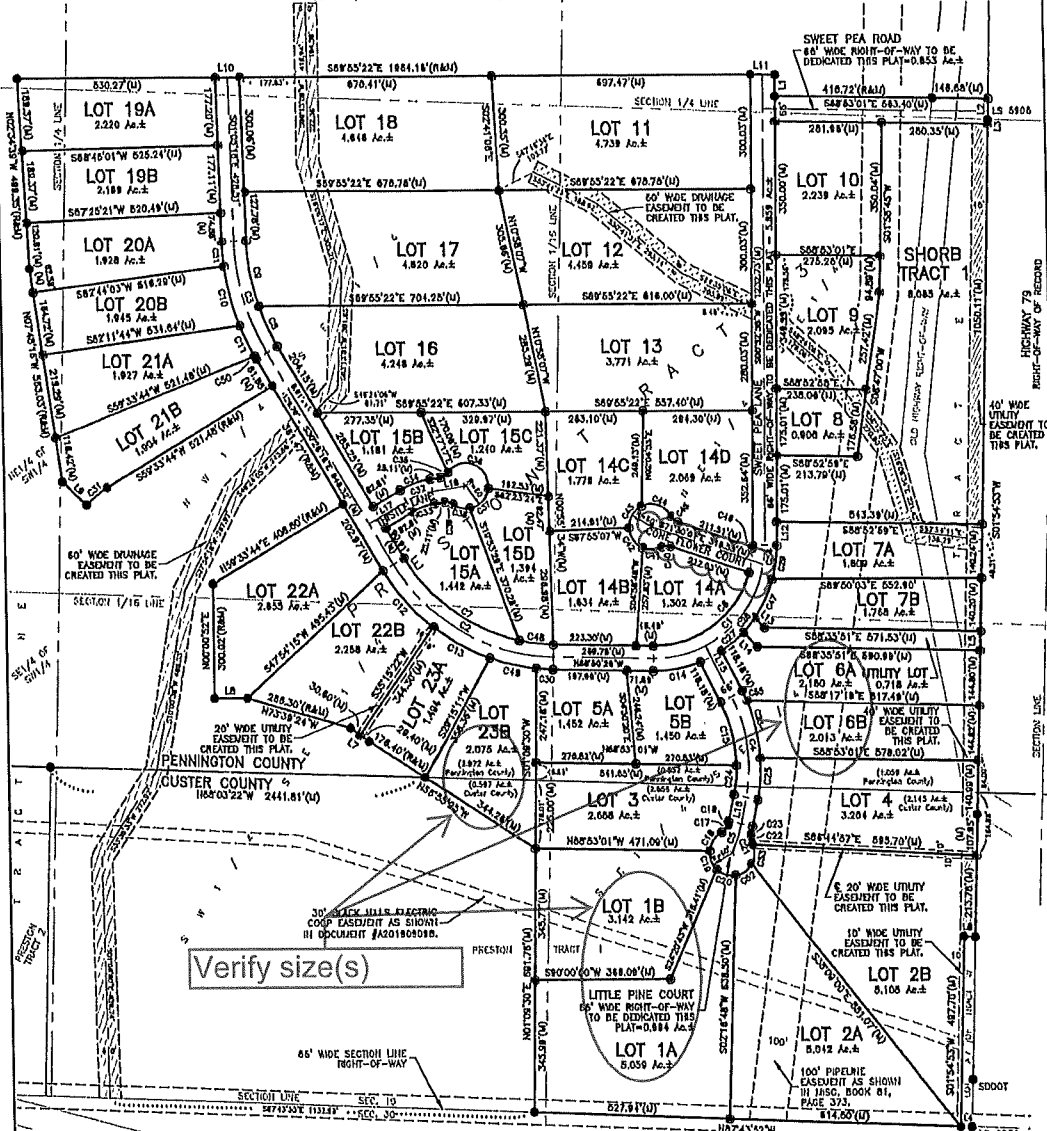
**ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT. \*\*\*\*\* Engineering fees may apply \*\*\*\*\***

PLANNING AND ZONING COMMISSION	
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Name: _____	
Title: _____	
Signature: _____	
Date: _____	Application Fee: <u>\$75.00</u>
Register of Deeds Fee: <u>\$60.00</u>	Date Paid: _____ Balance Due: _____

HERMOSA BOARD OF TRUSTEES	
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
Name: _____	
Title: _____	
Signature: _____	
Date: _____	
Date Permit Issued: _____	

Original Parcel # 000208  
000207  
 Office Use

PLAT OF  
**LONE COYOTE SUBDIVISION**  
 LOTS 1A, 1B, 2A, 2B, 3, 4, 5A, 5B, 6A, 6B, 7A, 7B, 8, 9, 10, 11, 12, 13, 14A, 14B, 14C, 14D, 15A,  
 15B, 15C, 15D, 16, 17, 18, 19A, 19B, 20A, 20B, 21A, 21B, 22A, 22B, 23A, 23B, SHORB TRACT 1, UTILITY  
 LOT AND DEDICATED SWEET PEA LANE, SWEET PEA ROAD, LITTLE PINE COURT, CONE FLOWER COURT &  
 THISTLE LANE RIGHT-OF-WAYS,  
 (formerly Preston Tract 3 & a portion of Preston Tract 1 of Lone Coyote Subdivision, a portion of Tract E of SE1/4 of NE1/4, a portion of Tract E of NE1/4 of  
 SE1/4, a portion of Tract E of SE1/4 of SE1/4 and vacated Highway right-of-way)  
 LOCATED IN SECTION 19, T2S, R8E, B1M,  
 HERMOSA, PENNINGTON COUNTY, & CUSTER COUNTY, SOUTH DAKOTA

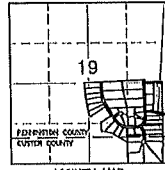


Verify size(s)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1(U)	422.28	500.00	82°24'14"	N59°32'23"W	487.88
C2(U)	508.87	600.00	28°23'58"	N18°28'47"W	504.00
C3(U)	507.35	600.00	28°23'58"	N18°28'47"W	504.00
C4(U)	272.03	400.00	38°07'53"	S07°20'45"E	248.81
C5(U)	74.82	100.00	17°02'09"	S12°22'09"E	74.71
C6(U)	317.28	287.50	74°31'54"	S45°24'13"W	323.52
C7(U)	363.74	487.00	47°04'02"	S37°08'42"E	373.04
C8(U)	114.82	147.00	11°03'08"	N23°38'17"W	114.82
C9(U)	175.83	224.50	17°44'50"	N09°57'43"W	174.82
C10(U)	181.32	233.00	14°03'18"	S14°21'33"E	180.82
C11(U)	66.24	83.00	7°08'12"	N25°39'18"W	66.18
C12(U)	188.87	233.00	21°27'48"	N11°10'10"W	189.56
C13(U)	188.87	233.00	16°18'02"	N11°02'06"W	189.21
C14(U)	128.81	163.00	37°21'00"	S07°00'30"W	128.78
C15(U)	172.28	217.00	28°53'49"	S13°22'15"E	170.70
C16(U)	82.48	111.89	1°29'58"	S12°21'01"W	82.88
C17(U)	26.57	36.00	50°41'31"	S38°38'14"W	25.71
C18(U)	61.42	80.00	48°39'05"	S34°58'27"W	58.77
C19(U)	61.42	80.00	51°41'14"	N17°58'58"W	60.58
C20(U)	84.21	105.00	51°41'14"	N17°58'58"W	82.58
C21(U)	6.29	8.00	50°37'14"	N23°47'08"W	8.29
C22(U)	21.22	26.00	41°28'21"	N05°44'02"W	21.20
C23(U)	21.82	27.00	43°27'49"	N13°49'03"E	21.82
C24(U)	77.30	97.00	12°01'01"	S08°08'00"W	77.10
C25(U)	116.01	143.00	14°33'24"	S04°41'27"W	109.71
C26(U)	158.83	197.00	14°33'24"	S04°41'27"W	135.72
C27(U)	78.84	98.00	13°00'53"	S05°58'35"W	75.48
C28(U)	80.21	100.00	4°38'24"	S10°08'55"W	80.17
C29(U)	89.84	110.00	18°28'24"	N03°34'15"E	89.37
C30(U)	47.28	59.00	27°17'00"	N11°02'06"W	47.25
C31(283.0)	72.82	283.00	14°42'11"	S57°12'38"W	72.42
C32(U)	74.20	200.00	21°18'21"	S70°11'25"W	73.77
C33(U)	81.82	187.00	21°18'21"	S70°11'25"W	81.80
C34(U)	48.44	233.00	11°18'21"	S70°11'25"W	48.44
C35(U)	23.88	90.00	15°12'23"	S81°10'23"W	23.24
C36(U)	23.88	90.00	15°12'23"	S81°10'23"W	23.24
C37(U)	188.00	60.00	180°00'00"	N08°18'32"W	118.18
C38(U)	72.87	90.00	27°17'00"	N11°02'06"W	72.84
C39(U)	47.28	60.00	48°37'58"	S74°20'31"E	46.37
C40(U)	23.88	30.00	45°31'23"	N78°23'23"W	23.24
C41(U)	23.88	30.00	45°31'23"	N78°23'23"W	23.24
C42(U)	48.44	60.00	11°18'21"	S70°11'25"W	48.44
C43(U)	48.44	60.00	11°18'21"	S70°11'25"W	48.44
C44(U)	48.44	60.00	11°18'21"	S70°11'25"W	48.44
C45(U)	70.11	60.00	48°07'01"	S31°07'21"W	68.18
C46(U)	83.70	60.00	48°07'01"	S31°07'21"W	81.48
C47(U)	23.88	30.00	45°31'23"	S78°12'30"E	23.24
C48(U)	6.38	287.00	1°22'12"	N11°01'16"E	6.38

LINE	BEARING	DISTANCE
L1(A)	S07°52'00"W	53.93
L2(U)	S01°48'15"W	51.52
L3(U)	S01°48'15"W	11.48
L4(U)	N07°20'45"E	30.00
L5(U)	S01°24'52"E	60.00
L6(U)	S01°24'52"E	30.00
L7(U)	N11°13'30"E	60.00
L8(U)	N11°13'30"E	60.00
L9(U)	N11°13'30"E	60.00
L10(U)	N11°13'30"E	60.00
L11(U)	N11°13'30"E	60.00
L12(U)	N11°13'30"E	60.00
L13(U)	N11°13'30"E	60.00
L14(U)	N11°13'30"E	60.00
L15(U)	N11°13'30"E	60.00
L16(U)	N11°13'30"E	60.00
L17(U)	N11°13'30"E	60.00
L18(U)	N11°13'30"E	60.00
L19(U)	N11°13'30"E	60.00
L20(U)	N11°13'30"E	60.00
L21(U)	N11°13'30"E	60.00
L22(U)	N11°13'30"E	60.00
L23(U)	N11°13'30"E	60.00
L24(U)	N11°13'30"E	60.00
L25(U)	N11°13'30"E	60.00
L26(U)	N11°13'30"E	60.00
L27(U)	N11°13'30"E	60.00
L28(U)	N11°13'30"E	60.00
L29(U)	N11°13'30"E	60.00
L30(U)	N11°13'30"E	60.00
L31(U)	N11°13'30"E	60.00
L32(U)	N11°13'30"E	60.00
L33(U)	N11°13'30"E	60.00
L34(U)	N11°13'30"E	60.00
L35(U)	N11°13'30"E	60.00
L36(U)	N11°13'30"E	60.00
L37(U)	N11°13'30"E	60.00
L38(U)	N11°13'30"E	60.00
L39(U)	N11°13'30"E	60.00
L40(U)	N11°13'30"E	60.00
L41(U)	N11°13'30"E	60.00
L42(U)	N11°13'30"E	60.00
L43(U)	N11°13'30"E	60.00
L44(U)	N11°13'30"E	60.00
L45(U)	N11°13'30"E	60.00
L46(U)	N11°13'30"E	60.00
L47(U)	N11°13'30"E	60.00
L48(U)	N11°13'30"E	60.00
L49(U)	N11°13'30"E	60.00
L50(U)	N11°13'30"E	60.00

LEGEND  
 (1) Denotes all 5/8" rebar with survey cap marked 'Renner - Assoc. 0213'  
 (2) Denotes Found Survey Monument marked 'LS 0213, unless otherwise noted.  
 (3) Denotes Recorded in previous plat or description.  
 (4) Denotes Measured in this survey.



**DEDICATED RIGHT-OF-WAY**  
 SWEET PEA LANE  
 60' WIDE RIGHT-OF-WAY TO BE DEDICATED THIS PLAT = 0.518 Ac.±  
 CONE FLOWER COURT  
 60' WIDE RIGHT-OF-WAY TO BE DEDICATED THIS PLAT = 0.603 Ac.±

**UTILITY AND MAJOR DRAINAGE EASEMENTS**  
 10' ON THE INTERIOR SIDES OF ALL LOT LINES NOT ADJACENT TO PUBLIC RIGHT-OF-WAYS.  
 ANY MAJOR DRAINAGE EASEMENT SHOWN HEREON SHALL BE KEPT FREE OF ALL CONSTRUCTIONS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS, FENCES, HEDGES, TREES AND SHRUBS. THESE EASEMENTS GRANT TO ALL PUBLIC AUTHORITIES THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT, AND REPAIR SUCH IMPROVEMENTS AND STRUCTURES AS IT DEEMS EXPEDIENT TO FACILITATE DRAINAGE FROM ANY SOURCE.

**BASE OF BEARINGS**  
 SOUTH DAKOTA STATE PLUMB COORDINATE SYSTEM, SOUTH ZONE, NAD83(2011), DERIVED FROM OPUS SOLUTION WITH A COMBINED SCALE FACTOR OF 0.99975847.

**WATER PROTECTION STATEMENT**  
 PURSUANT TO SDCR 11-3-8.1 AND 11-3-8.2, THE DEVELOPER OF THE PROPERTY DESCRIBED WITHIN THIS PLAT SHALL BE RESPONSIBLE FOR PROTECTING ANY WATERS OF THE STATE, INCLUDING GROUNDWATER, LOCATED ADJACENT TO OR WITHIN SUCH PLAT AREA FROM POLLUTION, DEPLETION, OR DIVERSION FROM SUCH SUBDIVISION AND SHALL IN PROTECTION OF SUCH PROTECTIVE CONFORM TO AND FOLLOW ALL REGULATIONS OF THE SOUTH DAKOTA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES RELATING TO THE SAME.

**FLOODPLAIN STATEMENT**  
 BASED ON THE FLOOD INSURANCE RATE MAP NUMBER 46103C14501 (NOT PRINTED), EFFECTIVE DATE JUNE 3, 2013, INDICATES THE SUBJECT PROPERTY IS LISTED IN ZONE D.

APR 4, 2022  
 SCALE 1" = 200'

PREPARED BY: RENNER ASSOCIATES, LLC \* 3231 TEEWINOT DRIVE \* RAPID CITY, SD 57703 \* 605/721-7310

SHEET 1 OF 2

PLAT OF  
**LONE COYOTE SUBDIVISION**  
 LOTS 1A, 1B, 2A, 2B, 3, 4, 5A, 5B, 6A, 6B, 7A, 7B, 8, 9, 10, 11, 12, 13, 14A, 14B, 14C, 14D, 15A,  
 15B, 15C, 15D, 16, 17, 18, 19A, 19B, 20A, 20B, 21A, 21B, 22A, 22B, 23A, 23B, SHORB TRACT 1, UTILITY  
 LOT AND DEDICATED SWEET PEA LANE, SWEET PEA ROAD, LITTLE PINE COURT, CONE FLOWER COURT &  
 THISTLE LANE RIGHT-OF-WAYS,  
 (formerly Preston Tract 3 & a portion of Preston Tract 1 of Lone Coyote Subdivision, a portion of Tract E of SE1/4 of NE1/4, a portion of Tract E of NE1/4 of  
 SE1/4, a portion of Tract E of SE1/4 of SE1/4 and vacated Highway right-of-way)  
 LOCATED IN SECTION 19, T2S, R8E, B1M,  
 HERMOSA, PENNINGTON COUNTY, & CUSTER COUNTY, SOUTH DAKOTA

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C47(U)	113.46'	333.00'	19°31'20"	N26°04'04"E	112.81'
C16(U)	172.29'	487.00'	11°19'53"	S83°10'44"E	82.14'
C48(U)	124.43'	433.00'	13°55'33"	S76°57'03"E	124.15'
C50(U)	8.72'	833.00'	0°47'22"	S30°02'33"E	8.72'
C51(U)	85.44'	833.00'	8°58'04"	S40°12'1"E	85.81'
C52(U)	55.83'	60.00'	83°20'13"	N32°28'17"E	53.88'
C53(U)	82.87'	60.00'	59°12'18"	N34°03'37"E	80.81'
C54(U)	60.41'	308.00'	2°37'36"	N54°14'8"E	60.35'
C55(U)	27.83'	433.00'	3°40'58"	S24°59'18"E	27.82'

Should these be  
 Pennington County  
 or Custer County?

**CERTIFICATE OF OWNERSHIP**  
 State of South Dakota  
 County of Pennington

S.S.  
 We, the undersigned, do hereby certify that we are the owners of the land shown and described hereon, that the survey was done at our request for the purpose indicated hereon, that we do hereby approve the survey and within plot of said land and that the development of this road shall conform to all existing applicable zoning, subdivision, erosion and sediment control regulations. Any land shown on the within plot as dedicated to public right of way is hereby dedicated to public use and public utility use as such, forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, we have set our hand and seal.  
 OWNERS: Preston Family, Inc.  
 DT: \_\_\_\_\_  
 On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, a Notary Public, personally appeared \_\_\_\_\_ and \_\_\_\_\_ known to me to be the persons described in the foregoing instrument and acknowledged to me that they signed the same.  
 NOTARY PUBLIC: \_\_\_\_\_  
 My commission expires: \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP**  
 State of South Dakota  
 County of Pennington

S.S.  
 We, the undersigned, do hereby certify that we are the owners of the land shown and described hereon, that the survey was done at our request for the purpose indicated hereon, that we do hereby approve the survey and within plot of said land and that the development of this road shall conform to all existing applicable zoning, subdivision, erosion and sediment control regulations. Any land shown on the within plot as dedicated to public right of way is hereby dedicated to public use and public utility use as such, forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, we have set our hand and seal.  
 OWNERS: Wade Shorb  
 Bridget Shorb  
 On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, a Notary Public, personally appeared Wade and Bridget Shorb, owners, known to me to be the persons described in the foregoing instrument and acknowledged to me that they signed the same.  
 NOTARY PUBLIC: \_\_\_\_\_  
 My commission expires: \_\_\_\_\_

**CERTIFICATE OF TOWN FINANCE OFFICER**

I, Finance Officer of the Town of Hermosa, South Dakota, do hereby certify that the foregoing instrument is a true and correct copy of the resolution adopted by the Town Board of Hermosa, South Dakota, at a meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

HERMOSA FINANCE OFFICER: \_\_\_\_\_

**CERTIFICATE OF DIRECTOR OF EQUALIZATION**

I, Director of Equalization of Custer County, do hereby certify that I have on record in my office a copy of the within described plat.  
 Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Director of Equalization of Custer County: \_\_\_\_\_

APPROVED: \_\_\_\_\_ Date: \_\_\_\_\_

**CERTIFICATE OF HIGHWAY AUTHORITY**

It appears that every lot has an acceptable approach location onto a public road and the location of the intersection(s) of the proposed subdivision road(s) with the existing public road(s) is hereby approved.  
 Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Highway Authority - SD0301 \_\_\_\_\_

**CERTIFICATE OF SURVEYOR**  
 State of South Dakota  
 County of Pennington

S.S.  
 I, Eric D. Howard, Registered Land Surveyor No. 9213 in the State of South Dakota, do hereby certify that at the request of the owners listed hereon, I have surveyed the tract of land shown, and to the best of my knowledge and belief, the within plat is a representation of said survey. Easements or restrictions of miscellaneous record or private easements that are not known to me are not shown hereon.

In witness whereof, I have hereunto set my hand and seal.  
 Eric D. Howard, Registered Land Surveyor Date: \_\_\_\_\_



**RESOLUTION OF CUSTER BOARD**

Whereas, there has been presented to the Town Board of Hermosa, South Dakota, the within plat of the above described lands, and it appearing to the Board that said plat conforms to the existing plat of said town, that the streets set forth therein conform to the system of streets of the municipality, that all provisions of assessments upon the tract have been fully paid, and that said plat and the survey thereof have been executed according to law, now therefore, BE IT RESOLVED, that said plat is hereby approved in all respects.

Dated at Hermosa, South Dakota, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Governing Board President Date: \_\_\_\_\_

**CERTIFICATE OF COUNTY TREASURER**

I, Treasurer of Custer County, do hereby certify that all taxes which are liens upon the within described lands are fully paid according to the records of my office.  
 Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

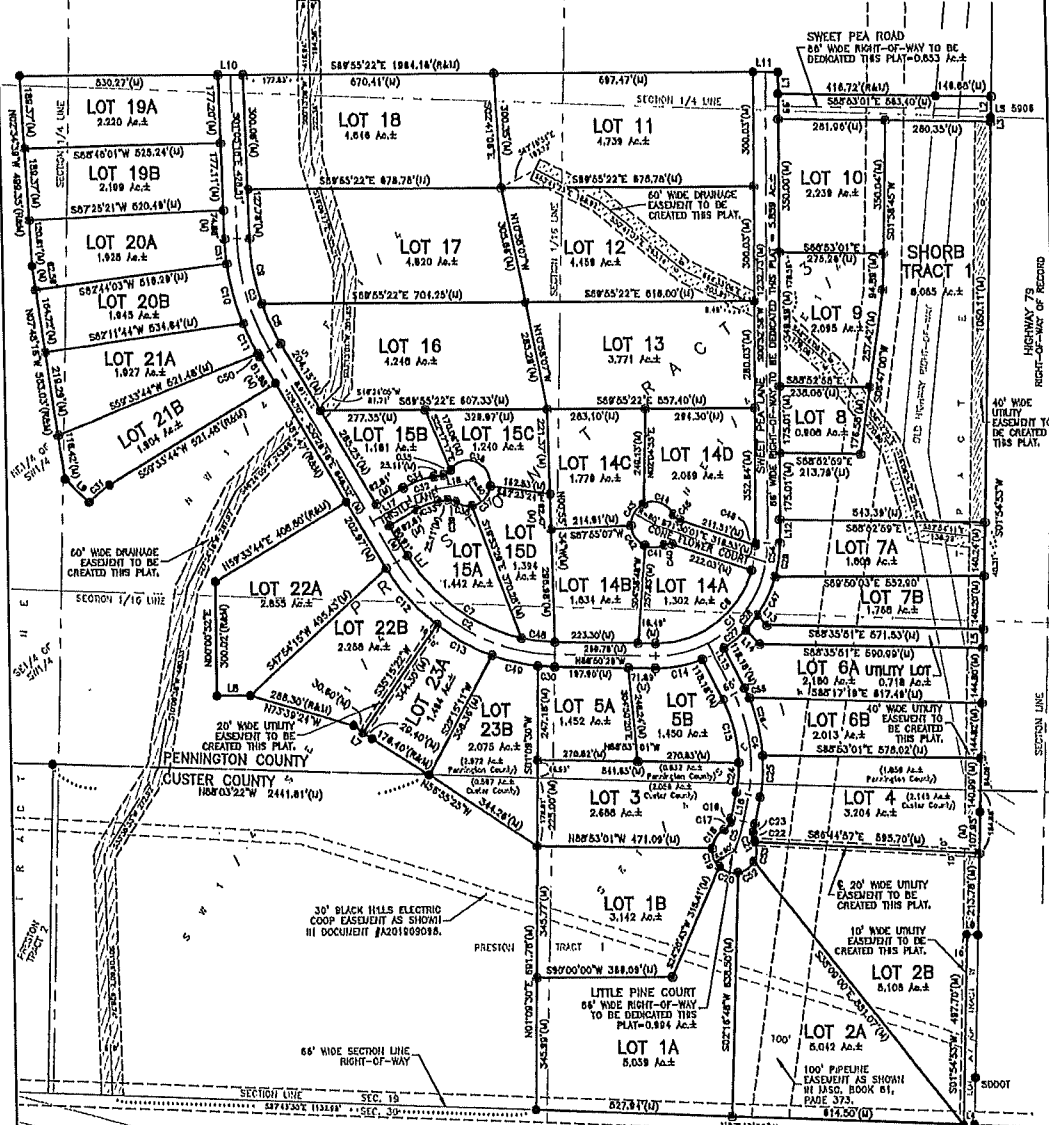
Treasurer of Custer County: \_\_\_\_\_

**CERTIFICATE OF REGISTER OF DEEDS**  
 State of South Dakota  
 County of Custer

S.S.  
 Filed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M., Document Number \_\_\_\_\_ Fee: \$ \_\_\_\_\_

Register of Deeds of Custer County: \_\_\_\_\_

**PLAT OF**  
**LOTS 1A, 1B, 2A, 2B, 3, 4, 5A, 5B, 6A, 6B, 7A, 7B, 8, 9, 10, 11, 12, 13, 14A, 14B, 14C, 14D, 15A,**  
**15B, 15C, 15D, 16, 17, 18, 19A, 19B, 20A, 20B, 21A, 21B, 22A, 22B, 23A, 23B, SHORB TRACT 1, UTILITY**  
**LOT AND DEDICATED SWEET PEA LANE, SWEET PEA ROAD, LITTLE PINE COURT, CONE FLOWER COURT &**  
**THISTLE LANE RIGHT-OF-WAYS,**  
**LONE COYOTE SUBDIVISION**  
 (formerly Preston Tract 3 & a portion of Preston Tract 1 of Lone Coyote Subdivision, a portion of Tract E of SE1/4 of NE1/4, a portion of Tract E of NE1/4 of SE1/4, a portion of Tract E of SE1/4 of SE1/4 and vacated Highway right-of-way)  
 LOCATED IN SECTION 19, T2S, R8E, B1M,  
 HERMOSA, PENNINGTON COUNTY, & CUSTER COUNTY, SOUTH DAKOTA



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1(U)	423.28	300.00	89°21'14"	S50°00'00"W 388.27	388.27
C2(U)	608.87	600.00	58°21'14"	N57°38'23"W 487.88	487.88
C3(U)	307.33	600.00	28°20'58"	N18°48'47"W 301.00	301.00
C4(U)	277.63	400.00	35°57'53"	S07°28'47"W 247.81	247.81
C5(U)	74.87	400.00	10°43'58"	S17°28'33"W 75.71	75.71
C6(U)	319.28	287.00	74°31'34"	S53°54'43"W 323.32	323.32
C7(U)	383.74	487.00	47°01'52"	S52°58'42"E 373.64	373.64
C8(U)	114.82	487.00	11°03'08"	N12°38'11"W 114.82	114.82
C9(U)	178.83	587.00	17°44'50"	N05°27'43"W 174.82	174.82
C10(U)	161.35	833.00	11°38'18"	S14°21'33"E 160.92	160.92
C11(U)	88.24	833.00	7°28'17"	N25°39'18"W 88.18	88.18
C12(U)	191.83	833.00	21°27'48"	N01°10'18"W 188.50	188.50
C13(U)	188.23	633.00	10°18'02"	N81°02'06"W 189.21	189.21
C14(U)	128.81	333.00	27°18'00"	S80°00'30"W 128.70	128.70
C15(U)	174.28	387.00	26°54'48"	S13°25'18"W 170.70	170.70
C16(U)	8.28	371.00	1°25'48"	S12°51'10"W 8.28	8.28
C17(U)	26.87	30.00	50°41'31"	S38°58'14"W 25.71	25.71
C18(U)	81.42	60.00	86°39'03"	S34°58'07"W 80.71	80.71
C19(U)	81.21	60.00	81°48'14"	N12°18'14"W 82.18	82.18
C20(U)	61.21	60.00	81°48'14"	N17°59'58"W 62.38	62.38
C21(U)	5.29	60.00	80°31'14"	N23°57'08"W 5.29	5.29
C22(U)	21.72	30.00	41°28'21"	N08°49'07"W 21.72	21.72
C23(U)	21.09	437.00	1°03'00"	N13°34'23"E 21.85	21.85
C24(U)	77.30	387.00	(201.0)°	S08°08'08"W 77.18	77.18
C25(U)	110.01	433.00	14°33'24"	S84°51'27"W 109.71	109.71
C26(U)	151.83	433.00	18°12'02"	S12°47'02"W 153.70	153.70
C27(U)	75.84	333.00	13°00'58"	S08°58'55"W 75.48	75.48
C28(U)	50.21	333.00	8°38'21"	S10°08'55"W 60.17	60.17
C29(U)	88.84	333.00	13°00'58"	N18°14'14"W 88.37	88.37
C30(U)	42.68	233.00	8°04'14"	N18°10'03"W 42.25	42.25
C31(ARC)	72.82	283.00	14°42'12"	S55°12'38"W 72.42	72.42
C32(U)	74.20	200.00	21°18'21"	S70°11'25"W 73.77	73.77
C33(U)	61.83	187.00	21°18'21"	S55°24'27"W 61.60	61.60
C34(U)	53.35	233.00	21°18'21"	S70°11'25"W 55.81	55.81
C35(U)	23.86	30.00	45°31'23"	N58°01'58"E 23.24	23.24
C36(U)	106.04	60.00	150°58'01"	N48°18'52"W 118.18	118.18
C37(U)	72.77	60.00	147°17'00"	N12°47'02"W 72.04	72.04
C38(U)	49.11	60.00	45°27'58"	S78°20'31"E 48.37	48.37
C39(U)	23.86	30.00	45°31'23"	N78°24'43"E 23.24	23.24
C40(U)	23.86	30.00	45°31'23"	S85°24'27"W 23.24	23.24
C41(U)	60.00	60.00	50°58'52"	N68°24'02"E 61.81	61.81
C42(U)	68.75	60.00	83°48'23"	S34°14'21"E 63.38	63.38
C43(U)	70.11	60.00	89°57'01"	S31°07'21"W 68.19	68.19
C44(U)	83.70	60.00	89°57'01"	S14°48'01"W 81.48	81.48
C45(U)	23.86	30.00	45°31'23"	S18°42'50"E 23.24	23.24
C46(U)	6.30	287.00	1°22'12"	N13°10'44"E 6.30	6.30

LINE	BEARING	DISTANCE
L1(RA)	S02°52'58"W	55.93
L2(U)	S01°40'13"W	84.62
L3(U)	S01°14'53"W	11.49
L4(U)	S01°14'53"W	30.00
L5(U)	S01°14'53"W	60.00
L6(U)	N87°43'52"E	30.00
L7(RA)	N51°13'35"E	60.00
L8(RA)	N47°02'27"W	88.44
L9(U)	S89°02'28"E	68.00
L10(U)	S89°02'28"E	68.00
L11(RA)	N47°02'27"W	88.44
L12(U)	S89°02'28"E	68.00
L13(U)	S19°10'35"E	32.32
L14(U)	S89°02'28"E	53.14
L15(U)	S19°10'35"E	148.54
L16(U)	S12°04'00"W	71.25
L17(U)	S29°33'41"W	115.81
L18(U)	S80°48'08"W	69.39

**LEGEND**

- ⊙ Denotes set 5/8" rebar with survey cap marked "Hermosa - Asson 9213"
- ⊙ Denotes Found Survey Monument marked LS #213, unless otherwise noted
- (R) Denotes Recorded in previous plat or description
- (U) Denotes Unrecorded in this survey

**NEIGHBORING PROPERTY**

**PROFESSIONAL LAND SURVEYOR**  
 9213 ERIC D. HOWARD  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 STATE OF SOUTH DAKOTA

**MUNITY MAP**  
 NOT TO SCALE

**SITE LOCATION**

APRIL 4, 2022  
 SCALE 1" = 200'

**DEDICATED RIGHT-OF-WAY**  
 THISTLE LANE  
 66' WIDE RIGHT-OF-WAY TO BE DEDICATED THIS PLAT = 0.518 Ac.±  
 LITTLE PINE COURT  
 66' WIDE RIGHT-OF-WAY TO BE DEDICATED THIS PLAT = 0.003 Ac.±  
 SWEET PEA ROAD  
 66' WIDE RIGHT-OF-WAY TO BE DEDICATED THIS PLAT = 0.833 Ac.±

**NOTES:**  
 1. 10' AND 60' WIDE DRAINAGE EASEMENTS  
 2. 10' ON THE UTILITY SIDES OF ALL LOTS NOT ADJACENT TO PUBLIC RIGHT-OF-WAYS.

ANY DRAINAGE EASEMENT SHOWN HEREON SHALL BE KEPT FREE OF ALL OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS, FENCES, HEDGES, TREES AND SHRUBS. THESE EASEMENTS GRANT TO ALL PUBLIC AUTHORITIES THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT, AND REPAIR SUCH IMPROVEMENTS AND STRUCTURES AS IT DEEMS EXPEDIENT TO FACILITATE DRAINAGE FROM ANY SOURCE.

**DATA OF SURVEY:**  
 SOUTH DAKOTA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83(2011), DERIVED FROM OPUS SOLUTION WITH A COORDINATE SCALE FACTOR OF 0.99975687.

**WATER PROTECTION STATEMENT:**  
 PURSUANT TO SDCL 11-3-1 & 11-3-2, THE DEVELOPER OF THE PROPERTY DESCRIBED WITHIN THIS PLAT SHALL BE RESPONSIBLE FOR PROTECTING ANY WATERS OF THE STATE, INCLUDING GROUNDWATER, LOCATED ADJACENT TO OR WITHIN SUCH PLATED AREA FROM POLLUTION FROM EROSION FROM SUCH SURVEYWORK AND SHALL IN PROSECUTION OF SUCH PROTECTIVE CONFORM TO AND FOLLOW ALL REGULATIONS OF THE SOUTH DAKOTA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES RELATIVE TO THE SAME.

**FLOODPLAIN ELEVATION:**  
 BASED ON THE FLOOD INSURANCE RATE MAP (NUMBER 4613018501) (NOT PRINTED), EFFECTIVE DATE JUNE 3, 2013, INDICATES THE SUBJECT PROPERTY IS LISTED IN ZONE D.

SHEET 1 OF 2

PLAT OF  
**LOTS 1A, 1B, 2A, 2B, 3, 4, 5A, 5B, 6A, 6B, 7A, 7B, 8, 9, 10, 11, 12, 13, 14A, 14B, 14C, 14D, 15A, 15B, 15C, 15D, 16, 17, 18, 19A, 19B, 20A, 20B, 21A, 21B, 22A, 22B, 23A, 23B, SHORB TRACT 1, UTILITY LOT AND DEDICATED SWEET PEA LANE, SWEET PEA ROAD, LITTLE PINE COURT, CONE FLOWER COURT & THISTLE LANE RIGHT-OF-WAYS, LONE COYOTE SUBDIVISION**  
 (formerly Preston Tract 3 & a portion of Preston Tract 1 of Lone Coyote Subdivision, a portion of Tract E of SE1/4 of NE1/4, a portion of Tract E of NE1/4 of SE1/4, a portion of Tract E of SE1/4 of SE1/4 and vacated Highway right-of-way)  
 LOCATED IN SECTION 18, T2S, R8E, B1M,  
 HERMOSA, PENNINGTON COUNTY, & CUSTER COUNTY, SOUTH DAKOTA

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C47(U)	113.45	333.00	17°31'20"	N76°04'11"E	112.81'
C48(U)	82.59	487.00	11°18'23"	S83°10'48"E	82.14'
C49(U)	128.45	433.00	18°38'33"	S78°57'43"E	128.16'
C50(U)	8.72	433.00	0°47'22"	S30°02'33"E	8.72'
C51(U)	45.91	433.00	0°06'08"	S10°12'11"E	45.91'
C52(U)	45.83	40.00	83°20'15"	N85°20'41"E	83.88'
C53(U)	52.57	60.00	50°19'18"	N8°40'37"E	50.91'
C54(U)	50.41	300.00	0°37'38"	N8°41'48"E	50.35'
C55(U)	27.83	433.00	3°40'56"	S24°59'18"E	27.82'

**CERTIFICATE OF OWNERSHIP**

State of South Dakota  
 County of Pennington S.S.

We, the undersigned, do hereby certify that we are the owners of the land shown and described hereon, that the survey was done at our request for the purpose indicated hereon; that we do hereby approve the survey and within plot of said land; and that the development of this land shall conform to all existing applicable zoning, subdivision, erosion and sediment control regulations.

Any land shown on the within plot as dedicated to public right of way is hereby dedicated to public use and public utility use as such, forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, we have set our hand and seal.

OWNERS: Preston Family, Inc.

BY: \_\_\_\_\_

On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, a Notary Public, personally appeared \_\_\_\_\_ and \_\_\_\_\_ known to me to be the persons described in the foregoing instrument and acknowledged to me that they signed the same.

NOTARY PUBLIC: \_\_\_\_\_

My commission expires: \_\_\_\_\_



**CERTIFICATE OF OWNERSHIP**

State of South Dakota  
 County of Pennington S.S.

We, the undersigned, do hereby certify that we are the owners of the land shown and described hereon, that the survey was done at our request for the purpose indicated hereon; that we do hereby approve the survey and within plot of said land; and that the development of this land shall conform to all existing applicable zoning, subdivision, erosion and sediment control regulations.

Any land shown on the within plot as dedicated to public right of way is hereby dedicated to public use and public utility use as such, forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, we have set our hand and seal.

OWNERS: Wade Shorb

Brigget Shorb

On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, a Notary Public, personally appeared Wade and Brigget Shorb, owners, known to me to be the persons described in the foregoing instrument and acknowledged to me that they signed the same.

NOTARY PUBLIC: \_\_\_\_\_

My commission expires: \_\_\_\_\_

**CERTIFICATE OF SURVEYOR**

State of South Dakota  
 County of Pennington S.S.

I, Eric D. Howard, Registered Land Surveyor No. 9213 in the State of South Dakota, do hereby certify that at the request of the owners listed hereon, I have surveyed the tract of land shown, and to the best of my knowledge and belief, the within plot is a representation of said survey. Easements or restrictions of miscellaneous record or private easements that are not known to me are not shown hereon.

In witness whereof, I have hereunto set my hand and seal.

Eric D. Howard, Registered Land Surveyor Date: \_\_\_\_\_

**RESOLUTION OF GOVERNING BOARD**

Whereas, there has been presented to the Town Board of Hermosa, South Dakota, the within plot of the above described lands, and it appearing to the Board that said plan conforms to the existing plots of said town, that the streets set forth therein conform to the system of streets of the municipality, that all provisions of assessments upon the tract have been fully paid, and that said plot and the survey thereof have been executed according to law, now therefore, BE IT RESOLVED, that said plot is hereby approved in all respects.

Dated at Hermosa, South Dakota, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Governing Board President Date: \_\_\_\_\_

**CERTIFICATE OF TOWN FINANCE OFFICER**

I, Finance Officer of the Town of Hermosa, South Dakota, do hereby certify that the foregoing instrument is a true and correct copy of the resolution adopted by the Town Board of Hermosa, South Dakota, at a meeting held on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

HERMOSA FINANCE OFFICER: \_\_\_\_\_

**CERTIFICATE OF COUNTY TREASURER**

I, Treasurer of Pennington County, do hereby certify that all taxes which are liens upon the within described lands are fully paid according to the records of my office.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Treasurer of Pennington County

**CERTIFICATE OF DIRECTOR OF EQUALIZATION**

I, Director of Equalization of Pennington County, do hereby certify that I have on record in my office a copy of the within described plot.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Director of Equalization of Pennington County

APPROVED: \_\_\_\_\_ Date: \_\_\_\_\_

**CERTIFICATE OF REGISTER OF DEEDS**

State of South Dakota  
 County of Pennington S.S.

Filed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_, 11.

Document Number \_\_\_\_\_

Register of Deeds of Pennington County Fee: \$ \_\_\_\_\_

**CERTIFICATE OF HIGHWAY AUTHORITY**

It appears that every lot has an acceptable approach location onto a public road and the location of the intersection(s) of the proposed subdivision road(s) with the existing public road(s) is hereby approved.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Highway Authority - SDDOT

# Town of Hermosa



PO Box 298 • 230 Main St • Hermosa, SD 57744  
Phone (605) 255-4291 • Fax (605) 255-4094  
[www.hermosasd.com](http://www.hermosasd.com)

November 20, 2020

Preston Family Inc.  
PO Box 52  
Hermosa, SD 57744

Dear John and Preston Family,

Thank you for attending the November 17, 2020, Hermosa Board of Trustees meeting and providing your letter of intent to annex the proposed Preston Family Development with the Town of Hermosa.

As noted in your letter, Preston Family Inc. will agree to annex with the Town of Hermosa in exchange for the city supplying utilities (water and sewer) to the property lot line. The Town of Hermosa will be responsible for expenses incurred for the utilities being brought to the lot line.

The Board of Trustees are agreeable to zoning the development as Residential Ag. In addition, the development will not be required to install streetlights, paved roads, curb and gutter and sidewalks.

On behalf of the town board, we look forward to working with you on this exciting development in our community.

Sincerely,

A handwritten signature in cursive script that reads "Vicki Henriksen".

Vicki Henriksen, President *by E/B*  
Board of Trustees  
Town of Hermosa



March 2, 2022

Civil Engineer:  
Renner & Associates, LLC  
3231 Teewinot Drive  
Rapid City, SD 57703

Owner:  
Preston Family, Inc  
Attn: John Preston  
22760 Stonemeadow Rd.  
Rapid City, SD 57702

Project Name: Preston Ranch Subdivision Construction Administration  
Project Location: Murphy Road, Pennington County, SD

**Project Description**

This proposal is to complete onsite construction administration for the Lone Coyote Subdivision improvements. The scope of construction administration is as follows:

**Scope of Services:**

- Attend progress meetings during construction.
- Weekly site observations shall be conducted during the installation of water main, sanitary sewer main and road construction.
- Observation reports for the site visits will be recorded and sent out to the Owner for verification of construction standards
- Review of pay requests, shop drawings and contractor requests shall be completed
- Substantial and Final walkthroughs will be completed with Owner and City prior to final completion of the project.

**Engineering Fee:**

Compensation for engineering and survey services are based on a Not to Exceed contract plus all applicable taxes and reimbursable expenses.

Any additional services outside the scope listed shall be charged at a Renner & Associates standard hourly fee.

Survey ..... \$10,080.00

**Not included in our proposal:**

- Engineering services
- Survey services

**Additional Provisions**

If survey services covered under this Agreement have not been completed within 1 year of the signed date, through no fault of the Civil Engineer, the Engineer reserves the right to review and adjust compensation if necessary.

This Agreement and attached Terms and Conditions constitute the entire agreement between the Owner and Engineer for services rendered. Engineering services will begin upon receiving a signed contract.

**Acceptance:**

Renner Associates requests written acceptance of this fee proposal. Please indicate your acceptance of this proposal by signing below and returning a copy to us. Your signature represents that you are authorized to accept on behalf of the Client.

Thank you for this opportunity to offer our services. Please call if you have any questions or if we need to make adjustments to the scope.

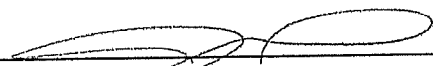
Sincerely,



Renner Associates, LLC  
Ian Garduna, PE

**Acceptance and authorization to proceed:**

Name/Position John Preston - owner

Signature 

Date 4/6/2022

# Memorandum of Agreement

**Project:** Lone Coyote Subdivision Phase I, Hermosa, SD

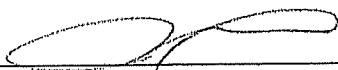
**Owner:** Preston Family Inc.

**Engineer:** Renner Associates, LLC, 3231 Teewinot Dr. Rapid City, SD **Engineer's Project No.:** 3030

**Contractor:**

**This Memorandum of Agreement applies to:** General Warranty

The undersigned hereby guarantees all of the work required and performed on the Project, as listed above, will have a two (2) year warranty. This warranty shall commence once the lift station is on-line and operational.



Accepted by Owner (Sign, Print, Title)

4/9/2022

Date

The date of Agreement as shown below is the date when the lift station is on-line and operational:

\_\_\_\_\_  
Date of Agreement

\_\_\_\_\_  
Accepted by Owner (Sign, Print, Title)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Accepted by Town of Hermosa (Sign, Print, Title)

\_\_\_\_\_  
Date

# SANITARY SEWER DESIGN REPORT

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## LONE COYOTE SUBDIVISION PHASE 1



April 12, 2022  
REVISED: April 20, 2022  
RENNER # 3030

Prepared for:  
JOHN PRESTON  
22760 STONEMEADOW ROAD  
RAPID CITY, SD 57702



**RENNER  
ASSOCIATES, LLC**  
CIVIL ENGINEERING • LAND SURVEYING

RENNERASSOC.COM  
3231 TEEWINDT DRIVE, RAPID CITY, SD 57703  
PH: 605. 721-7310



April 20, 2022  
Town of Hermosa  
PO Box 298  
230 Main St.  
Hermosa, SD 57744

Re: **SANITARY SEWER DESIGN REPORT**: Lone Coyote Subdivision, Phase 1

The following addresses the Sanitary Sewer design for Phase 1 of the proposed Lone Coyote Subdivision located north of Hermosa. Phase 1 will include a total of 23 Lots. The design also includes a lift station, which will be designed to handle the flows for future phases of the 277 acre development.

### **Sanitary Sewer**

A new 8" sanitary sewer main is being constructed to serve phase 1 of the proposed development. The design also incorporates anticipated flows from future phases. Please refer to the *Appendix*, Table 3-3 for a tabulated report on the hydraulics of the sanitary sewer system. Peak design flows were calculated using Rapid City Infrastructure Design Criteria and the equation:

- $Q_{ave}(gpm) = ((QP \times PH \times DU \times A) / 24) / 60$
- $Q_{peak} = Q_{ave} \times PF \times RF$ 
  - QP = 100 gallon per capita per day (gpcpd)
  - PH = 2.65 population per household (pph)
  - DU = 0.34 Dwelling units per acre
  - A = Area in acres
  - PF = 4.2 peaking factor
  - RF = 1 reduction factor

### **Lift Station**

The proposed development is too low in elevation to gravity flow to the existing sanitary sewer system in Hermosa. A new lift station is being designed and constructed for the subdivision as a part of phase 1. The lift station was designed using the SDDANR Recommended Design Criteria Manual Wastewater Collection and Treatment Facilities. The design will incorporate a 2 – pump system with high/low level warnings and a backup generator. The pumps and controls for automation are being designed by West Plains Engineering, Inc.

- The pumps must be designed to handle 4 x the average flow rates, or peak hourly flow rate, whichever is greater.  $Q_{peak}$  and  $Q_{ave}$  for the entire 277 acre development were calculated using the above formula.
  - $Q_{ave} = 20.4$  gpm
  - $Q_{peak} = 86$  gpm (flow rate used for pump design)

- The total dynamic head used for the pump design is a combination of the attached Hazen-Williams spreadsheet for pressure loss in the 4" pressure main, and the vertical head between the sump of the wet well and the invert of the anticipated gravity manhole at the high point. The total dynamic head is calculated to be 46 ft (19.8 psi).
- The volume of the wet well was calculated using the formula  $V = T \times q/4$ 
  - $V = 645$  gallons (required capacity)
  - $T = 30$  minutes (minimum time of one pumping cycle)
  - $q = 86$  gpm (pump capacity)
  - A sump height of 4.4 ft in a 60" manhole achieves the 645 gallon required capacity.

Please feel free to give us a call if you have any questions.

Sincerely,



Renner and Associates, LLC  
Ian Garduna, PE

Attached:

- Sanitary Sewer: Pipe Hydraulics – Table 3-3
- Sanitary Sewer: Hazen-Williams Pressure Loss Worksheet
- Exhibit A: Sanitary Sewer Design Area

Table 3-3  
Sanitary Sewer Design Computation Form

Project: Lone Coyote Subdivision - Phase 1 RNR #3030.00

Designed: JM / JRO

Date: 4/20/2022

Sheet: 1 of 1

Line No	Location	Manhole No.				Length (ft)	"n" value	Area		Sewage		Slope of sewer (%)	Pipe Dia. (D) (in)	Q (peak)			Q (ave)		
		From	Invert (ft)	To	Invert (ft)			Increment (acres)	Total (acres)	Q (peak) (gpm)	Q (ave) (gpm)			depth (d) (in)	velocity (fps)	d/D	depth (in)	velocity (fps)	
1		MH9	3384.30	MH8	3381.82	446.02	0.013	118.00	118.00	31.01	7.38	0.58%	8	1.44	1.53	0.18	0.72	0.99	
2		MH8	3381.72	MH7	3379.48	445.08	0.013	17.83	135.63	35.84	8.49	0.50%	8	1.68	1.53	0.21	0.84	1.00	
3		MH7	3379.38	MH6	3376.27	333.45	0.013	10.65	146.28	38.44	9.15	0.93%	8	1.44	1.98	0.18	0.72	1.26	
4		MH6	3376.17	MH5	3373.20	399.68	0.013	10.17	156.45	41.11	9.79	0.74%	8	1.56	1.84	0.20	0.84	1.20	
5		MH5	3373.10	MH4	3370.14	400.05	0.013	13.38	169.83	44.63	10.63	0.74%	8	1.68	1.88	0.21	0.84	1.23	
6		MH4	3370.03	MH3	3367.58	383.91	0.013	4.65	174.48	45.85	10.92	0.84%	8	1.80	1.80	0.23	0.84	1.17	
6B		MH23	3383.03	MH3	3367.58	343.9	0.013	8.23	182.71	48.01	11.43	4.48%	8	1.08	3.63	0.14	0.60	2.34	
7		MH3	3367.48	MH2	3366.34	150.33	0.013	0.00	182.71	48.01	11.43	0.76%	8	1.68	1.94	0.21	0.84	1.26	
8		MH22	3384.75	MH21	3376.68	215.35	0.013	25.39	25.39	6.67	1.59	3.75%	8	0.48	1.88	0.08	0.24	1.26	
9		MH21	3376.48	MH20	3371.84	129.04	0.013	0.00	25.39	6.67	1.59	3.75%	8	0.48	1.88	0.08	0.24	1.26	
10		MH20	3371.44	MH10	3388.93	212.4	0.013	0.00	25.39	6.67	1.59	1.18%	8	0.60	1.28	0.08	0.36	0.84	
11		MH18	3442.12	MH17	3431.78	172.99	0.013	8.72	8.72	2.29	0.55	5.99%	8	0.24	1.59	0.03	0.12	0.97	
12		MH17	3431.56	MH16	3411.20	388.24	0.013	9.58	18.28	4.80	1.14	5.24%	8	0.36	1.93	0.05	0.24	1.29	
13		MH16	3411.00	MH15	3405.99	272.38	0.013	13.53	31.81	8.36	1.99	1.84%	8	0.60	1.58	0.08	0.24	0.88	
14		MH15	3405.89	MH14	3403.41	396.05	0.013	9.30	41.11	10.80	2.57	0.63%	8	0.84	1.17	0.11	0.48	0.77	
14B		MH24	3411.97	MH14	3403.30	288.88	0.013	6.47	47.58	12.50	2.98	3.00%	8	0.60	2.11	0.08	0.36	1.38	
15		MH14	3403.30	MH13	3401.27	312.07	0.013	0.00	47.58	12.50	2.98	0.85%	8	0.96	1.23	0.12	0.48	0.81	
16		MH13	3401.17	MH12	3380.31	207.53	0.013	5.37	52.95	13.91	3.31	5.23%	8	0.60	2.64	0.08	0.24	1.68	
17		MH12	3380.11	MH11	3371.75	396.43	0.013	3.86	56.81	14.83	3.55	4.63%	8	0.60	2.58	0.08	0.36	1.67	
18		MH11	3371.55	MH10	3368.93	131.03	0.013	3.43	60.24	15.83	3.77	2.00%	8	0.84	1.96	0.11	0.36	1.25	
19		MH10	3368.73	MH2	3366.34	119.49	0.013	0.00	85.63	22.50	5.36	2.00%	8	0.96	2.18	0.12	0.48	1.41	
20		MH2	3366.14	MH1	3385.45	65.22	0.013	0.00	288.34	70.52	16.79	1.08%	8	1.92	2.44	0.24	0.96	1.59	
21		MH1	3365.35	MH25	3380.12	280.26	0.013	9.02	277.36	72.89	17.35	2.01%	8	1.68	3.09	0.21	0.84	2.02	
22		MH25	3360.02	L STA	3354.88	282.26	0.013	0.00	277.36	72.89	17.35	1.96%	8	1.68	3.07	0.21	0.84	2.01	
Low Density Residential		$Q_{div} = ((QP \times PH \times DU \times A) / 24) / 60$				QP= 100		PH= 2.65		DU= 0.34									
		$Q_{peak} = Q_{div} \times PF \times RF$				PF= 4.2		RF= 1											

## Hazen-Williams Equation for Pressure Loss in Pipes

### Imperial Units

#### Specified Data

l = length of pipe (ft)	1300
<u>c = Hazen-Williams roughness constant</u>	140
q = volume flow (gal/min)	86
dh = inside or hydraulic diameter (inches)	4

#### Calculated Pressure Loss

f = friction head loss in feet of water per 100 feet of pipe (ft H <sub>2</sub> O per 100 ft pipe)	<u>0.50</u>
f = friction head loss in psi of water per 100 feet of pipe (psi per 100 ft pipe)	<u>0.22</u>

Head loss (ft H <sub>2</sub> O)	<u>6.54</u>
Head loss (psi)	<u>2.81</u>

#### Calculated Flow Velocity

v = flow velocity (ft/s)	<u>2.20</u>
--------------------------	-------------

### SI Units

#### Specified Data

l = length of pipe (m)	30
<u>c = Hazen-Williams roughness constant</u>	140
q = volume flow (liter/sec)	10
dh = inside or hydraulic diameter (mm)	76

#### Calculated Pressure Loss

f = friction head loss in mm of water per 100 m of pipe (mm H <sub>2</sub> O per 100 m pipe)	<u>6406.62</u>
f = friction head loss in kPa per 100 m of pipe (kPa per 100 m pipe)	<u>62.85</u>

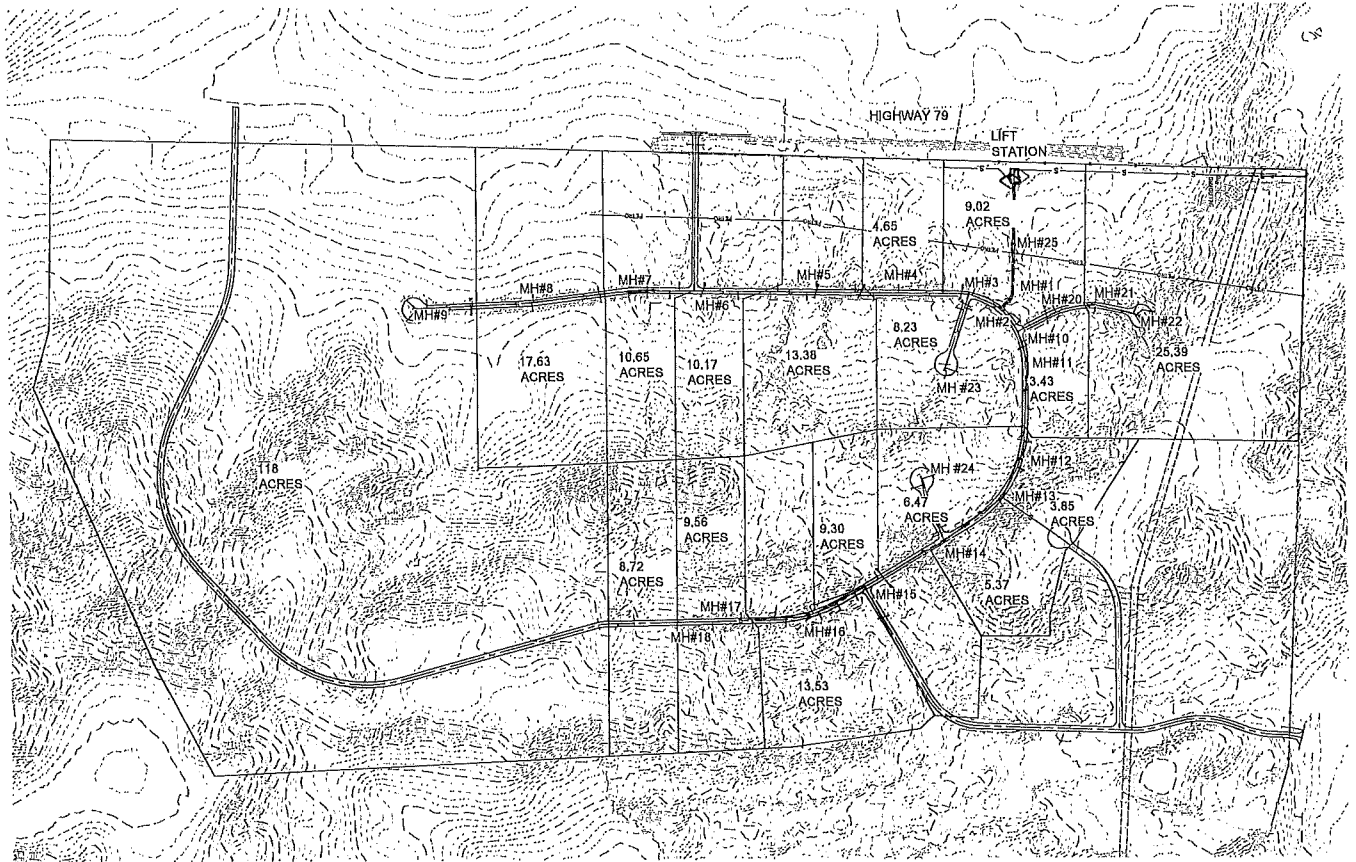
Head loss (mm H <sub>2</sub> O)	<u>1921.99</u>
Head loss (kPa)	<u>18.85</u>

#### Calculated Flow Velocity

v = flow velocity (m/s)	<u>2.20</u>
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**The Engineering ToolBox**

[www.EngineeringToolBox.com](http://www.EngineeringToolBox.com)



LONE COYOTE SUBDIVISION  
 PHASE 1 SANITARY SEWER EXHIBIT

DOT-166

Application for Highway Access Permit South Dakota Department of Transportation																									
Instructions: Please contact the local South Dakota Department of Transportation office to determine what supporting documents must accompany this application. Please submit a separate application and supporting documentation for each access requested. Attach additional sheets as necessary. Please print or type. Owner and applicant agree to comply with special and standard conditions if access permitted.																									
Permit Application (to be completed by applicant).	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"> <b>Property Owner:</b>                      Name(s): <u>Presburn Family Inc.</u>                      Mailing Address: <u>2276 Stone Meadow</u>                      City, State, Zip: <u>Rego, S.D. 50272-381-0300</u>                      Daytime Phone: _____                 </td> <td style="width: 50%;"> <b>Applicant (if different from Owner):</b>                      Name(s): _____                      Mailing Address: _____                      City, State, Zip: _____                      Daytime Phone: _____                 </td> </tr> </table>	<b>Property Owner:</b> Name(s): <u>Presburn Family Inc.</u> Mailing Address: <u>2276 Stone Meadow</u> City, State, Zip: <u>Rego, S.D. 50272-381-0300</u> Daytime Phone: _____	<b>Applicant (if different from Owner):</b> Name(s): _____ Mailing Address: _____ City, State, Zip: _____ Daytime Phone: _____																						
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	<b>Land Use of Property to be Served (check one):</b> <input type="checkbox"/> Agricultural: acres served _____ <input type="checkbox"/> Business: type _____ total square footage of buildings: _____ number of employees _____ <input checked="" type="checkbox"/> Residential: number of single-family dwellings <u>40</u> , or number of multi-family dwellings _____ <input type="checkbox"/> Other: describe _____	<b>Type of Permit Requested (check one)</b> <input type="checkbox"/> New approach <input type="checkbox"/> Change in use <input type="checkbox"/> Temporary access <input checked="" type="checkbox"/> Improve existing access <input type="checkbox"/> Relocate existing access <input type="checkbox"/> Remove existing access																							
<b>Requested Approach Width (check one)</b> 24' <input checked="" type="checkbox"/> 30' <input type="checkbox"/> 36' <input type="checkbox"/> 40' <input type="checkbox"/>																									
<b>Local Government Reviews:</b> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">                     County: <u>Pennington</u>                      Comments: _____                      Concurrence signature: _____ Date: _____                 </td> <td style="width: 50%;">                     Municipality: <u>Hermosa</u>                      Comments: _____                      Concurrence signature: _____ Date: _____                 </td> </tr> </table>		County: <u>Pennington</u> Comments: _____ Concurrence signature: _____ Date: _____	Municipality: <u>Hermosa</u> Comments: _____ Concurrence signature: _____ Date: _____																						
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Estimated Date of Construction: <u>10/2021</u> I, the undersigned, request permission to construct or modify an access approach subject to the rules and regulations set forth in SDCL 70:09. Signature of Applicant: _____ Date: <u>10/18/21</u> Signature of Owner (if different than applicant): _____ Date: <u>1/1</u>																									
Permit Decision (to be completed by SDDOT).	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"> <b>Supporting Materials Required: (Required)</b>  <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td style="width: 50%; text-align: center;">Access Approach Design</td><td style="width: 50%; text-align: center;">(Received)</td></tr> <tr><td style="width: 50%; text-align: center;">Vicinity Map</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Traffic Volumes</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Three Copies of Site Plan</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Traffic Control Plan</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Proof of Liability Insurance</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Detailed Development Plan</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Drainage Plan</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Traffic Impact Study</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Revegetation Plan</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Other</td><td style="width: 50%; text-align: center;">[ ]</td></tr> </table> </td> <td style="width: 50%;">                     Received by SDDOT: Date: <u>10/19/21</u>                      Decision: (to be made after Application Review)  <input checked="" type="checkbox"/> Access Approved  <input type="checkbox"/> Access Approved with Variance: _____  <input type="checkbox"/> Access Denied                 </td> </tr> </table>	<b>Supporting Materials Required: (Required)</b> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td style="width: 50%; text-align: center;">Access Approach Design</td><td style="width: 50%; text-align: center;">(Received)</td></tr> <tr><td style="width: 50%; text-align: center;">Vicinity Map</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Traffic Volumes</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Three Copies of Site Plan</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Traffic Control Plan</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Proof of Liability Insurance</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Detailed Development Plan</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Drainage Plan</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Traffic Impact Study</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Revegetation Plan</td><td style="width: 50%; text-align: center;">[ ]</td></tr> <tr><td style="width: 50%; text-align: center;">Other</td><td style="width: 50%; text-align: center;">[ ]</td></tr> </table>	Access Approach Design	(Received)	Vicinity Map	[ ]	Traffic Volumes	[ ]	Three Copies of Site Plan	[ ]	Traffic Control Plan	[ ]	Proof of Liability Insurance	[ ]	Detailed Development Plan	[ ]	Drainage Plan	[ ]	Traffic Impact Study	[ ]	Revegetation Plan	[ ]	Other	[ ]	Received by SDDOT: Date: <u>10/19/21</u> Decision: (to be made after Application Review) <input checked="" type="checkbox"/> Access Approved <input type="checkbox"/> Access Approved with Variance: _____ <input type="checkbox"/> Access Denied
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<b>Terms and Conditions of Approval (or Reason for Denial)</b> <u>See attached standard plates &amp; special conditions for all that apply.</u> Access Must be Constructed By: <u>1/15/22</u>																									
<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">                     SDDOT Area Engineer Signature: <u>Michael P. Penland</u>                      Date: <u>1/15/21</u> </td> <td style="width: 50%;">                     SDDOT Area: _____                      Area Office: <u>RC</u>                      Contact Person: <u>Steve Wiege</u>                      Contact Phone: <u>394-1644</u>                      Permit Number: _____                 </td> </tr> </table>		SDDOT Area Engineer Signature: <u>Michael P. Penland</u> Date: <u>1/15/21</u>	SDDOT Area: _____ Area Office: <u>RC</u> Contact Person: <u>Steve Wiege</u> Contact Phone: <u>394-1644</u> Permit Number: _____																						
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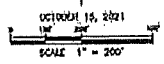
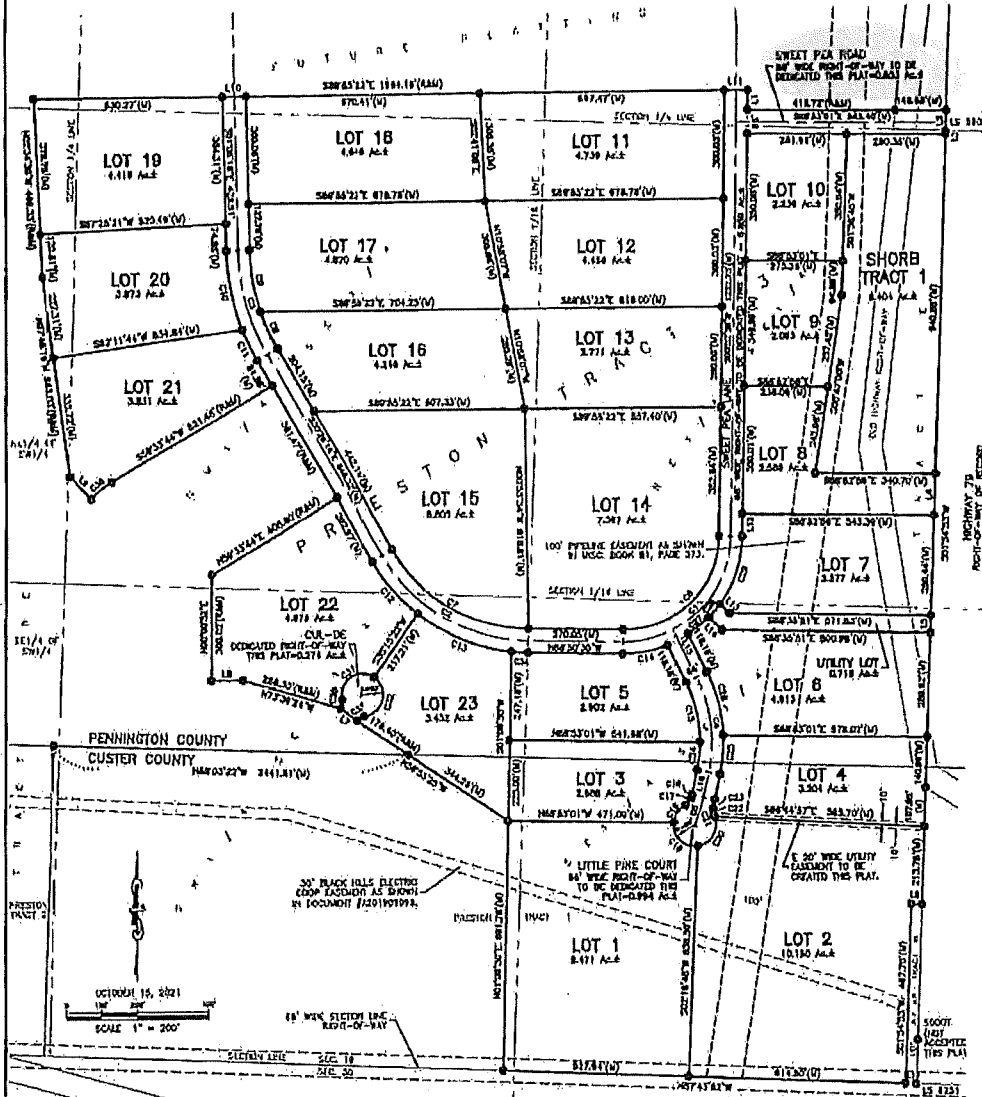
SDDOT Highway Access Permit Application Review Sheet (to be completed by SDDOT)			
<b>Highway Access Classification: (check one)</b> <input checked="" type="checkbox"/> Expressway <input type="checkbox"/> Free Flow Urban <input type="checkbox"/> Intermediate Urban <input type="checkbox"/> Urban Developed <input type="checkbox"/> Urban Fringe <input type="checkbox"/> Rural		Highway <u>79</u> MRM + Displacement <u>62 + 05</u> Left <input checked="" type="checkbox"/> Right <input type="checkbox"/> Average Daily Traffic _____ Accidents (three years) _____	
<b>Highway Alignment to Left of Access (as seen when standing on access)</b> <input checked="" type="checkbox"/> Straight <input type="checkbox"/> Turns left <input type="checkbox"/> Turns right  <input checked="" type="checkbox"/> Flat <input type="checkbox"/> Slopes up <input type="checkbox"/> Slopes down		<b>Highway Alignment to Right of Access (as seen when standing on access)</b> <input type="checkbox"/> Straight <input type="checkbox"/> Turns left <input type="checkbox"/> Turns right  <input type="checkbox"/> Flat <input type="checkbox"/> Slopes up <input type="checkbox"/> Slopes down	
Stopping Sight Distance: <u>750</u> ft. Entering Sight Distance: <u>1000</u> ft. Posted Speed Limit: <u>70</u> mph		Stopping Sight Distance: _____ ft. Entering Sight Distance: _____ ft. Posted Speed Limit <u>70</u> mph	
<input checked="" type="checkbox"/> 0-3% grade <input type="checkbox"/> 3-5% grade <input type="checkbox"/> >5% grade		<input type="checkbox"/> 0-3% grade <input type="checkbox"/> 3-5% grade <input type="checkbox"/> >5% grade	
<b>Significant Design and Potential Impact Considerations (check all that apply and explain checked items):</b>			
<input type="checkbox"/> Sidewalks or Bike Paths <input type="checkbox"/> Curb & Gutter <input type="checkbox"/> On-Street Parking <input type="checkbox"/> Shoulder Width <input type="checkbox"/> Historical Resources		<input type="checkbox"/> Surface Drainage <input type="checkbox"/> Drainage Structures <input type="checkbox"/> Major Structures <input type="checkbox"/> Guard Rail <input type="checkbox"/> Above-Ground Utilities <input type="checkbox"/> Railroad Tracks	
<input type="checkbox"/> Distance to Nearby Streets, Both Directions <input type="checkbox"/> Distance to Nearby Driveways, Both Directions <input type="checkbox"/> Others Streets with Access or Available Access <input type="checkbox"/> Traffic Control Devices or Relocation Needed		<input checked="" type="checkbox"/> Median Crossovers	
Explain impact on design: <u>Divided Hwy with median Crossover.</u>			
<b>SDDOT Region Traffic Engineer Review (optional):</b> Comments: _____  Signature: _____ date: <u>1/1</u>		<b>SDDOT Access Management Review (optional):</b> Comments: _____  Signature: _____ date: <u>1/1</u>	
<b>APPROACH DESIGN SKETCH</b>  <u>See map.</u>			<b>List Attachments:</b> <input type="checkbox"/> Driveway details <input type="checkbox"/> Culvert details <input type="checkbox"/> Mailbox details <input type="checkbox"/> Fencing details <input type="checkbox"/> Cattle guard <input type="checkbox"/> Sidewalk details <input type="checkbox"/> Median crossovers <input type="checkbox"/> Recreation paths <input type="checkbox"/> Rail crossings <input type="checkbox"/> Auxiliary lanes <input type="checkbox"/> Storm sewer <input type="checkbox"/> Pavement <input type="checkbox"/> Curb & gutter <input type="checkbox"/> Traffic Control <input type="checkbox"/> Sign/signal/markings <input type="checkbox"/> Other
SDDOT Review Performed by: <u>Steve Wingo</u>			Date: <u>12/25/21</u>

**Access Approach Construction Inspection Form**  
**South Dakota Department of Transportation**

To: (person who will conduct field inspection)	After completion, return form to person/office:
address	
address	
Address/zip	
<p>The assigned field inspector is to complete this form for each newly completed access and return the form as noted in the upper right. This form is to confirm installation of an access. If during construction, the inspector should determine problems, such as poor traffic control, materials, or failure to adhere to the permit, they are to order the problems corrected, work may be shut down if necessary, and/or area office contacted for direction. All construction shall be completed within 45 days unless extension granted in writing by Area Engineer.</p>	
Permittee name and phone:	
Access location:	Permit number:
Local jurisdiction:	Permit issue date:
SDDOT Area:	Permit construction began: _____ Permit construction ended: _____ Permit extension granted: _____
This access has been constructed in reasonable conformance with the issued access permit: Inspector signature _____ Date _____	
This access has NOT been constructed in reasonable conformance with the issued access permit: Inspector signature _____ Date _____	
Items not in conformance or inspector comments:	

**PLAT OF  
LONE COYOTE SUBDIVISION  
LOTS 1-23 AND DEDICATED SWEET PEA LANE, SWEET PEA ROAD & LITTLE PINE COURT  
RIGHT-OF-WAYS OF PRESTON TRACT 3**

(Formerly Preston Tract 1 & Preston Tract 3 of Lone Coyote Subdivision)  
LOCATED IN SECTION 19, T2S, R8E, B1M, HERMOSA, PENNINGTON COUNTY, & CUSTER COUNTY, SOUTH DAKOTA

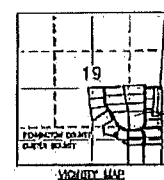


**LEGEND**

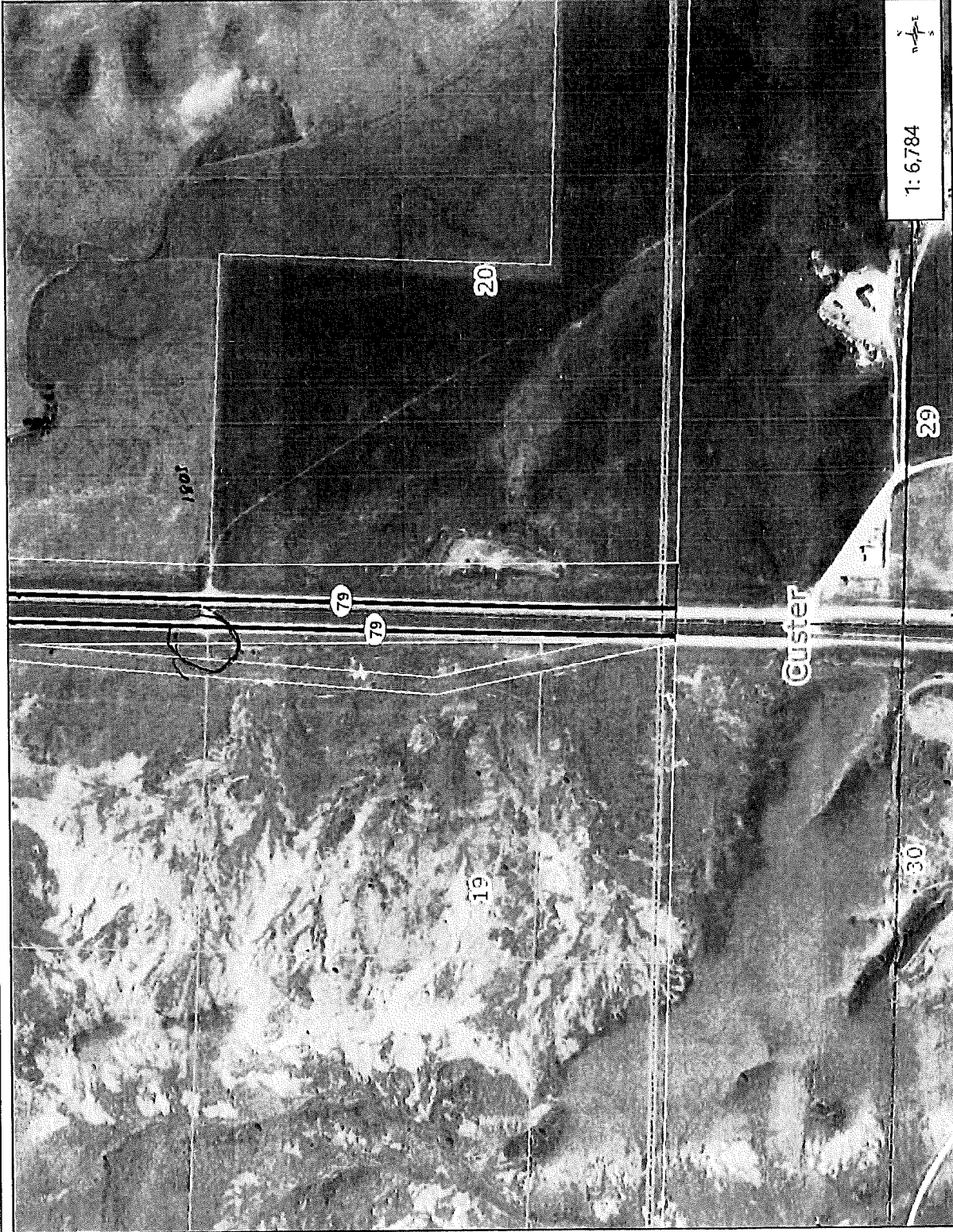
- (S) denotes and 5/8" color with survey map model "Banner - Auto, 2011"
- (D) denotes Found Survey Monument marked LS 4213, with 1/2" diameter metal.
- (R) denotes Rebar in concrete, with 1/2" diameter.
- (U) denotes Unrebar in concrete.

POINT	ARC (MINS)	BEARING	DELTA ANGLE	SIGNO NUMBER	COORDINATE
1010	417.21	S00.00°E	90.1277	S482841 W	418.99
1020	402.47	S00.00°E	287.15	S482842 W	404.88
1030	371.53	S00.00°E	177.60	S482843 W	371.53
1040	321.53	S00.00°E	58.1763	S482844 W	321.53
1050	251.53	S00.00°E	10.5139	S482845 W	251.53
1060	171.53	S00.00°E	89.1171	S482846 W	171.53
1070	81.53	S00.00°E	287.15	S482847 W	81.53
1080	11.53	S00.00°E	177.60	S482848 W	11.53
1090	417.21	S00.00°E	58.1763	S482849 W	417.21
1100	402.47	S00.00°E	10.5139	S482850 W	402.47
1110	371.53	S00.00°E	89.1171	S482851 W	371.53
1120	321.53	S00.00°E	287.15	S482852 W	321.53
1130	251.53	S00.00°E	177.60	S482853 W	251.53
1140	171.53	S00.00°E	58.1763	S482854 W	171.53
1150	81.53	S00.00°E	10.5139	S482855 W	81.53
1160	11.53	S00.00°E	89.1171	S482856 W	11.53
1170	417.21	S00.00°E	287.15	S482857 W	417.21
1180	402.47	S00.00°E	177.60	S482858 W	402.47
1190	371.53	S00.00°E	58.1763	S482859 W	371.53
1200	321.53	S00.00°E	10.5139	S482860 W	321.53
1210	251.53	S00.00°E	89.1171	S482861 W	251.53
1220	171.53	S00.00°E	287.15	S482862 W	171.53
1230	81.53	S00.00°E	177.60	S482863 W	81.53
1240	11.53	S00.00°E	58.1763	S482864 W	11.53
1250	417.21	S00.00°E	10.5139	S482865 W	417.21
1260	402.47	S00.00°E	89.1171	S482866 W	402.47
1270	371.53	S00.00°E	287.15	S482867 W	371.53
1280	321.53	S00.00°E	177.60	S482868 W	321.53
1290	251.53	S00.00°E	58.1763	S482869 W	251.53
1300	171.53	S00.00°E	10.5139	S482870 W	171.53
1310	81.53	S00.00°E	89.1171	S482871 W	81.53
1320	11.53	S00.00°E	287.15	S482872 W	11.53
1330	417.21	S00.00°E	177.60	S482873 W	417.21
1340	402.47	S00.00°E	58.1763	S482874 W	402.47
1350	371.53	S00.00°E	10.5139	S482875 W	371.53
1360	321.53	S00.00°E	89.1171	S482876 W	321.53
1370	251.53	S00.00°E	287.15	S482877 W	251.53
1380	171.53	S00.00°E	177.60	S482878 W	171.53
1390	81.53	S00.00°E	58.1763	S482879 W	81.53
1400	11.53	S00.00°E	10.5139	S482880 W	11.53

LINE BEARING	DISTANCE
LINE 1010-1020	417.21
LINE 1020-1030	402.47
LINE 1030-1040	371.53
LINE 1040-1050	321.53
LINE 1050-1060	251.53
LINE 1060-1070	171.53
LINE 1070-1080	81.53
LINE 1080-1090	11.53
LINE 1090-1100	417.21
LINE 1100-1110	402.47
LINE 1110-1120	371.53
LINE 1120-1130	321.53
LINE 1130-1140	251.53
LINE 1140-1150	171.53
LINE 1150-1160	81.53
LINE 1160-1170	11.53
LINE 1170-1180	417.21
LINE 1180-1190	402.47
LINE 1190-1200	371.53
LINE 1200-1210	321.53
LINE 1210-1220	251.53
LINE 1220-1230	171.53
LINE 1230-1240	81.53
LINE 1240-1250	11.53
LINE 1250-1260	417.21
LINE 1260-1270	402.47
LINE 1270-1280	371.53
LINE 1280-1290	321.53
LINE 1290-1300	251.53
LINE 1300-1310	171.53
LINE 1310-1320	81.53
LINE 1320-1330	11.53
LINE 1330-1340	417.21
LINE 1340-1350	402.47
LINE 1350-1360	371.53
LINE 1360-1370	321.53
LINE 1370-1380	251.53
LINE 1380-1390	171.53
LINE 1390-1400	81.53
LINE 1400-1410	11.53



**NOTES AND OTHER REQUIREMENTS:**  
 1. ALL OF THE INTERIOR SIDES OF ALL LOT LINES NOT ADJACENT TO PUBLIC RIGHT-OF-WAYS.  
 2. ALL MAJOR SURFACE EASEMENT SHOWN HEREON SHALL BE KEPT FREE OF ALL OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS, FENCES, HEDGES, TREES AND SHRUBS. THESE EASEMENTS GRANT TO ALL PUBLIC AUTHORITIES THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, REPAIR, AND REMOVE SUCH IMPROVEMENTS AND STRUCTURES AS IT DEEMS EXPEDIENT TO FACILITATE DRAINAGE FROM ANY SOURCE.  
 3. BASE OF MEASUREMENT: SOUTH DAKOTA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83(2011), DERIVED FROM CURV EQUATION WITH A CONSTANT SCALE FACTOR OF 0.999744471.  
 4. WATER PROTECTION STATEMENT: SOUTH DAKOTA, SECTION 11-3-2.1, THE DEVELOPER OF THE PROPERTY DESCRIBED WITHIN THIS PLAT SHALL BE RESPONSIBLE FOR PROTECTING ALL WATERS OF THE STATE, INCLUDING ENVIRONMENTAL, LEGATED ADJACENT TO OR WITHIN SUCH PLATTED AREA FROM POLLUTION FROM SEWAGE FROM BAPT SUBDIVISION AND SHALL BY PROVISION OF SUCH PROVISIONS COMPLY TO AND FOLLOW ALL REGULATIONS OF THE SOUTH DAKOTA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES RELATING TO THE SAME.  
 5. FLOODPLAIN STATEMENT: BASED ON THE FLOOD INSURANCE RATE MAP NUMBER 8012510001 (NOT FIRMED), EFFECTIVE DATE JUNE 3, 2013, INDICATES THE SUBJECT PROPERTY IS LOCATED IN ZONE B.



### Legend

- Roads**
- Interstate
  - US highway
  - SD highway
  - County highway
  - Main road
  - Minor arterial
  - Collector
  - Ramp
  - Paved road
  - Unpaved road
  - Unimproved road
  - Trail
  - Airport Runway
  - Not yet coded
- Section Lines 0-25k**
- Tax Parcels**
- Lot Lines**
- <Null>
  - Lot Line
  - Parcel Line

### Map Notes:

This map is a user generated static output from an internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

1,130.6 Feet

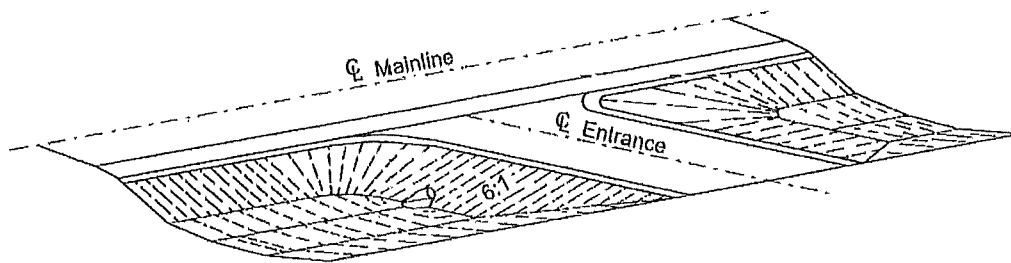
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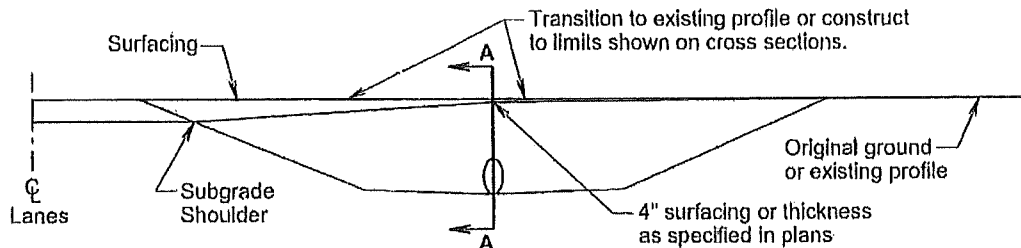
1,130.6

MAD\_1983\_StatePlane\_South\_Dakota\_South\_FIPS\_4002\_Feet

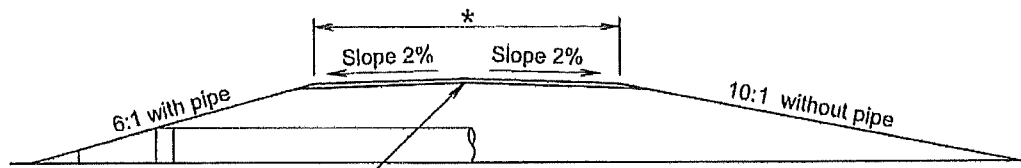
© Rapid City-Pennington County GIS Division



**PERSPECTIVE OF ENTRANCE**



**ELEVATION VIEW  
(Entrance)**



**SECTION A-A  
(Entrance)**

\* The finished surfacing width is stated elsewhere in the plans. The subgrade width is 4' wider than the finished surfacing width unless stated otherwise in the plans.

**GENERAL NOTES:**

The ditch section shown above in the perspective and elevation view is only for illustrative purpose.

A 6:1 inslope will be constructed for an entrance when a pipe is required. A 10:1 inslope will be constructed when a pipe is not required.

Pipe length will be adjusted if necessary during construction to obtain the 6:1 slope. For grading projects, the pipe length is estimated typically using a 4" thickness of surfacing directly over the subgrade above the pipe.

The transition area between the mainline inslope and the approach inslope for entrances will be rounded to eliminate an abrupt transition.

The turning radii will be 35' for intersecting roads and entrances unless stated otherwise in the plans.

September 14, 2018

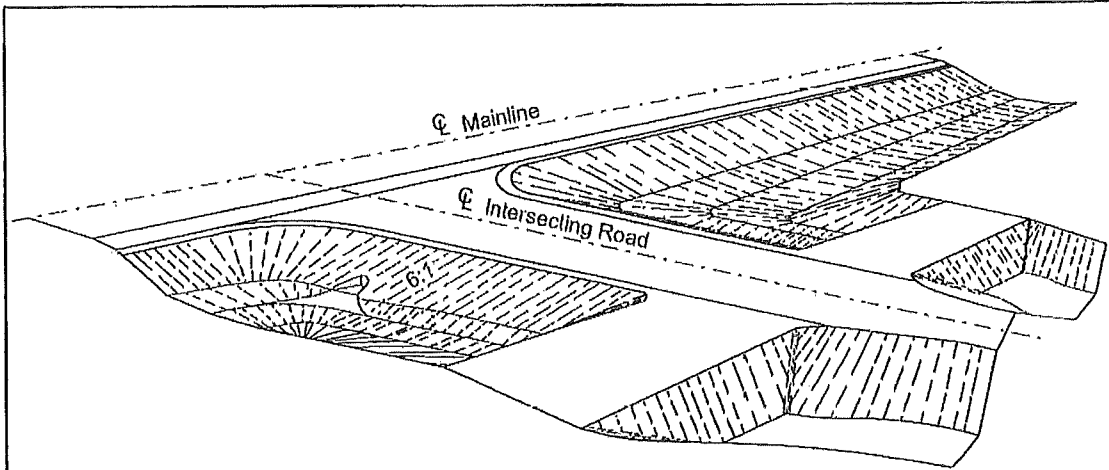
Published Date: 2nd Qtr. 2020

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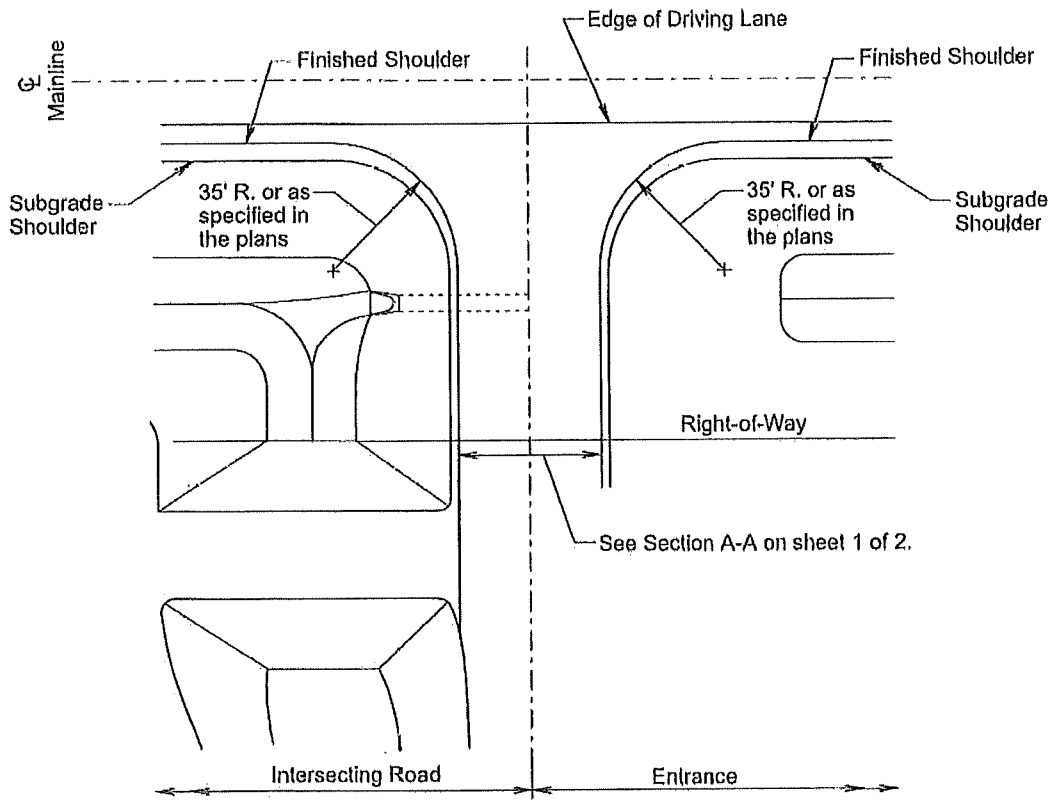
**INTERSECTING ROADS AND ENTRANCES**

PLATE NUMBER  
120.01

Sheet 1 of 2



**PERSPECTIVE OF INTERSECTING ROAD**



**PLAN VIEW**

September 14, 2018

Published Date: 2nd Qtr. 2020

**S  
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T**

**INTERSECTING ROADS AND ENTRANCES**

PLATE NUMBER  
120.01

Sheet 2 of 2

## Special Conditions Attachment Sheet

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The items listed below are a summary of requirements set by the SDDOT for work being done within the ROW. It shall be the permit holder's responsibility to acquire the information needed to complete work as per the SDDOT Standard Specifications for Roads and Bridges 2015 Edition. Included is a link to the SDDOT standard plates for reference to situations.

<http://sddot.com/business/design/plates/index/Default.aspx>. For instances where uncertainty exists, questions should be referred to the Rapid City Area SDDOT.

1. No excavated areas or other obstructions within 30' of white edge line or 6' behind curb, shall remain overnight without proper Concrete barriers w/approved end protection.
2. Salvage and replace topsoil.
3. All disturbed areas shall be re-established as per the re-vegetation Plan for Disturbed State Owned Right-of-Way. ( As shown below)
4. Traffic control shall be in accordance with the Manual on Uniform Traffic Control Devices. (MUTCD) or SDDOT standard plates for traffic control devices.
5. Permit holders should be aware of present and/or know future road work, that may involve realignments, widening's, cuts and fill section. Work shall be coordinated and completed so that it doesn't conflict with road work.
6. Embankment material within the ROW shall be placed in accordance with section 120.3 of the SDDOT standard specifications for Roads and Bridges 2015 Edition.
7. Granular base materials within the ROW shall be placed in accordance with section 260.3 of the SDDOT standard specification for Roads and Bridges 2015 Edition. Granular base materials shall follow existing construction limits and is subject to changes by the SDDOT
8. Any surfacing removed within the ROW shall be replaced in kind in accordance with section 320.3 or 380 of the SDDOT standard specification for Roads and Bridges 2015 Edition. Removals shall be defined by full depth saw cuts with limits approved by DOT.
9. When open cut excavations of the roadway are approved by the SDDOT, all materials used to replace excavated areas shall be tested. All tests including gradations, compaction and Etc., shall be reported to the appropriate personal and available upon request for verification by the DOT.
10. All pavement markings removed or damaged by the contractor shall be replaced to the satisfaction of the DOT.
11. Any subsequent damage to the roadway, shoulder or other items within the ROW, due to construction activities will be repaired by applicant at no cost to the state.
12. No obstructions shall be placed within the ROW without prior acceptance by the SDDOT. Obstructions include but are not limited to landscaping items, signs, light poles, buildings, guardrail, fence, parking, etc.
13. All utilities shall be placed as close to ROW line as possible.
14. All fencing that is removed for construction purposed shall be reset or replaced with materials in existing or better condition. Installation shall be per section 620 of the SDDOT standard specifications for Roads and Bridges 2015 edition.

## Special Conditions Attachment Sheet

---

15. Erosion Control measures shall be utilized as per the State, Federal, County and City regulations. Erosion control and sediment control is the sole responsibility of the Permit holder.

### *Re-vegetation Plan for Disturbed State Owned Right of Way*

#### **Shaping:**

All disturbed areas are to be re-topsoiled and leveled to promote vegetative growth and to remove any obstructions of drainage.

#### **Seeding:**

All disturbed areas will be stabilized within 14 days of the completion of earthmoving work. Seed mixture is to consist of the following:

Western Wheatgrass	7lbs of pure live seed
Green Needlegrass	4lbs of pure live seed
Sideoats Grama Blue	3lbs of pure live seed
Gramma	2lbs of pure live seed
(Oats from April to July, Winter Wheat August to November)	10lbs of pure live seed

Overall 26lbs pure live seed per acre

Mulch is to be applied to the disturbed area at a rate of 2 tons per acre. Mulch is to be free of any and all noxious weeds.

Mulch is not required if disturbed area is less than 0.5 acres.

Commercial fertilizer with a guaranteed analysis of 18-46-0 is to be applied at a rate of 100lbs per acre.

#### **Sediment and Erosion Control.**

Usage of Best Management Practices for sediment and erosion control is mandatory. Applicant is duly reminded that if over 0.5 acres will be disturbed, applicant must have on hand an approved Notice of Intent from the Department of Environment and Natural Resources as well as a full Storm Water Pollution Prevention Plan. (SWPPP) Both of these documents are the applicant's responsibility to attain. Once vegetation is reestablished, the applicant is duly reminded that a Notice of Termination is also needed to be sent to the Department of Environment and Natural Resources. Protective devices are to be installed prior to disturbing State Right of Way to prevent erosion from damaging the environment. More information can be found at the below web link.

<http://www.sddot.com/business/environmental/stormwater/Default.aspx>

## Special Conditions Attachment Sheet

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### Final Inspection

The permittee is required to conduct an inspection of the installation area approximately 10 to 12 months after installation to ensure no erosion has occurred and that no settlement areas exist. Any areas found are to be repaired in accordance with the above notes. Area is also to be inspected for noxious weed. If noxious weeds are found, they are to be sprayed and destroyed by the applicant. (Contact the SDDOT Representative noted on the permit for information regarding noxious weed and chemical application)

**Wiege, Steve**

---

**From:** John Preston <johnpreston0555@gmail.com>  
**Sent:** Saturday, October 23, 2021 8:49 AM  
**To:** Wiege, Steve  
**Subject:** [EXT] Approach permit  
**Attachments:** doc03181020211023082651.pdf

Steve and Mike,  
Attached is approach drawing. The mile marker on Hwy 79 is about 61.  
The approach is about 200 yards north from Custer and Pennington County lines on the west side of the highway.  
Other than gravel, there won't be any improvements. Don't plan on having any traffic control or signage unless  
required. Please let me know what questions you have.  
Thank you,

--  
John Preston  
Broker/Owner  
Battle Creek Agency  
johnpreston0555@gmail.com  
605-381-0555  
605-255-5500

--  
John Preston  
Broker/Owner  
Battle Creek Agency  
johnpreston0555@gmail.com  
605-381-0555  
605-255-5500

# Town of Hermosa



PO Box 298 • 230 Main St • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

[www.hermosasd.com](http://www.hermosasd.com)

November 20, 2020

Preston Family Inc,  
PO Box 52  
Hermosa, SD 57744

Dear John and Preston Family,

Thank you for attending the November 17, 2020, Hermosa Board of Trustees meeting and providing your letter of intent to annex the proposed Preston Family Development with the Town of Hermosa.

As noted in your letter, Preston Family Inc. will agree to annex with the Town of Hermosa in exchange for the city supplying utilities (water and sewer) to the property lot line. The Town of Hermosa will be responsible for expenses incurred for the utilities being brought to the lot line.

The Board of Trustees are agreeable to zoning the development as Residential Ag. In addition, the development will not be required to install streetlights, paved roads, curb and gutter and sidewalks.

On behalf of the town board, we look forward to working with you on this exciting development in our community.

Sincerely,

Handwritten signature of Vicki Henrichsen in cursive.

Vicki Henrichsen, President *by SB*  
Board of Trustees  
Town of Hermosa



**DEPARTMENT of AGRICULTURE  
and NATURAL RESOURCES**

JOE FOSS BUILDING  
523 E CAPITOL AVE  
PIERRE SD 57501-3182  
danr.sd.gov

July 29, 2021

Ian L. Garduna, P.E.  
Renner and Associates  
3231 Teewinot Drive  
Rapid City, SD 57703

RE: Pennington County and Custer County – Lone Coyote Subdivision Phase 1  
P&S 21-136

Dear Mr. Garduna:

The Department of Agriculture and Natural Resources (DANR) received one copy of the plans and specifications for the Lone Coyote Subdivision Phase 1 project on July 7, 2021. The department has reviewed and hereby approves the plans and specifications for this project. The following are conditions of approval to be addressed by the design engineer:

**Sanitary Sewer**

1. The department's design criteria require that deflection tests be performed on sanitary sewer pipes after final backfill has been in place at least 30 days. No pipe may exceed a deflection of 5%. Section 9.3 Part H.5 on page 22 of the Town of Hermosa Street Specifications requires deflection to not exceed 5% but does not include a test method to verify deflection. **Please submit an addendum or revised specifications requiring deflection tests, including a method for testing deflection.**
2. The distance between the lift station and manhole MH#1 will be over 500 feet. The department's design criteria require manholes to be installed at distances not to exceed 400 feet when 8-inch diameter sewers are used. This distance may be increased when the authority having jurisdiction over the sewers has adequate cleaning equipment and is aware of the increased risk of higher operation and maintenance costs associated with the increased distance. **Please review this requirement with the authority having jurisdiction over the sewer. No response is required to be submitted to address this condition of approval.**

**Lift Station**

1. The Town of Hermosa Street Specifications do not include specifications for the installation and leakage testing of force main. **Please submit an addendum or revised specifications for installation and leakage testing of the forcemain.**

Ian Garduna  
July 29, 2021  
Page 2 of 2

2. The departments design criteria require electrical systems and components installed in wet wells shall comply with National Electrical Code requirements for Class I, Division 1, Groups C and D locations. When such equipment is exposed to weather it shall meet the requirements of weatherproof equipment (Nema 3R). It is not clear if the equipment meets this requirement. **Please ensure the electrical components in this system meet this requirement.**

### General

1. Erosion and sediment control measures shown to be installed during construction are generally not evaluated during the plans and specifications review. The owner/operator is responsible for ensuring that pollution prevention measures are implemented and effective. Therefore, approval of plans and specifications for this project does not include approval of an erosion control plan.
2. Coverage under the department's general storm water construction permit is required if the construction of this project will disturb one or more acres in total land area. If a smaller project is part of a larger common plan of development or sale that collectively will disturb one or more acres you also need permit coverage. Information concerning this permit can be obtained by calling Katie Adair at 1-800-737-8676. If a permit is required, a copy of the storm water pollution prevention plan must be kept on site during construction for review by DANR inspectors. **No response is required to be submitted to address this condition of approval.**

This review is primarily to determine compliance with the minimum sanitary engineering requirements and does not cover items such as quality of material, structural soundness, or electrical and mechanical design features. Approval of the plans and specifications does not in any way release the applicant from the responsibility that the project will be an operable facility when construction is completed.

If you have any questions, please contact us.

Sincerely,

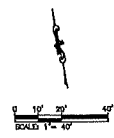
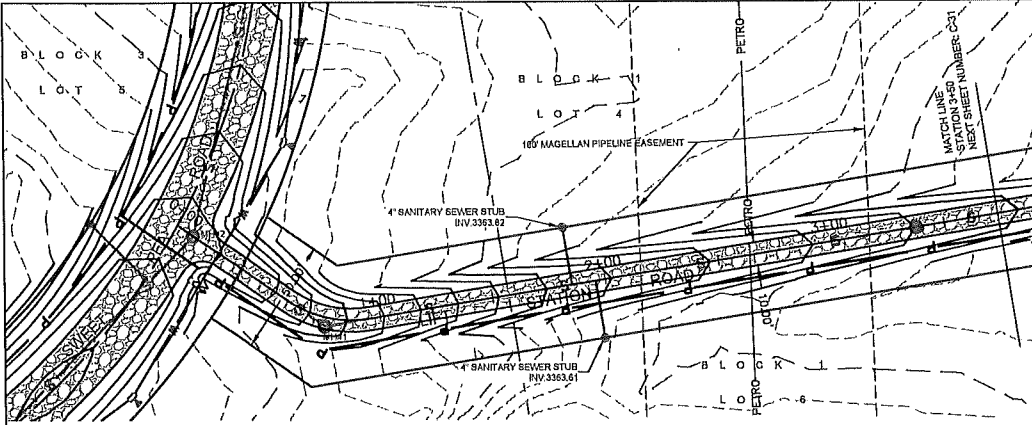


Neal Konda, P.E.  
Natural Resources Engineer  
Livestock Services Program  
(605) 773-3351



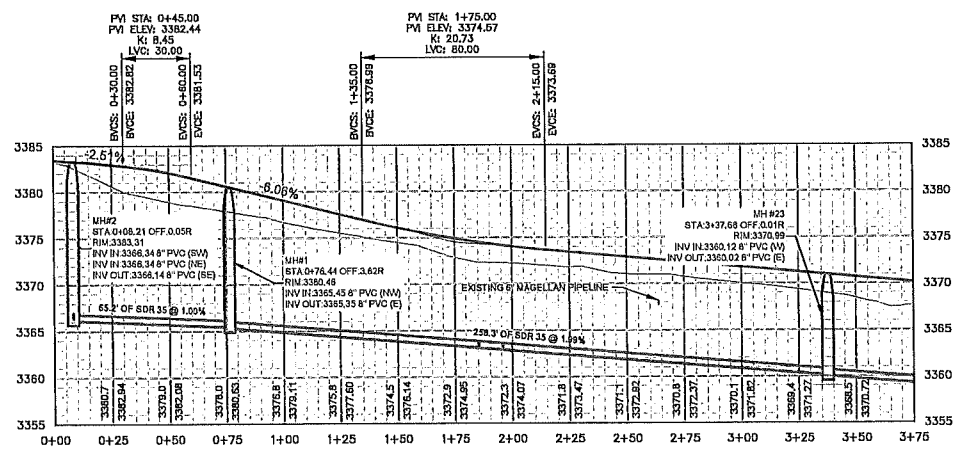
Mark A. McIntire, P.E.  
Natural Resources Engineer  
Drinking Water Program  
(605) 773-3754

cc: Terri Kester, Custer County Planning and Zoning  
Brittney Molitor, Pennington County Planning and Zoning

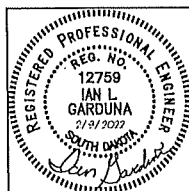


**SANITARY SEWER**  
 0+78.44-3.82R  
 FM 100E1  
 1+65.43-0.00R  
 F&I 4" 6" 1/2" IN-LINE W/VE  
 1+83.47-05.00L  
 F&I 4" 6" 1/2" IN-LINE W/VE  
 1+93.86-0.11L  
 F&I 4" 6" 1/2" IN-LINE W/VE  
 1+95.87-25.03R  
 F&I 4" 6" 1/2" IN-LINE W/VE  
 1+95.87-25.03R  
 F&I 4" 6" 1/2" IN-LINE W/VE

REVISION 2230022  
 ADDITION OF MANHOLE #23



SCALES:  
 1" = 40' HOR  
 1" = 10' VER



LONE COYOTE SUBDIVISION

Designed By:	JKM
Checked By:	JKM
Drawn Date:	2/2/2022
Checked Date:	2/2/2022
Reviewed By:	REHNER
Reviewed Date:	2/2/2021
Version:	41 - 2/2/2022

Prepared For:  
 JOHN FREESTON  
 22710 81ST MAGELLAN  
 ROAD  
 RAPID CITY, SD 57703

Internal Job No:  
 3030

Sheet Title:  
 LIFT STATION  
 ROAD - STA.  
 0+00 - STA. 3+75

C-30





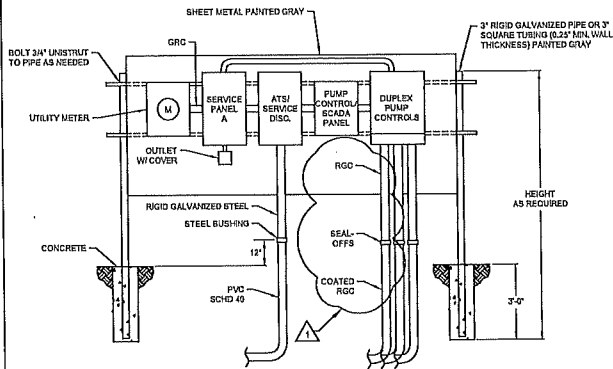
PRESTON RANCH LIFT STATION

GENERAL ELECTRICAL NOTES:

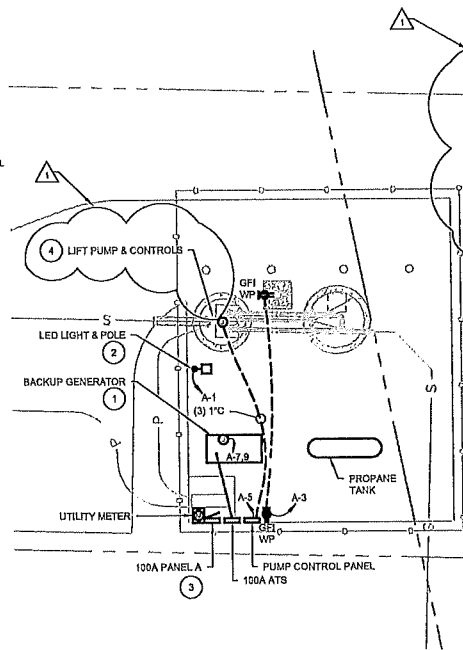
- A. ALL CONDUIT BELOW GRADE TO BE PVC SCHD 40.
- B. ALL CONDUIT ABOVE GRADE TO BE RGC, AND TO WET WELL.
- C. HAZARDOUS LOCATION CLASSIFICATIONS ARE AS FOLLOWS:
  - 1. WET WELL SHALL BE CLASSIFIED AS CLASS 1, DIVISION 1. USE SEAL-OFF FITTINGS PER ELECTRICAL NOTE.
  - 2. CONTROL BUILDING SHALL BE UNCLASSIFIED.
- D. ALL OUTDOOR EQUIPMENT TO BE NEMA-3R RATED FOR OUTDOORS.

SPECIFIC NOTES:

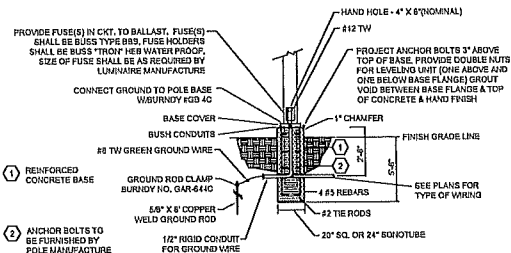
- 1. SEE GENERATOR PAD DETAIL ON SHEET E7.
- 2. SEE LIGHT POLE DETAIL THIS SHEET.
- 3. SEE PANEL MOUNTING RACK DETAIL THIS SHEET.
- 4. THIS AREA IS CLASS 1, DIVISION 1. PROVIDE ALL DEVICES IN THIS AREA WITH EXPLOSION PROOF SEAL-OFFS PER NEC.



1 MOUNTING RACK DETAIL NO SCALE

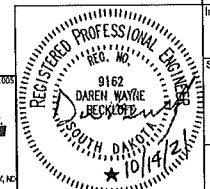


3 LIFT STATION SITE PLAN 1" = 10'-0"



2 CONCRETE LIGHT POLE DETAIL NO SCALE

WPE WEST PLAINS ENGINEERING, INC.  
 1750 RAND ROAD • RAPID CITY SD, 57702  
 PHONE: (605) 348-7455 • FAX: (605) 348-9145  
 WWW.WESTPLAINSENGINEERING.COM  
 RAPID CITY, SD • SIOUX FALLS, SD • CASPER, WY • GRAND RAPIDS, MI • BISMARCK, ND



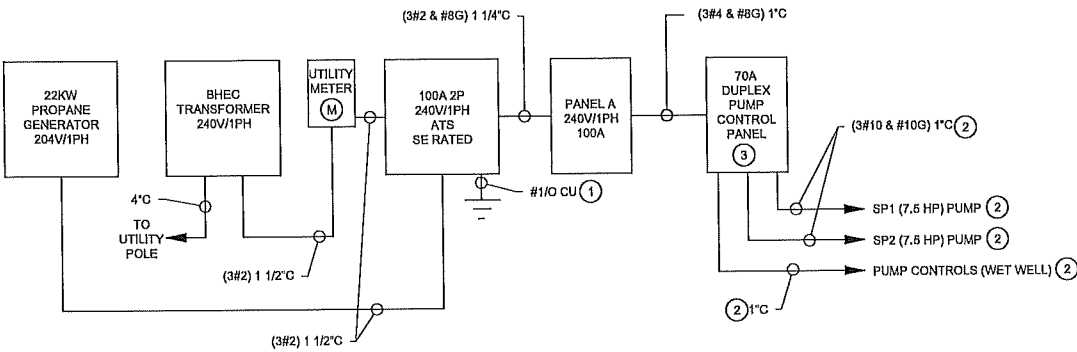
Designed By:	Drawn By:
DWB	JCO
Design Date:	Print Date:
10/14/2023	10/14/2023
Checked By:	Scale:
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Internal Job No:	XXXX
Sheet Title:	LIFT STATION ETE PLAN
	E2



PRESTON RANCH LIFT STATION

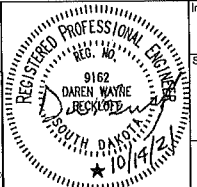
SPECIFIC NOTES: ①

1. SEE GROUNDING DETAIL FOR CONNECTION TO CONCRETE ENCASED ELECTRODES, PIPING, GROUND RODS, MAIN SERVICE AND TRANSFORMER.
2. PUMP & FLOAT SWITCHES PROVIDED WITH THE EQUIPMENT. ALL WIRING PROVIDED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. INSTALL CORDS VERTICALLY TO TOP OF WET WELL, SUPPORT AT TOP OF WET WELL. EACH CORD SHALL BE IN SEPARATE CONDUIT WITH CLASS 1, DIVISION 1 SEAL-OFFS BEFORE ENTERING CONTROL PANEL.
3. PUMP CONTROLS INCLUDE VFD'S WITH SINGLE PHASE INPUT AND 3 PHASE OUTPUT TO MOTORS.



① ELECTRICAL RISER DIAGRAM  
NO SCALE

WPE WEST PLAINS ENGINEERING, INC.  
 1750 RAND ROAD • RAPID CITY SD, 57702  
 PHONE: (605) 348-7455 • FAX: (605) 348-9445  
 WWW.WESTPLAINSENGINEERING.COM  
 RAPID CITY, SD • SIOUX FALLS, SD • CASPER, WY • CEDAR RAPIDS, IA • BISMARCK, ND

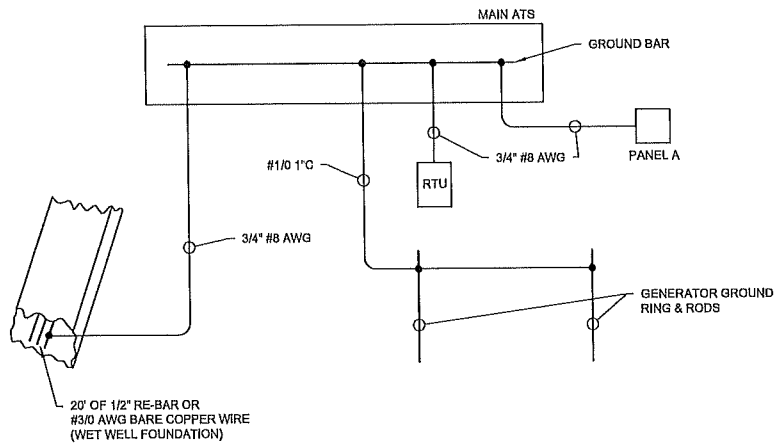


Designed By: JCO  
 Drawn By: JCO  
 Date: 10/14/2011  
 Project No: 101147202  
 Revision: 1  
 Version: 1  
 Prepared For:  
 ADDRESS:

Internal Job No:  
 XXXX  
 Sheet Title:  
 ELECTRICAL  
 RISER  
 DIAGRAM  
 E3



PRESTON RANCH LIFT STATION



20' OF 1/2" RE-BAR OR #3/0 AWG BARE COPPER WIRE (WET WELL FOUNDATION)

ALL CONDUITS ARE COPPER

① GROUNDING ELECTRODE DIAGRAM  
NO SCALE

Designed By:	Drawn By:
DATE:	DATE:
Checked By:	Approved By:
Version:	

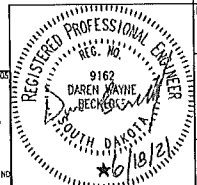
Prepared For:  
ADDRESS:

Internal Job No:  
XXXX

Sheet Title:  
GROUNDING ELECTRODE DIAGRAM

E4

**WPE** WEST PLAINS ENGINEERING, INC.  
 1750 RAND ROAD • RAPID CITY SD, 57702  
 PHONE: (605) 348-7455 • FAX: (605) 348-9445  
 WWW.WESTPLAINSENGINEERING.COM  
 RAPID CITY, SD • SIOUX FALLS, SD • GARDNER, WY • CEDAR RAPIDS, IA • ESKANACK, NC





PRESTON RANCH LIFT STATION

## LIGHTING FIXTURE SCHEDULE

FXTR TYPE LTR	FIXTURE DATA			LAMP DATA				REMARKS
	MANUFACTURERS DESIGNATION	CATALOG NUMBER	MOUNTING	TYPE	NO	WATTS	CATALOG NUMBER	
S	LITHONIA	TDD-LED-PA-40K-120-PE-DNA-M	POLE	LED	1	31	W/FIXTURE	PHOTOCCELL, COOPER, HOLOPHANE ALSO APPROVED.
P	LITHONIA	SSS-20-4C	20' POLE					STEEL POLE WITH HANDHOLE

PNL A		VOLTS:	120/240		PHASES:	1		WIRE:	PER 1-LINE		MAIN CAPACITY:	100A		
		AIC RATING:	22,000		LOCATION:							MAIN CONNECTION:	MLO	
		MOUNTING:			FEEDER SIZE:							MAIN TYPE:		
CKT	ITEM FED	WIRE SIZE	POLES	AMP'S	A (WATTS)	B (WATTS)	POLES	AMP'S	WIRE SIZE	ITEM FED	CKT			
1	LIGHTS	#12	1	20 A	100	7320				LIFT PUMP	2			
3	OUTLETS	#12	1	20 A		360		7320			4			
5	SCADA	#12	1	20 A	500						8			
7	GENERATOR HEATER	#12	1	20 A		1000					8			
9	GENERATOR BATT CHARGER	#12	1	20 A	1000						10			
11	SPARE	#12	1	20 A							12			
13	SPARE	#12	1	20 A							14			
15	SPARE	#12	1	20 A							16			
17											18			
19											20			
21											22			
23											24			
<b>TOTAL CONNECTED LOAD:</b>					8920 W	6680 W	<b>AMPS:</b>	73 A	<b>LOAD:</b>	17800 W				

NOTES: PROVIDE WITH INTEGRAL SPD.

Designed By: JCO  
 Drawn By: JCO  
 Date: 8/18/2021  
 Scale: 1"=100'

Prepared For:  
 Address:

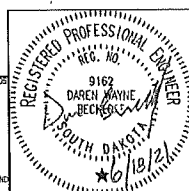
Internal Job No:  
 XXXX

Sheet Title:  
 ELECTRICAL  
 SCHEDULES  
 E5

WPE #201100

**WPE** WEST PLAINS ENGINEERING, INC.

1750 RAND ROAD • RAPID CITY SD, 57702  
 PHONE: (605) 348-7455 • FAX: (605) 348-9445  
 WWW.WESTPLAINSENGINEERING.COM  
 RAPID CITY, SD • SIOUX FALLS, SD • CASPER, WY • CEDAR RAPIDS, IA • ESHAMOK, NE





PRESTON RANCH LIFT STATION

Designed By: JCO  
Drawn By: JCO  
Date: 6/18/2021  
Checked By: JCO  
Date: 6/18/2021

Version: ---  
Prepared For:  
Address:

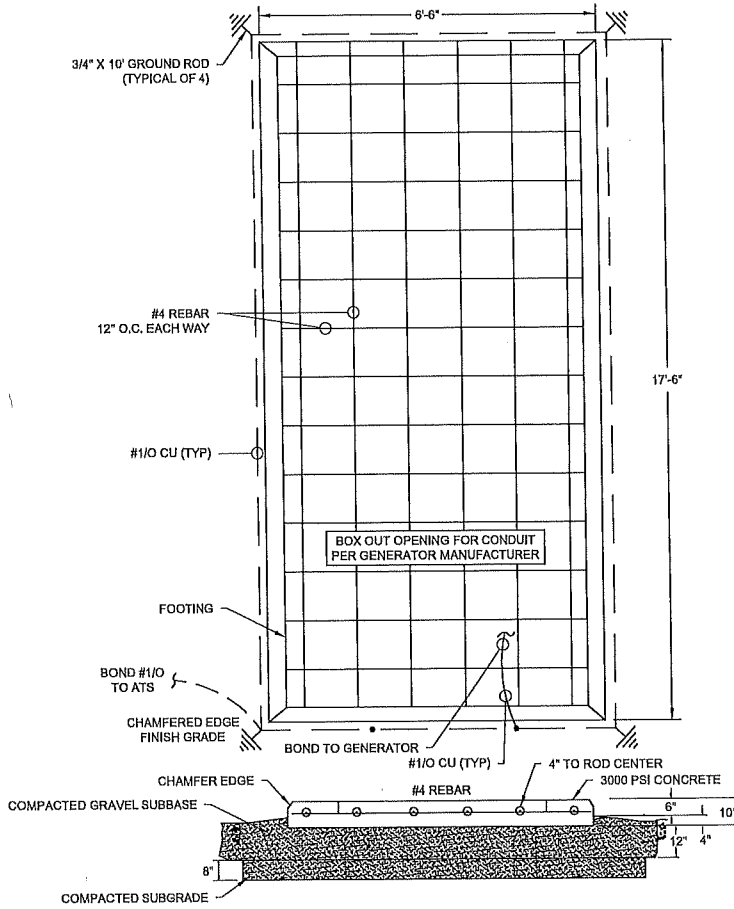
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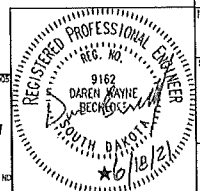
CONCRETE GENERATOR PAD DETAIL

E6



1 CONCRETE GENERATOR PAD DETAIL  
NO SCALE

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PRESTON RANCH LIFT STATION

Designed By:	Drawn By:
DWB	JCO
Checked By:	Field Date:
8/18/2021	8/18/2021
Reviewed By:	Issue Date:
	8/18/2021
Version:	
1	
Prepared For:	
Address:	

Internal Job No: XXXX

Sheet Title: LIFT STATION MECHANICAL PLAN

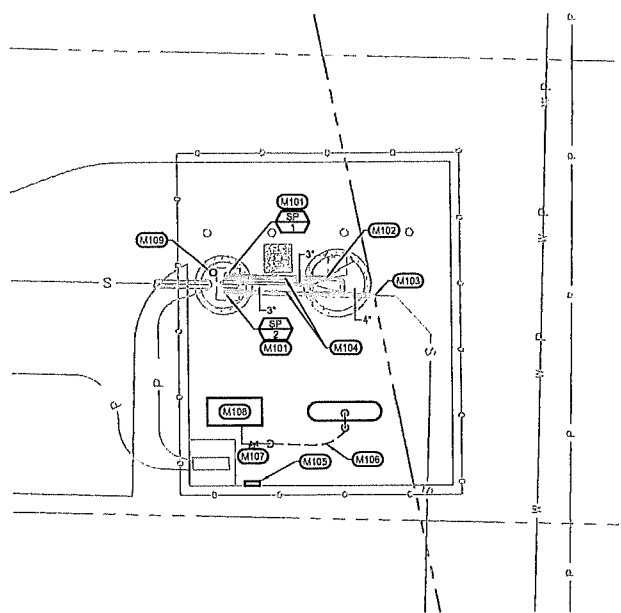
M1

MISCELLANEOUS NOTES

- A COORDINATE INSTALLATION OF PIPING WITH ALL DISCIPLINES.
- B CONTRACTOR TO FIELD VERIFY EXACT SIZE AND LOCATION OF INCOMING SANITARY AND FORCED MAIN INVERT ELEVATION PENETRATIONS OF BASIN AND VALVE VAULT PROVIDED BY OTHERS.
- C CONTRACTOR TO COORDINATE INSTALLATION OF PUMP AND PIPING MOUNTING HARDWARE WITH BASIN AND VALVE VAULT PROVIDER.
- D PROPANE TANK AND FIRST STAGE REGULATOR PROVIDED BY THE LOCAL UTILITY PROVIDER. TOTAL LOAD = 140.88 CFH (350 MBH).
- E REFER TO LIFT STATION SITE GRADING PLAN FOR COORDINATION OF PUMP BASIN, VALVE VAULT AND SITE PIPING.

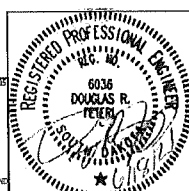
SPECIFIC NOTES

- M101 INSTALL SEWAGE LIFT PUMP WITH MOUNTING FLANGE TO BOTTOM OF BASIN PROVIDED BY OTHERS.
- M102 INSTALL CHECK VALVE AND BALL VALVE (TYPICAL OF EACH ASSOCIATED PUMP) WITHIN VALVE VAULT BY OTHERS.
- M103 COORDINATE LOCATION OF 4" FORCED MAIN WITH FORCED MAIN OUTSIDE OF VALVE BOX
- M104 3" FORCED MAIN PIPING INSTALLED BELOW GRADE.
- M105 SEWAGE PUMP CONTROL PANEL. COORDINATE LOCATION WITH ELECTRICAL CONTRACTOR. REFER TO SHEET E1.
- M106 1/2" BURIED SOFT DRAWN COPPER PIPING BETWEEN FIRST AND SECOND STAGE REGULATOR (BASED ON 10 PSI TRANSMISSION PRESSURE).
- M107 SECOND STAGE REGULATOR.
- M108 CONNECT 3/4" LP GAS PIPING TO BACK-UP GENERATOR (BASED ON PRESSURE DROP OF 0.65 INCH W.G.). COORDINATE EXACT LOCATION OF CONNECTION WITH THE ELECTRICAL CONTRACTOR. REFER TO SHEET E1.
- M109 PROVIDE 4" VENT UP THRU BASIN COVER PROVIDED BY OTHERS. EXTEND VENT A MINIMUM OF 3'-0" ABOVE COVER AND TERMINATE WITH GOOSENECK WITH BIRDSCREEN.



① LIFT STATION MECHANICAL PLAN  
1" = 10'-0"

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PRESTON RANCH LIFT STATION

### PUMP SCHEDULE

PUMP NO	MANUFACTURER	MANUFACTURER'S MODEL #	TYPE	GPM	HEAD	IMPELLER SIZE (IN.)	ELECTRICAL			REMARKS
							HP	VOLTAGE	AMPS	
SP1	ZOELLER	J7112	DUPLX ALTERNATING	65	100	TBD	7.5	208/3	25.2	1,2,3,4,5
SP2	ZOELLER	J7112	DUPLX ALTERNATING	65	100	TBD	7.5	208/3	25.2	1,2,3,4,5

1. PROVIDE A FRANKLIN ELECTRIC VDP VARIABLE DUPLX NEMA 3R PUMP CONTROL PANEL WITH ALARM, HOA SWITCHES W/PILOT LIGHTS AND DRY CONTACTS FOR REMOTE ALARM MONITORING, OR PRIOR APPROVED EQUAL.
2. PROVIDE 4-FLOAT SWITCHES WITH WEIGHTS (ZOELLER #10-1893) AND 4 POSITION FLOAT SWITCH BRACKET (Zoeller #10-0253), OR PRIOR APPROVED EQUAL.
3. PROVIDE PUMPS WITH 3" HORIZONTAL FLANGE OUTLET, 3" CHECK VALVE (ZOELLER #30-0160) AND 3" SLP-TO-SLP PVC BALL VALVE (ZOELLER #39-0221).
4. PROVIDE 3" HORIZONTAL FLANGE RAL SYSTEM (ZOELLER #39-0094) AND STAINLESS STEEL LIFTING CABLE.
5. POWER WIRING AND DISCONNECT BY ELECTRICAL CONTRACTOR.

### MECHANICAL SYMBOLS

- |                              |                              |                    |
|------------------------------|------------------------------|--------------------|
| —SAN— BELOW GRADE WASTE PIPE | —LP— LIQUEFIED PETROLEUM GAS | PRESSURE REGULATOR |
| ELBOW DOWN                   | SHUT OFF VALVE               | VENT PIPE          |
| ELBOW UP                     | CHECK VALVE                  |                    |

Designed By: JCO  
 Drawn By: JCO  
 Date: 6/18/2021  
 Version: 1

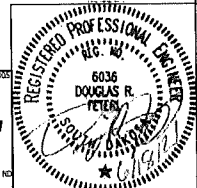
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Internal Job No:  
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Sheet Title:  
 LIFT STATION MECHANICAL PLAN

M2

WPE #001005  
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**MECHANICAL SPECIAL CONDITIONS**

**SPECIAL NOTE:**

The General Conditions, Supplementary Conditions, and the applicable provisions of General Requirements are hereby adopted and made part of Mechanical Work.

The Mechanical Drawings and the sections listed below constitute the Mechanical Construction portion of this project.

Mechanical Special Conditions  
Material and Methods  
Plumbing

**SCOPE OF WORK:**

The work in this section of the specification and the accompanying drawings consists of performing all labor and furnishing of all material and equipment necessary to install plumbing systems as indicated on drawings and specified herein, including minor items obviously necessary for complete and operating systems.

All work shall be executed in accordance with the Local, State, and other attending rules and regulations applicable to the trade affected and be subject to the inspection of these departments.

**DRAWINGS AND MEASUREMENTS:**

Contract drawings for mechanical work are in part diagrammatic, intended to convey the scope of work. Mechanical trades shall follow these drawings in laying out their work, consult general construction drawings to familiarize themselves with all conditions affecting their work, and shall verify spaces in which their work will be installed. Coordinate work with other trades as job conditions reasonably require.

Where job conditions require reasonable changes in indicated locations and arrangement, make such changes without extra cost to Owner.

The drawings are not intended to be sealed for roughing measurements not to serve as shop drawings.

The installation details, instruction and recommendations of the manufacturer of the product used, shall form the basis of the installation of the products for usage on this project except where definite and specific instructions are set forth therein or details are shown on plans.

**SHOP DRAWINGS:**

Shop Drawings must be submitted for all major equipment as set forth in each specification article.

Contractor may substitute manufactured equipment other than that schedule and/or indicated on plans with prior approval. Capacities will need to meet and/or exceed that indicated.

**MAINTENANCE AND OPERATING INSTRUCTIONS/AS-BUILT DRAWINGS:**

Prepare manuals with a complete set of equipment shop drawings used in the erection of the mechanical system. Also include one set of as-built drawings.

Information shall be bound in 8-1/2" x 11" hard cover, indexed, looseleaf binder. All material shall be properly identified with job name, date, and name and address of Contractor, Architect, and Engineer.

Portfolios shall be submitted to the Engineer for review of material and completeness prior to the final inspection, and when approved by the Engineer, portfolios will be turned over to the Owner at the final inspection.

**TESTING AND BALANCING:**

Tests shall be performed on the systems specified herein. Where required, perform such tests in the presence of local or state building inspection officials.

**Plumbing System:**

Soil, waste, and vent piping, etc., shall be tested in accordance with applicable state and local codes.

**Balancing:**

Properly balance pumped systems, etc. Do not exceed motor full load amperage rating.

**IDENTIFICATION:**

Identify all valves and equipment with identification tags made of polished brass or engraved plastic laminate tags, with each tag designating appropriate service and appropriate valve number.

**MATERIALS AND METHODS**

**PIPE AND FITTINGS:**

Provide pipe and fittings of type and material scheduled herein, of quantities shown on the drawings and as required to connect equipment.

**Sanitary Sewer:**

Hubless cast iron, service weight, centrifugally spun. Fittings hubless cast iron. Joints neoprene sleeve and stainless steel retaining band with double screw connectors, installed per manufacturer's recommendations.

OR, where permitted by Local Code:

PVC/DWV or ABS/DWV plastic Schedule 40 pipe, AST, 3034-SDR 35 or AST, D2661 and/or D2665, fittings standard weight DWV drainage type. Joints with solvent weld. Provide adapters for connections to cast iron pipe.

**LP Gas Buried in Ground:**

Piping shall be black steel, Schedule 40, plain ends for welding. Fittings welded, standard weight. Joints welding rods as recommended by ASTM. Tape all joints and mill wrap all pipe and fittings.

OR, where permitted by local code and local utility supplier.

Plastic pipe, tubing, and fitting shall meet ASTM D2513 type PE2406. Fittings shall be solvent cemented, heat fusion, compression couplings or flanges in accordance with the manufacturer's recommendation.

**VALVES:**

Provide valves in piping where indicated and provide shut-off valves in lines serving each piece of equipment.

**UNIONS:**

Make connections at each piece of equipment with unions or flanges located for quick/easy disconnect for maintenance.

**PIPE HANGERS, SUPPORTS, AND ANCHORS:**

Provide pipe hangers, supports and anchors conforming to manufacturer's standardization society specifications SP-58. Locate at changes in direction and at concentrated loads. Hanger design shall permit vertical adjustment and lateral movement to allow pipe expansion.

**PIPING INSTALLATION:**

**General:**

Pipe sizes shown on the drawings are nominal pipe sizes, not outside diameters. Use straight round pipe reamed to full size after cutting.

Fit piping for draining and arrange in group runs where feasible. Coordinate with all trades.

The right is reserved to authorize minor changes in pipe location to avoid conflicts with other trades at no additional cost to the Owner.

**Sanitary Waste Piping:**

All sanitary waste piping shall be properly pitched 1/8 inch minimum for 4 inch and larger. Piping shall be properly supported so that it will not sag and form pockets.

**LP Gas Piping:**

All gas piping shall be installed with plugged drip pockets at low points. Pipe shall be extended as shown on the plans to all gas equipment. The entire gas piping installation shall be in accordance with the latest requirements of the AGA and NBFU.

Valves or cocks and unions shall be installed on inlet pipe to all equipment, including safety valves where required or noted to be installed.

**ELECTRICAL:**

Except where units are specified as complete self-contained units with starters, internal relays, sequence, timing, and safety interlocks, all electric wiring and starters will be furnished and installed by the Electrical Contractor. All starters furnished will be with 3 overload devices.



PRESTON RANCH LIFT STATION

Designed By:	Checked By:
DWB	LCO
Drawn/Date:	Printed:
6/18/2021	6/18/2021
Reviewed By:	Scale:
	1"

Prepared For:  
Address:

Internal Job No:

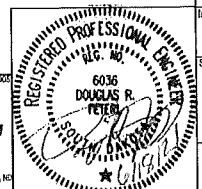
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Sheet Title:

LIFT STATION  
MECHANICAL PLAN

M3

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**PLUMBING**

**GAS PIPING:**

Make all arrangements with the local gas company for the installation of the LP gas service, including propane tank and first stage regulator (provided by the utility provider).

All gas piping shall be installed with plugged drip pockets at low points.

Valves or cocks and unions shall be installed on inlet pipe to all equipment.

**GAS PRESSURE REDUCING VALVE:**

Provide secondary gas pressure regulator where shown on plan.

**SEWAGE LIFT GRINDER PUMPS AND CONTROLS:**

Provide duplex sewage lift station pumps and controls where indicated, and of the type and capacity as scheduled on the plans. Pumps shall be as manufactured by Zoeller, Well, Liberty, or prior approved equal.

Pumps shall be constructed of cast iron shell with corrosion-resistant baked on epoxy powder coating, ductile iron impeller, 440 stainless steel cutter and plate, dual mechanical carbon/rotary ceramic/stationary seals, trimmed impeller, 304 stainless steel attaching hardware, and moisture detection system.

Motor shall be 3-phase with Class F insulation stator, thermal sensor with leads, cast iron /oil filled housing, upper and lower high carbon chromium steel ball bearings, and 25 ft. sensor and cable length (field verify). VFD's for single to 3-phase conversion by the electrical contractor

**Control Panel:**

Provide duplex electrical alternator control panel allowing single pump operation to handle normal flow capable of allowing the second pump to become operational in the event the water level continues to rise.

Control panel shall be a NEMA 4X water tight enclosure and shall include H.O.A. switch(es), alarm bell with silencing switch, OL reset buttons, as manufactured by Franklin Electric or approved equal VFD's with OL and LV protection, control circuit transformer(s). Unit shall include the following floats on alarms:

- High Water Alarm
- Pump On (Standby Pump)
- Pump On (Duty Pump)
- Pump(s) Stop

Wiring for power, including alarm indication for high level alarm when furnished, will be provided by the electrical contractor.

**Sequence of Operation:**

When the "Stop" and "Lead" floats are closed, Pump SP1 shall energize and the associated run light shall illuminate. Pump shall remain operational until the "Stop" float opens.

The next time the "Stop" and "Lead" floats are closed, the alternating circuit shall energize pump SP2 and the associated pump run light shall illuminate. Pump shall remain operational until the "Stop" float opens. This cycle shall repeat each time the fluid level rises and falls.

If the fluid level continues to rise after the pump SP1 has been energized, the "Lag" float shall close. When the "Lag" float has closed, the pump SP2 shall energize. Both pumps shall remain operational until the "Stop" float opens.

The alarm float shall be the third float causing an alarm to sound when the lead pump fails to operate or the rate of in-flow into the basin exceeds the capacity of one pump. When the alarm float is closed the following shall occur.

- The external high water light shall illuminate.
- The audible high water alarm shall sound.
- The auxiliary dry contacts shall close.

As the liquid level continues to rise, the fourth float shall close, energizing the lag pump. The lag pump and the lead pump shall remain energized until the "Stop" float opens.

The audible high water horn can be silenced by pressing the alarm silence button. When the "Alarm" float opens the external high water light, audible high water horn and dry auxiliary contacts shall be reset.

END OF MECHANICAL SPECIFICATION



PRESTON RANCH LIFT STATION

Designed By:	JCO
Drawn By:	JCO
Checked By:	6/18/2021
Reviewed By:	6/18/2021
Version:	1

Prepared For:

Address:

Internal Job No:

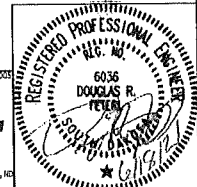
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Sheet Title:

LIFT STATION  
MECHANICAL PLAN

M4

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RAPID CITY, SD • SIOUX FALLS, SD • CASPER, WY • CEDAR RAPIDS, IA • DES MOINES, IA





## STAFF REPORT - REVISED

MUNICIPALITY: Town of Hermosa, 230 Main Street, Hermosa, SD 57744  
PROJECT: Preston Family Inc. – John Preston  
**Lone Coyote Subdivision**  
Hermosa, SD  
DATE: March 8, 2022  
PERMIT NUMBER: 2021-36  
REPORTED BY: Leah M. Berg, P.E.

---

### ITEMS:

- *This Staff Report is being Revised based on multiple items being submitted following comments and for clarification purposes and records.*

#### Conditions:

The subdivision is located in the newly annexed area in the NW area of the Town of Hermosa, located west of Highway 79. The Subdivision is within Custer County and Pennington County.

The provided plat includes Phase 1, Lots 1 through 23, Shorb Tract 1, Utility Lot and dedicated Right-Of-Ways.

An initial Staff Report was completed on a previous version of this Preliminary Plat by Interstate Engineering under Permit # 2021-18 dated June 17, 2021. That report is attached for reference.

#### Annexation:

Phase 1 of the Lone Coyote Subdivision, as submitted, is located in the Town of Hermosa Boundary.

#### Flood Plain:

Based on the flood map overlay, the proposed expansion is NOT located in any identified special hazard area (floodplain).

Zoning: This area will need to be re-zoned now that annexation is complete.

- The property owner will need to submit application for rezoning. This can be done concurrently with the preliminary plat process.

#### Water and Sewer service:

The Town's water and sanitary sewer mains have been extended to the property line on the Lone Coyote Subdivision.

- It is the contractor's responsibility to verify the existing mains and that size and supply will meet code requirements and properly serve the proposed lots and future home(s), design was not verified in this review.
- Water supply pressure and supply was not committed by the Town.

#### Access:

Access shall be from Highway 79 off an existing approach.

- Property owner shall be responsible to reclassify use of approach off of existing SD Highway 79 through the SDDOT.
  - *Permit through SDDOT has been submitted to the Town.*
- Phase 2 will require a second access point.
- Sweet Pea Lane will require temporary turn arounds at each dead end.

Comments:

1. No major drainage easements are shown on the attached plat.
  - a. *Revised Plat includes drainage easement areas*
2. Plat does not include a signature line for the Governing Board president.
  - a. *Revised Plat includes signature line*
3. Plat does not list all Lots being platted in the title/description.
  - a. *Revised Plat lists all lots*
4. County approval of road names Sweet Pea Road, Sweet Pea Lane, and Little Pine Court shall be required
5. Sewer report states that pumps and controls are being designed by West Plains Engineering. No plans were submitted from West Plains Engineering.
6. The sanitary sewer design report includes a list station with 2 – pump system with high/low level warnings and a backup generator. These are the minimum requirements for a lift station that will be taken over by the Town of Hermosa.
7. It is understood that the developer is proposing gravel roads and open ditch drainage ways. It is up to the Town is sidewalks and streetlights shall be provided.
  - a. *Letter from the Town has been submitted detailing that streetlights, paved roads, curb and gutter and sidewalks will not be required in the Residential Ag. Zoning within this subdivision.*

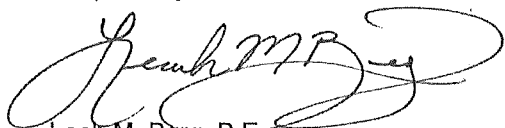
Recommendations – Permit 2021-36:

**Based on the application information, the permit complies with the Town of Hermosa’s requirements. Recommendation is to approve with the following stipulations:**

1. Custer County Register of Deeds and Pennington County Register of Deeds must review and accept plat format, legal description, and any other aspects of the plat document.
  - a. *This will be verified at final platting by the Owner if the plats are able to be recorded. It is recommended the Owner verify this ahead of final platting.*
2. *If Preliminary Plat is approved by the Hermosa Planning and Zoning Board, and the BOT, a mylar copy shall be provided by the Owner to the Board of Trustees for final review, approval and signature at the time of application for final platting.*
  - a. *Submitted mylar plats can be retained until the time of final platting by the Owner as long as there are no changes during construction.*
3. The Owner is responsible for submitting the plat to Custer County and Pennington County, paying applicable taxes and having the plat signed and recorded.
  - a. *This is a requirement of final platting, it is included herein so that it is clearly understood by the Owner.*
4. All fees to be paid prior to issuing permit.
5. Plans shall be submitted to SDDANR for approval, this approval shall be provided to the Town prior to construction.

- U
- a. *SDDANR letter is attached and State requested items are required to be completed by the Owner as outlined in the letter.*
  6. No manholes shall be allowed to be spaced over 400' and the submitted plans have the section leading to the lift station at a distance of 519.5'.
    - a. *This has been corrected in the Phase I revised plan sheet attached*
    - b. *Future Phases show spacing more than 500', it is assumed that this will be revised once those phases commence in design.*
  7. It shall be required that the Engineer of Record Provide Construction Administration Services on this project and verify through Observation Reports that all underground utilities are installed per plan. The agreement between Renner Associates and the development group should be provided to ensure services will be provided.
    - a. *Renner will be providing weekly Construction Administration (CA) services see attached email*
  8. Applicable inspections must be performed by the Town of Hermosa
  9. Compaction test results for roadways and utility trenches shall be provided by an independent testing agency/firm and test results shall be made available to the Town as completed throughout construction.
    - a. *No information has been provided.*
  10. All construction must meet applicable code requirements as well as Town Ordinance requirements weather stated in this Staff Report of not.
  11. Lift Station is located on the Utility Lot, clarify if this Lot shall be dedicated to the Town.
    - a. *It has verbally been clarified that the Utility Lot will be dedicated to the Town.*
  12. Lift station pumps and control details shall be provided to the Town by West Pains Engineering prior to the lift station being installed.
    - a. *Plans have been provided and are attached.*
  13. Contractor's License with the Town of Hermosa shall be required for all contractors working on the project.
  14. As-Builts shall be submitted in AutoCAD and PDF format prior to final plat approval.
  15. Warranty of two (2) year term upon Lift Station being on-line and active shall be provided by the Owner to the Town.

Respectfully submitted,



Leah M. Berg, P.E.

[LBerg@proacesinc.com](mailto:LBerg@proacesinc.com)

END OF STAFF REPORT

# Memorandum of Agreement

**Project:** Lone Coyote Subdivision Phase I, Hermosa, SD

**Owner:** Preston Family Inc.

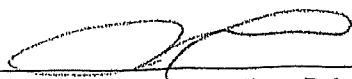
**Engineer:** Renner Associates, LLC, 3231 Teewinot Dr. Rapid City, SD

**Engineer's Project No.:** 3030

**Contractor:**

**This Memorandum of Agreement applies to:** General Warranty

The undersigned hereby guarantees all of the work required and performed on the Project, as listed above, will have a two (2) year warranty. This warranty shall commence once the lift station is on-line and operational.

  
Accepted by Owner (Sign, Print, Title)

4/9/2022  
Date

The date of Agreement as shown below is the date when the lift station is on-line and operational:

\_\_\_\_\_  
Date of Agreement

\_\_\_\_\_  
Accepted by Owner (Sign, Print, Title)

\_\_\_\_\_  
Date

\_\_\_\_\_  
Accepted by Town of Hermosa (Sign, Print, Title)

\_\_\_\_\_  
Date



**RENNER  
ASSOCIATES, LLC**  
CIVIL ENGINEERING • LAND SURVEYING

March 2, 2022

Civil Engineer:  
Renner & Associates, LLC  
3231 Teewinot Drive  
Rapid City, SD 57703

Owner:  
Preston Family, Inc  
Attn: John Preston  
22760 Stonemeade  
Rapid City, SD 57701

Project Name: Preston Ranch Subdivision Construction  
Project Location: Murphy Road, Pennington County, SD

**Project Description**

This proposal is to complete onsite construction administration improvements. The scope of construction administration is as

**Scope of Services:**

- Attend progress meetings during construction.
- Weekly site observations shall be conducted during sanitary sewer main and road construction.
- Observation reports for the site visits will be recorded verification of construction standards
- Review of pay requests, shop drawings and contract
- Substantial and Final walkthroughs will be complete final completion of the project.

**Engineering Fee:**

Compensation for engineering and survey services are based on all applicable taxes and reimbursable expenses.

Any additional services outside the scope listed shall be charge standard hourly fee.

Survey .....

**Not included in our proposal:**

- Engineering services
- Survey services



March 2, 2022

Civil Engineer:  
Renner & Associates, LLC  
3231 Teewinot Drive  
Rapid City, SD 57703

Owner:  
Preston Family, Inc  
Attn: John Preston  
22760 Stonemeadow Rd.  
Rapid City, SD 57702

Project Name: Preston Ranch Subdivision Construction Administration  
Project Location: Murphy Road, Pennington County, SD

**Project Description**

This proposal is to complete onsite construction administration for the Lone Coyote Subdivision improvements. The scope of construction administration is as follows:

**Scope of Services:**

- Attend progress meetings during construction.
- Weekly site observations shall be conducted during the installation of water main, sanitary sewer main and road construction.
- Observation reports for the site visits will be recorded and sent out to the Owner for verification of construction standards
- Review of pay requests, shop drawings and contractor requests shall be completed
- Substantial and Final walkthroughs will be completed with Owner and City prior to final completion of the project.

**Engineering Fee:**

Compensation for engineering and survey services are based on a Not to Exceed contract plus all applicable taxes and reimbursable expenses.

Any additional services outside the scope listed shall be charged at a Renner & Associates standard hourly fee.

Survey ..... \$10,080.00

**Not included in our proposal:**

- Engineering services
- Survey services

**Additional Provisions**

If survey services covered under this Agreement have not been completed within 1 year of the signed date, through no fault of the Civil Engineer, the Engineer reserves the right to review and adjust compensation if necessary.

This Agreement and attached Terms and Conditions constitute the entire agreement between the Owner and Engineer for services rendered. Engineering services will begin upon receiving a signed contract.

**Acceptance:**

Renner Associates requests written acceptance of this fee proposal. Please indicate your acceptance of this proposal by signing below and returning a copy to us. Your signature represents that you are authorized to accept on behalf of the Client.

Thank you for this opportunity to offer our services. Please call if you have any questions or if we need to make adjustments to the scope.

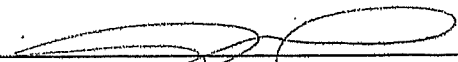
Sincerely,



Renner Associates, LLC  
Ian Garduna, PE

**Acceptance and authorization to proceed:**

Name/Position John Preston - owner

Signature 

Date 4/6/2022

# Town of Hermosa

9c

PO Box 298 • 230 Main Street • Hermosa, SD 57744  
Phone (605) 255-4291 • Fax (605) 255-4094  
Email: [town@hermosasd.com](mailto:town@hermosasd.com)

Is Property in the Flood Plain? Yes  No  Zoning District \_\_\_\_\_  
\*\*\*IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT\*\*\*

## DIGGING/GRADING PERMIT

DATE 4-15-2022

PERMIT # 2022-15

Receipt # _____	Cash _____	Check # _____	Amount _____	(\$50.00) up to 100CY
				\$20.00 each additional 100 CY

All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not presume to give authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other local law or ordinance regulating construction or the performance of construction in the Town of Hermosa.

Sketch and/or describe work: (use separate sheet, or attach grading plan) (see proposed route maps)

Will grading operation be located in the floodplain? \_\_\_\_\_ Yes  No

If yes, have ordinance requirements been met? N/A Yes  No

Will drainage patterns be altered? \_\_\_\_\_ Yes  No

Will grading operation take place in a geologically hazardous area? \_\_\_\_\_ Yes  No

If yes, have proper precautions been taken? N/A Yes  No

Quantity of Grading or Excavation: N/A Cubic Yards Area to be disturbed by proposed work: N/A acres

Identify types of erosion control to be applied: as specified by Town of Hermosa

Source/Destination of materials: \_\_\_\_\_

Provide traffic control per Manual on Uniform Traffic Control Devices.

Hard route: \_\_\_\_\_

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached? \_\_\_\_\_ Yes \_\_\_\_\_ No  N/A

**This permit will expire one year from date of issuance.**

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Name Mt. Rushmore Telephone Company

Lot Address \_\_\_\_\_

Mailing Address PO Box 669 Keystone SD 57751 Email trinityrapp@hcn.net

Legal Description see proposed map

Telephone # 605-666-4411 Cellphone # 605-390-1188

Contractor Mt. Rushmore Telephone Co / CPE Phone # 605-666-4411

**Contractors must all be registered with the Town of Hermosa**

Relationship to Property: N/A Owner N/A Contractor N/A Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

[Signature] \_\_\_\_\_ Date 4-15-2022

Parcel # \_\_\_\_\_  
OFFICE USE ONLY

PLANNING AND ZONING COMMISSION <input type="checkbox"/> Approved <input type="checkbox"/> Denied NAME: _____ TITLE: _____ SIGNATURE: _____ DATE: _____ APPLICATION FEE: \$50.00 DATE PAID: _____	HERMOSA BOARD OF TRUSTEES <input type="checkbox"/> Approved <input type="checkbox"/> Denied NAME: _____ TITLE: _____ SIGNATURE: _____ DATE: _____ DATE PERMIT ISSUED: _____
--	---



# Mt. Rushmore Telephone Company

April 8, 2022

Town of Hermosa  
PO Box 298  
230 Main St  
Hermosa, SD 57744

RE: Utility Installation

Dear Town of Hermosa,

Please find enclosed for your review and acceptance documents providing details regarding a proposed project to upgrade an aging copper facility with an underground fiber optic telecommunications line. We have included permits submitted to the SDDOT and Custer County so you have necessary details regarding the project. If the Town of Hermosa has a specific utility form to complete, for approval, we will be happy to complete.

These facilities are necessary to meet our Federal and/or State requirements to deliver broadband service to unserved and underserved areas. We are anticipating construction of the facilities would begin this Summer.

With this letter, we have included the following documents:

- Application for Utility Permits – SDDOT and Custer County
- Map showing the route for the underground fiber optic cable including necessary bores. The highlighted areas on the map will be the 2022 construction.

This project includes areas/driveways off of SD Highway 79. The map attached identifies these areas/roads. We are aware that SDDOT, Custer County, possible road district, and/or private approval is/may be required.

If you have any questions regarding this information, please feel free to call our local office at 605-666-4411.

Sincerely,

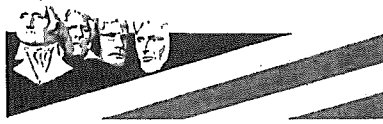
Trinity Rapp  
Mt. Rushmore Telephone Company

Enclosures



*Helping People Communicate Since 1951*

227 South Main Street, P.O. Box 800, Clara City, Minnesota 56222  
First and Franklin, Keystone, South Dakota 57751



# Mt. Rushmore Telephone Company

April 6, 2022

Custer County Highway Department  
25365 US Highway 385  
Custer, SD 57730

RE: Application for Utility Permit

Dear Custer County Highway Department,

Please find enclosed for your review and acceptance an application to upgrade an aging copper facility with an underground fiber optic telecommunications line. We are anticipating construction of the facilities would begin this Summer.

These facilities are necessary to meet our Federal and/or State requirements to deliver broadband service to unserved and underserved areas.

With this letter, we have included the following documents:

- Application for Utility Permit
- Map showing the route for the underground fiber optic cable including necessary bores. The highlighted areas on the map will be the 2022 construction.

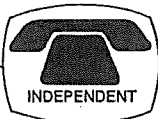
This project includes areas/driveways off of SD Highway 79. The map attached identifies these areas/roads. We are aware that SDDOT, Town of Hermosa, road district, and/or private approval is/may be required.

If you have any questions regarding this Application, please feel free to call our local office at 605-666-4411.

Sincerely,

Trinity Rapp  
Mt. Rushmore Telephone Company

Enclosures



*Helping People Communicate Since 1951*

227 South Main Street, P.O. Box 800, Clara City, Minnesota 56222  
First and Franklin, Keystone, South Dakota 57751

APPLICATION FOR OCCUPANCY  
ON  
THE RIGHT OF WAY OF COUNTY HIGHWAYS

TO: The Board of Custer County Commissioners, Custer, SD 57730

Application is made by Mt. Rushmore Telephone Co. for a  
fiber optic cable

pipeline on Highway Number see attached map in Section 30, 19, & 20, Township 2

Range 8, Custer County, South Dakota.

A sketch showing the location is attached.

The following information is pertinent to the proposed installation:

1. Intended Usage To replace an aging copper facility & provide Fiber optic svc.
2. Pipe Size and Type 48, 12, 4 Fiber + 1/4 innerduct where noted.
3. Depth to be Installed 24" - 48"
4. Method of Installation Cable Plow, Backhoe, directional boring machine

The highway ditch and roadway will be properly restored to their original condition. Necessary safety precautions will be taken during construction work. A marker sign will be installed where appropriate. Pipe will be moved or rearranged if required in the future at no expense to the County. This installation will comply with the National Safety Code.

Recommended for Approval:

Custer County Highway Superintendent

Approved:

Board of County Commissioners

Submitted: [Signature] Date 4-7-2022

Name Mt. Rushmore Telephone Co.

Address 320 1st St / PO Box 669

Keystone SD 57751

Phone # 605-666-4411



# Mt. Rushmore Telephone Company

April 6, 2022

SD Department of Transportation  
Rich Zacher  
PO Box 431  
Custer, SD 57730

RE: DOT 200 Application for Utility Permit

Dear Mr. Zacher,

Please find enclosed for your review and acceptance an application to upgrade an aging copper facility with an underground fiber optic telecommunications line. We are anticipating construction of the facilities would begin this Summer.

These facilities are necessary to meet our Federal and/or State requirements to deliver broadband service to unserved and underserved areas.

With this letter, we have included the following documents:

- DOT 200: Application for Utility Permit
- Map showing the route for the underground fiber optic cable including necessary road bores. The highlighted areas on the map will be the 2022 construction.

This project includes areas/driveways off of SD Highway 79. The map attached identifies these areas. We are aware that Town of Hermosa, Custer County, road district, and/or private approval is/may be required.

If you have any questions regarding this Application, please feel free to call our local office at 605-666-4411.

Sincerely,

Trinity Rapp  
Mt. Rushmore Telephone Company

Enclosures



*Helping People Communicate Since 1951*

227 South Main Street, P.O. Box 800, Clara City, Minnesota 56222  
First and Franklin, Keystone, South Dakota 57751



**DOT 200: Application for Utility Permit (9/15)**  
 South Dakota Department of Transportation, Office of Operations Support  
 700 E. Broadway Ave., Pierre, SD 57501-2586  
 Questions? See bottom of form for Area Engineer phone numbers.

Highway no.  County  Approximately  miles N  S  E  W

from  for construction of   
(city or well-defined point) (type of utility facility)

Begin legal description  End legal description

Intended usage or rating

Cable size/type  Casing size/type

Outside pipe diameter  Maximum pipeline operation pressure

Minimum depth, cable or pipeline (under rural highway 48")  (under curb/gutter 24")  (all other areas 36")  (overhead)

Method of installation

Approximate construction dates: Start  Finish

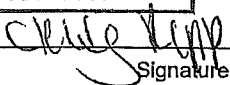
Special conditions

I, the undersigned, request permission to construct and maintain a utility facility on public right of way at the above location and as shown on the attached layout sheet and in accordance with provisions of Administrative Rules of South Dakota (ARSD) 70:04:05. In consideration for this permission, I agree to abide by all conditions of said rules, and in addition, the following:

1. This Utility Permit does not replace any other permit, license or other approval that may be required by any other entity holding a property interest in the right of way, including but not limited to any tribal government, the Office of School and Public Lands, the U.S. Forest Service and the Bureau of Indian Affairs. The issuance of this Utility Permit does not relieve the applicant of the obligation to obtain any other approvals that might be required for use of the highway right of way for utility purposes. The applicant is solely responsible for investigating whether additional approval is required and complying with any other applicable requirements. If the applicant fails to secure all necessary approvals or comply with all applicable requirements, this permit is of no effect whatsoever, and the South Dakota Department of Transportation (SDDOT) may, at the applicant's sole expense, cause the immediate removal of the utility facilities.
2. To furnish all materials, labor, incidentals and pay all costs involved with the construction and maintenance of the utility facility. To perform approved open-cut trench operations in accordance with current SDDOT Open Cut Method of Utility Installation or Repair, ARSD 70:04:05, Appendix A. To restore any damaged portions of the roadway and right of way to equal or better conditions than existed prior to beginning work covered by the permit. To not install a utility over the top of any highway drainage structure. To permanently mark above-ground pedestals/facilities with metal flags or markers located at least 48" above ground.
3. If deemed necessary by the SDDOT, to move or alter the utility installation in any way due to maintenance or highway construction within its present right-of-way width, the alteration will be accomplished by the owner without cost to the State.
4. To provide protection to highway traffic during construction and maintenance by use of proper signs, barricades, flag persons and lights as prescribed in the current edition of the Manual on Uniform Traffic Control Devices.
5. Workers are required to wear high-visibility safety apparel intended to provide conspicuity during both daytime and nighttime usage, and meeting the Performance Class 2 or 3 requirements of the ANSI/SEA 107-2004 publication "American National Standard for High-Visibility Safety Apparel and Headwear."
6. To indemnify and hold the State of South Dakota, the SDDOT, its officers, agents and employees harmless, from and against any and all actions, suits, damages, liability or other proceedings of any kind or nature brought because of any injuries or damage received or sustained by any person or property on account of the use or occupancy of highway right of way designated in this application.

Company  Date  Email address

Address  City  State  Zip  Phone

By  Print or type  Title

TO BE COMPLETED BY THE SOUTH DAKOTA DEPARTMENT OF TRANSPORTATION

Project \_\_\_\_\_ Milepost \_\_\_\_\_ Maintenance Unit \_\_\_\_\_

1. Prior to commencing construction and upon completion of work the applicant shall notify \_\_\_\_\_  
\_\_\_\_\_ at \_\_\_\_\_, Phone \_\_\_\_\_

2. Special conditions \_\_\_\_\_

3. Failure to construct and maintain the utility facility in accordance with the provisions of this permit will automatically render this permit null and void, and constitute grounds for its removal and/or full restoration of the site at the applicant's expense.

Recommended \_\_\_\_\_ Date \_\_\_\_\_  
City Representative \_\_\_\_\_ Bridge/Road Design \_\_\_\_\_ Date \_\_\_\_\_

Approved \_\_\_\_\_ Date \_\_\_\_\_  
Area Engineer \_\_\_\_\_

Approved \_\_\_\_\_ Date \_\_\_\_\_  
Region Engineer \_\_\_\_\_

This permit to construct and maintain a utility facility is granted subject to all conditions as herein stated.

**Instructions for DOT-200: Application for Utility Permit**

**Applicant**

- 1. Complete all items in upper portion of form. Please print or type.
- 2. Prepare a separate sheet showing details of the proposed installation. The drawings should include:

- Location of the facility dimensioned to the highway centerline and to the right-of-way line. Show all section lines and approaches that will be crossed. Show legal description on drawing, i.e., section, township and range for rural areas, and blocks and lots in urban areas. Show box culverts, bridges and any other permanent features. No utility installation will be allowed on top of drainage pipes.
- Installations on bridges must include details of method of attachment. Allow two (2) additional weeks for approval of the permit.
- Utility company name, a North arrow, sheet number and total number of sheets if more than one. Use one side of a sheet only.
- Any other pertinent information.

3. Sign and submit one (1) copy of the request and one (1) copy of the attachment to the SDDOT Area Engineer for processing. To find the Area Engineer for your location, see "Area Engineer Phone Numbers, Addresses" below.

**Area Engineer Phone Numbers, Addresses and Approximate Coverage Area by County**

Aberdeen, (605) 626-7885, PO Box 1767, 57402-1767 : Brown, Day, Edmunds, McPherson and Marshall

Watertown, (605) 882-5166, 5000 9th Ave. SE, 57201: Brookings, Codington, Deuel, Grant, Hamlin and Roberts  
Huron, (605) 353-7140, PO Box 940, 57350-0940: Beadle, Clark, Hand, Hyde, Kingsbury and Spink

Mitchell, (605) 995-8120, PO Box 1206, 57301-7206: Aurora, Brule, Buffalo, Charles Mix, Douglas, Davison, Gregory, Hanson, N. and W. Hutchinson, Jerauld, McCook, W. Miner and Sanborn

Sioux Falls, (605) 367-5680, 5316 W. 60th St. N. 57107-6465: Lake, N. Lincoln, NE Miner, Minnehaha, Moody and NE Turner

Yankton, (605) 668-2929, 1306 W. 31st St., 57078-5322: Bon Homme, S. Charles Mix, Clay, SE Hutchinson, S. Lincoln, SW Turner, Union and Yankton

Pierre, (605) 773-5294, 104 S. Garfield Ave., 57501: Haakon, Hughes, I-90 north of Jackson and Jones. Stanley, Sully and Potter

Winner, (605) 842-0810, PO Box 771, 57580-0771: Bennett, Lyman, Mellette, Todd, Tripp and I-90 south in Jackson and Jones

Mobridge, (605) 845-3844, PO Box 488, 57601-0488: Campbell, Corson, Dewey, Walworth and Ziebach

Rapid City, (605) 394-2248, PO Box 1970, 57709: W. Jackson, I-90 south in Lawrence, S.D. 34 south in Meade and Pennington

Belle Fourche, (605) 892-2872, 10921 S.D. Highway 34, 57717-6152: Butte, Harding, N. Lawrence, N. Meade and Perkins  
Custer, (605) 673-4948, PO Box 431, 57730-0431: Custer, Fall River, Oglala Lakota, and SW Pennington

**For South Dakota Department of Transportation Use Only**

**Area Engineer**

1. Review request and complete lower portion of form.
2. If request is not approved, return request to applicant and state reason for denial.
3. Obtain city recommendation and SDDOT Bridge/Road Design approval when applicable.
4. Forward to Region Engineer only if application location is within Interstate right of way.
5. If request is approved, forward request and all attachments to the Permit Manager, Office of Right of Way.

**Permit Manager**

1. Review request and if denied, return to applicant stating reason for denial, with copy to Area Engineer.
2. If request is granted, issue permit and send copies of the permit and attachment as follows:

- Area Engineer, two (2) copies
- Applicant, one (1) copy
- Record Center, original.

To Pg. 7

22

Lindsay Loop  
48

24518

20N/24

Shor's Rd.

24-A&B/10

20N/24  
Page 11

48

Natural Gas line

Shor's Rd.

24-279

24-A/30

24-A/40

24-A/50

24-A&B/20

48

48

Hwy. 79

48

48

24493

23-A/50

48

23-A/40

20N/24

John Preston development  
(Lone Coyote subdivision)  
Initially 25 lots.

Google Earth  
To Pg. 2

80  
79



To Pg. 2

Shorb R.

24-B/20

48

S.D. D.O.T.

14313

Hermosa Seventh day Adventist Church

79

23-A/70

6

48

Broken Spoke Pl.

14307

6

48

48F

48

14305

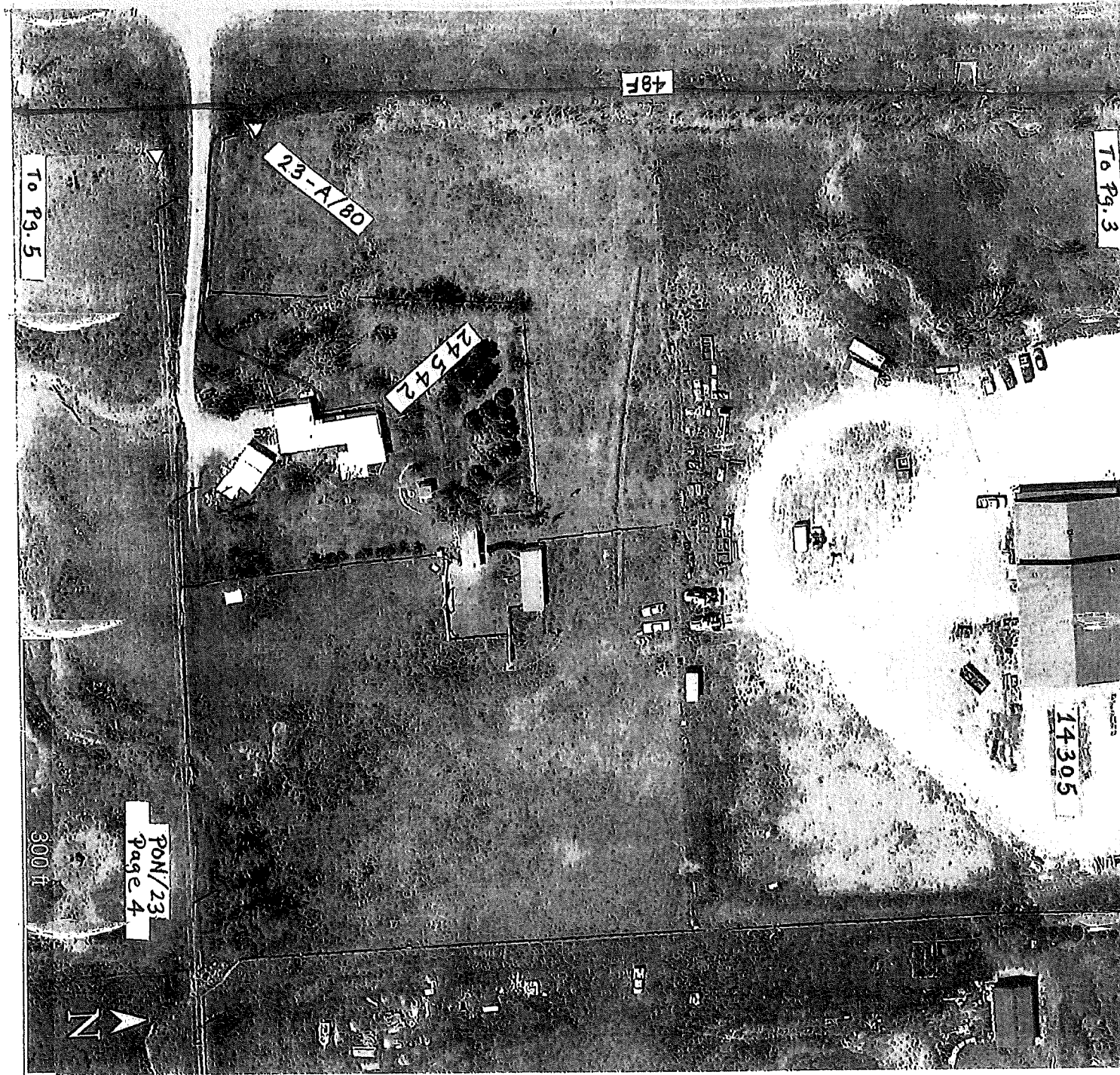
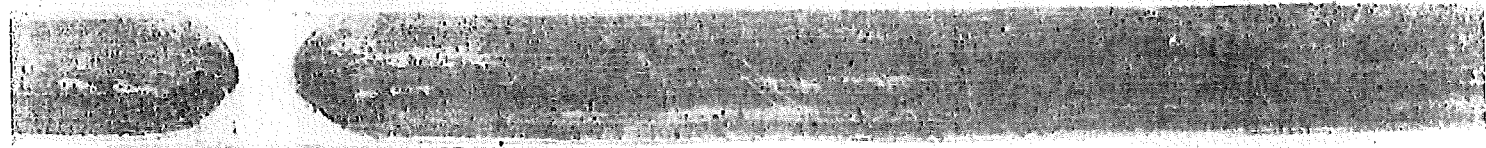
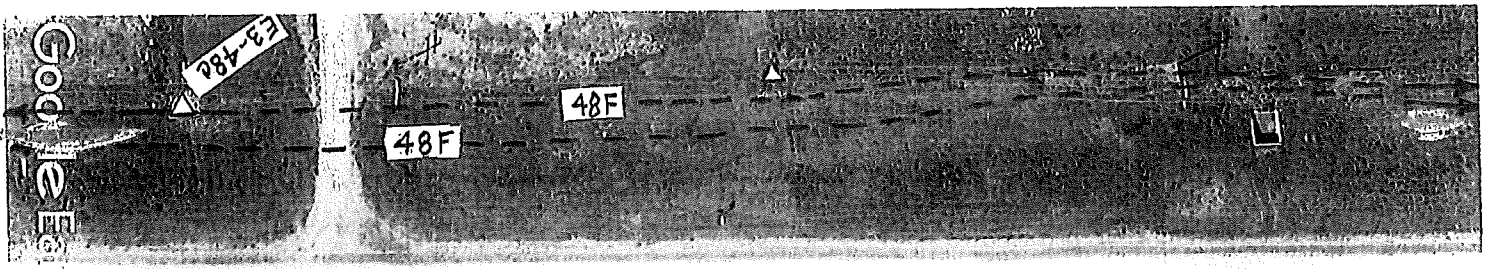
PON/23  
Page 3

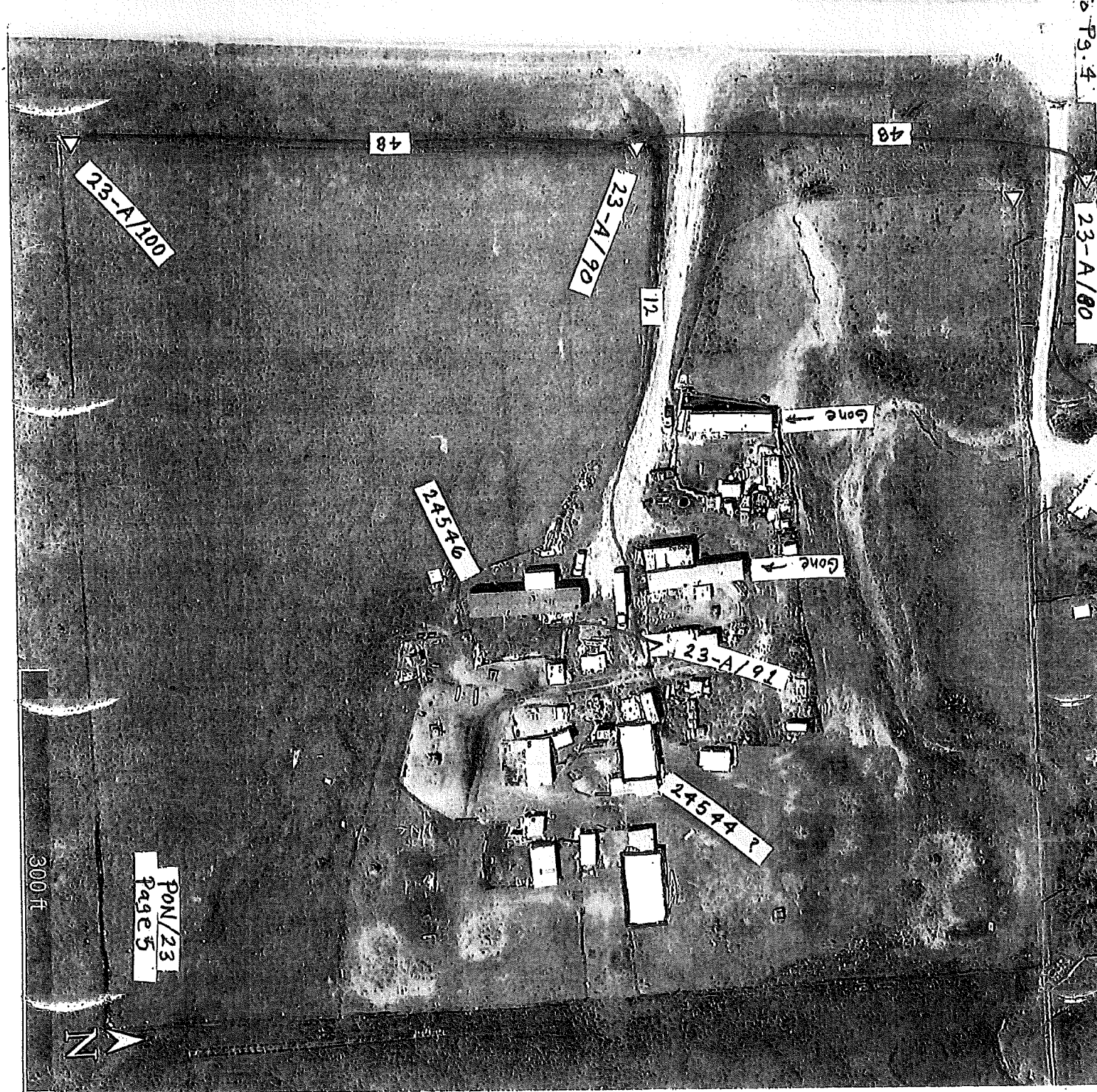
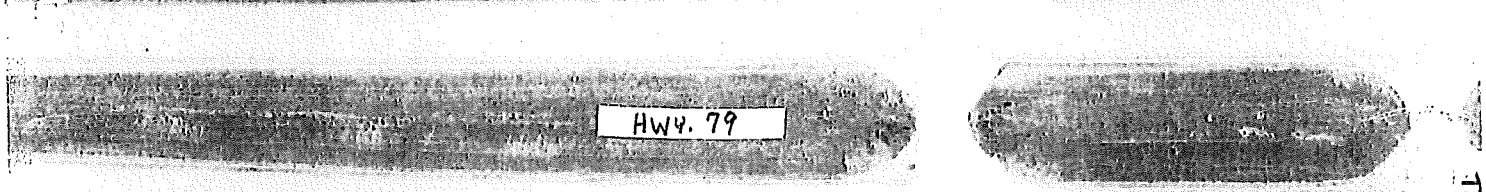
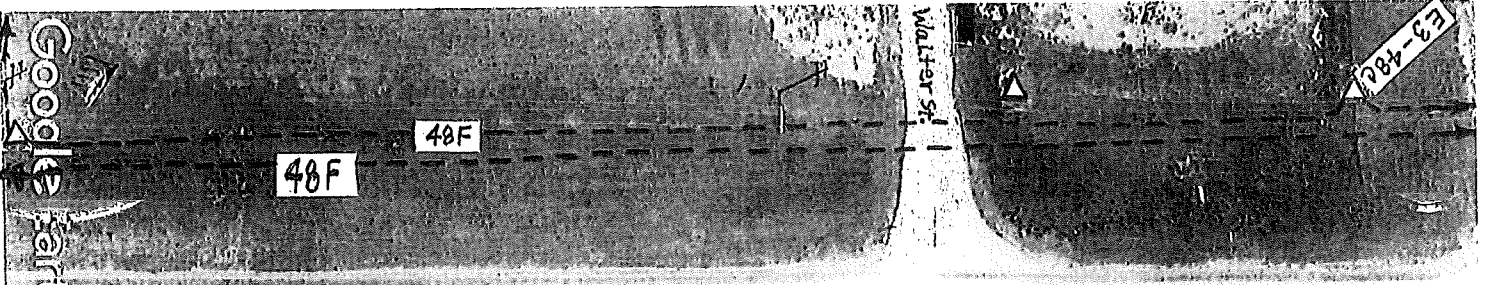


Google Earth

To Pg. 4

300 ft





48F

79

79

48

48

23-A/50

23-A/60

24493

Pav Pad: Areas

23-A/40

48

24506

48

23-A/30

24502

Combo Ln

23-A/20

To Pg. 1

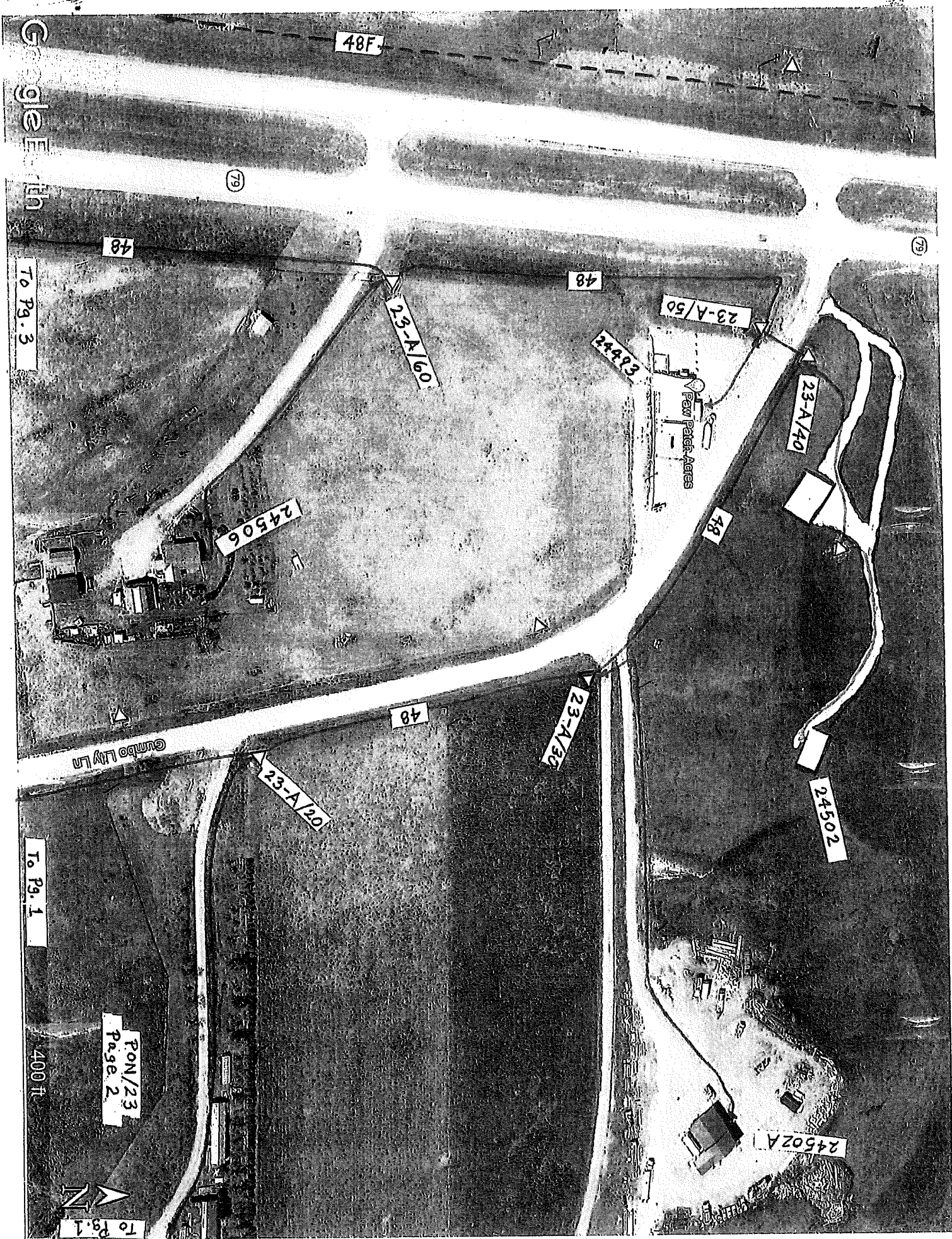
PON/23  
Page 2

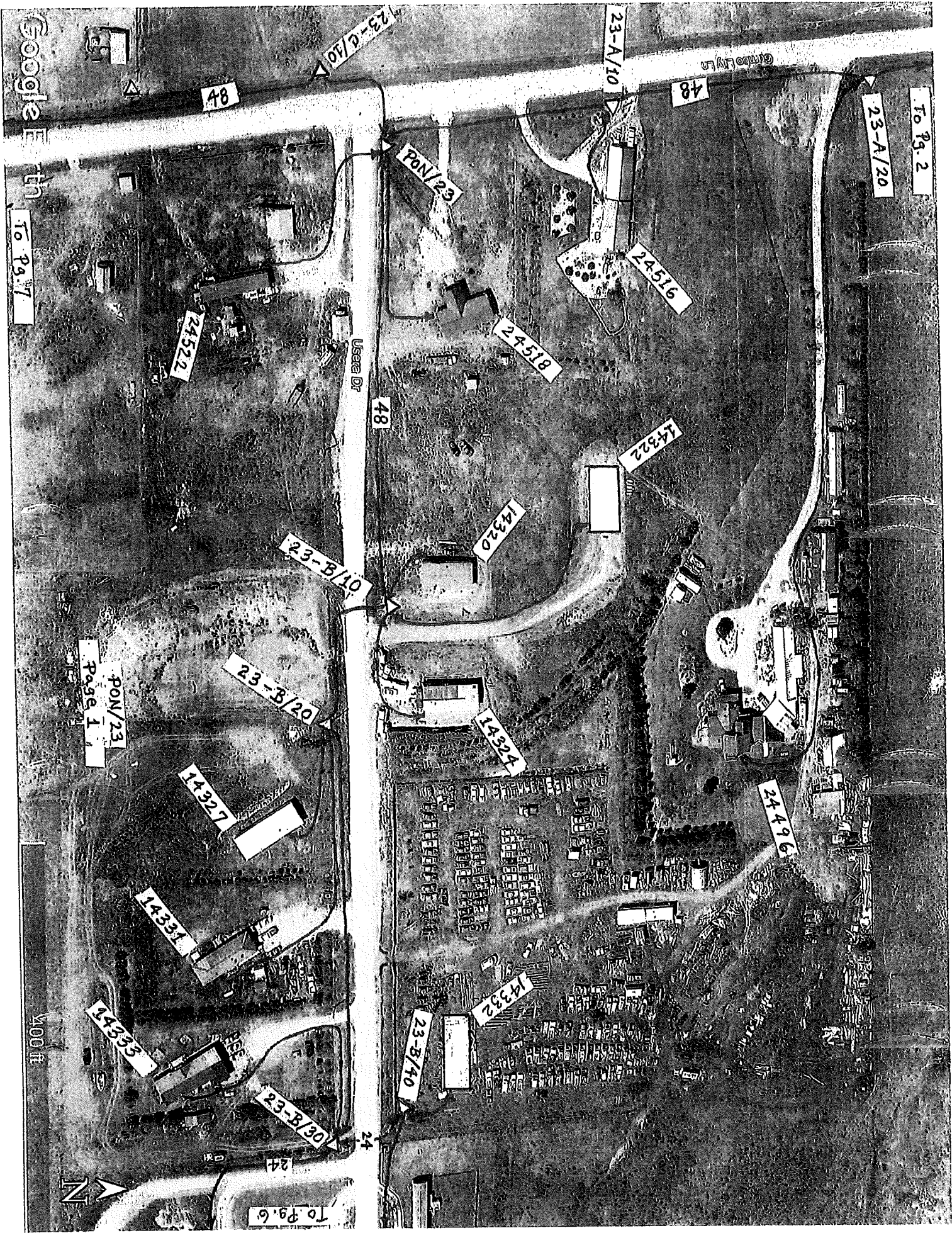
400 ft

24502A



To Pg. 1





Google Earth

To Pg. 7

PON/23  
Page 1

MOBILE



To Pg. 6

To Pg. 1

48

Usara Dr

23-C/10

PON/23

23-B/10

To Pg. 1

S.D. Dept. of Transportation

48

24522

Church

24531

23-C/20

Cambo Ln

23-C/30

PON/23  
Page 7

24539

48



Google Earth

To Pg. 8

300 ft

To Pg. 7

24539

48

23-C/40

23-C/50

24556

Gumbo Ln Lt  
48

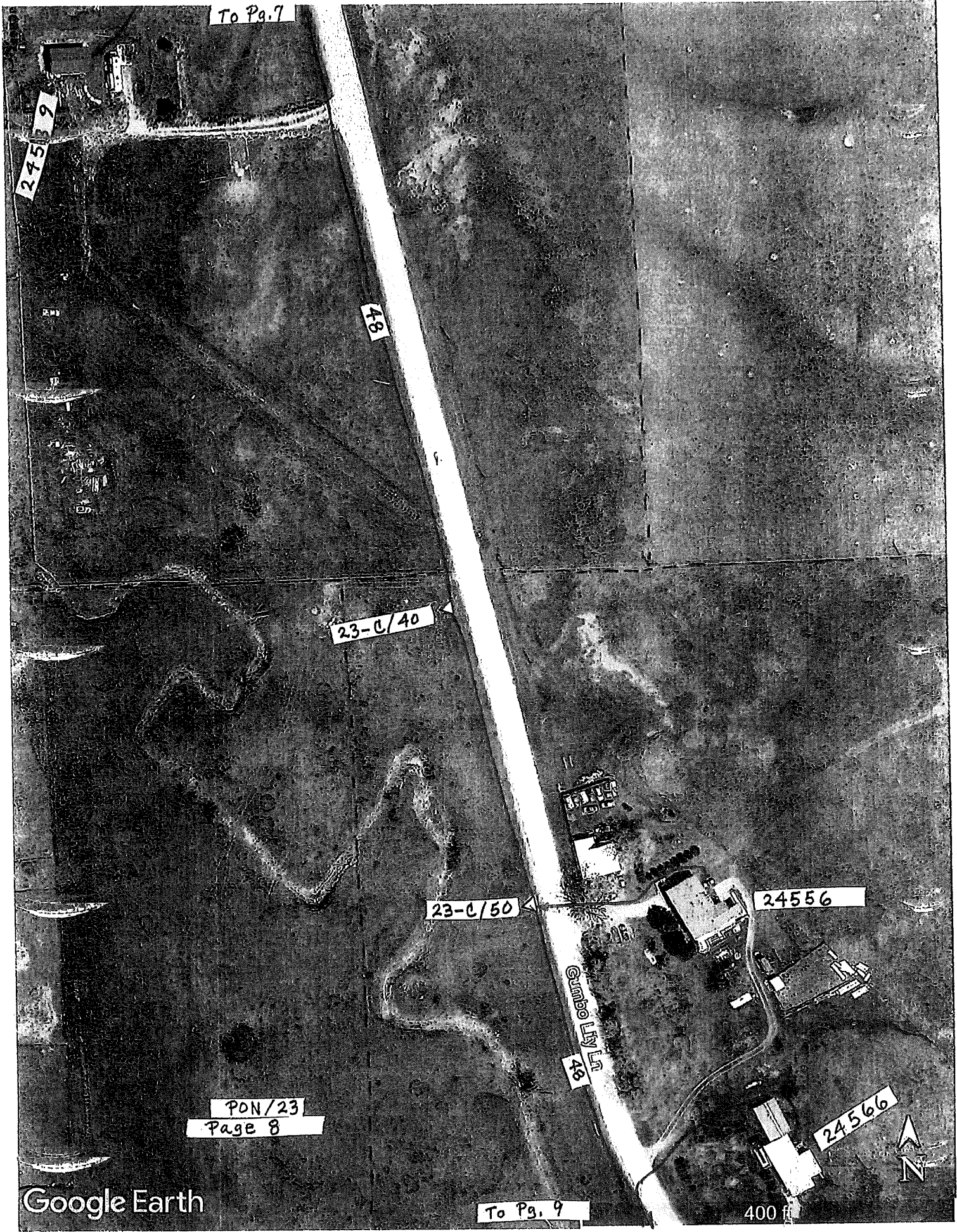
24566

PON/23  
Page 8

Google Earth

To Pg. 9

400 ft



To Pg. 8

23-C/50

24556

Gumbo Ln

48

24566

23-C/60

24572

24567

23-C/70

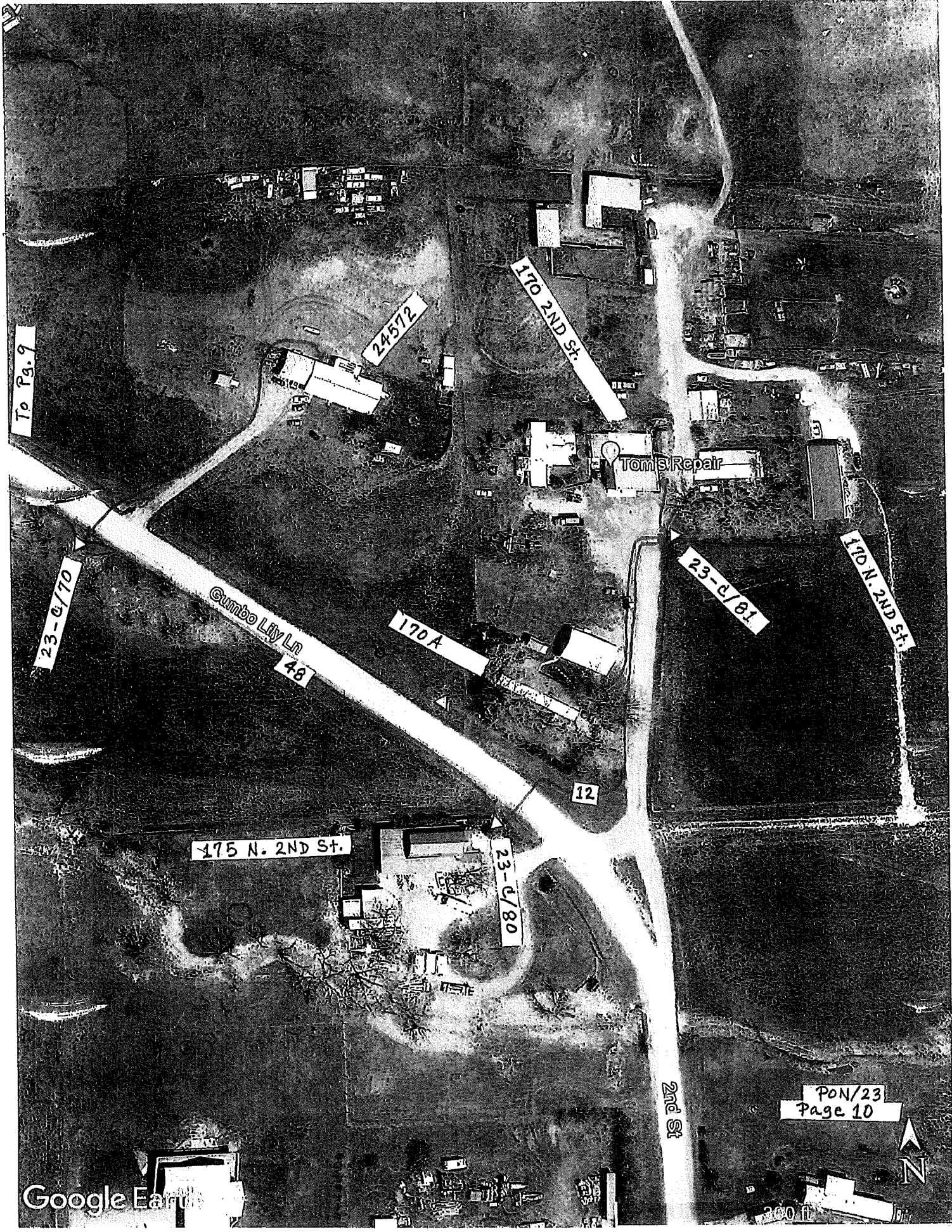
To Pg. 10

PON/23  
Page 9

Gumbo Ln

48





To Pg. 9

24572

170 2ND St.

Tom's Repair

23-C/70

Gumbo Lily Ln  
48

170A

23-C/81

170 N. 2ND St.

12

175 N. 2ND St.

23-C/80

2nd St

PON/23  
Page 10





25-A/22

25-A/21

24547  
Battle Creek Agency  
President Head States

24

24545

4F

25-A/20

Walter St.

Walter St.

48

48

48

25-A/10

Marie St.  
PON/25

Hwy. 79

30

23



Google Earth

Google Earth

NOTE: Attempt to rod existing I.D.'s that have cable(s) in them. Set R.H. at 26-B/20 and BD5 at 26-B/10.

To Pg. 3

Main St.

140

720

130

PON/24

26-B/10

NOTE: BFO48 (South) & BFO 18 (North) in Same I.D.

48

1 1/4" I.D.

12

1 1/4" I.D.

25 Heartland Express, SD-79

PON/26 Page 1

200 FT

48

26-B/20

1 1/4" I.D.

48

NOTE: BFO48 (North) in I.D.

Tid St

To Pg. 2



Farmhouse Vintage & Design

Tenaya St.

NOTE: Attempt to rod existing I.D.s, that have cable(s) in them. Set H.H. at Hwy. 79/W. Main St. and BDS south of G.W.T.C hut.

Hwy. 79

26-B/30 Existing handhole

PON/26 Page 2

25 HeartLand Express

Corner Pantry Travel Center

NOTE: BF048 (North) in I.D.

79

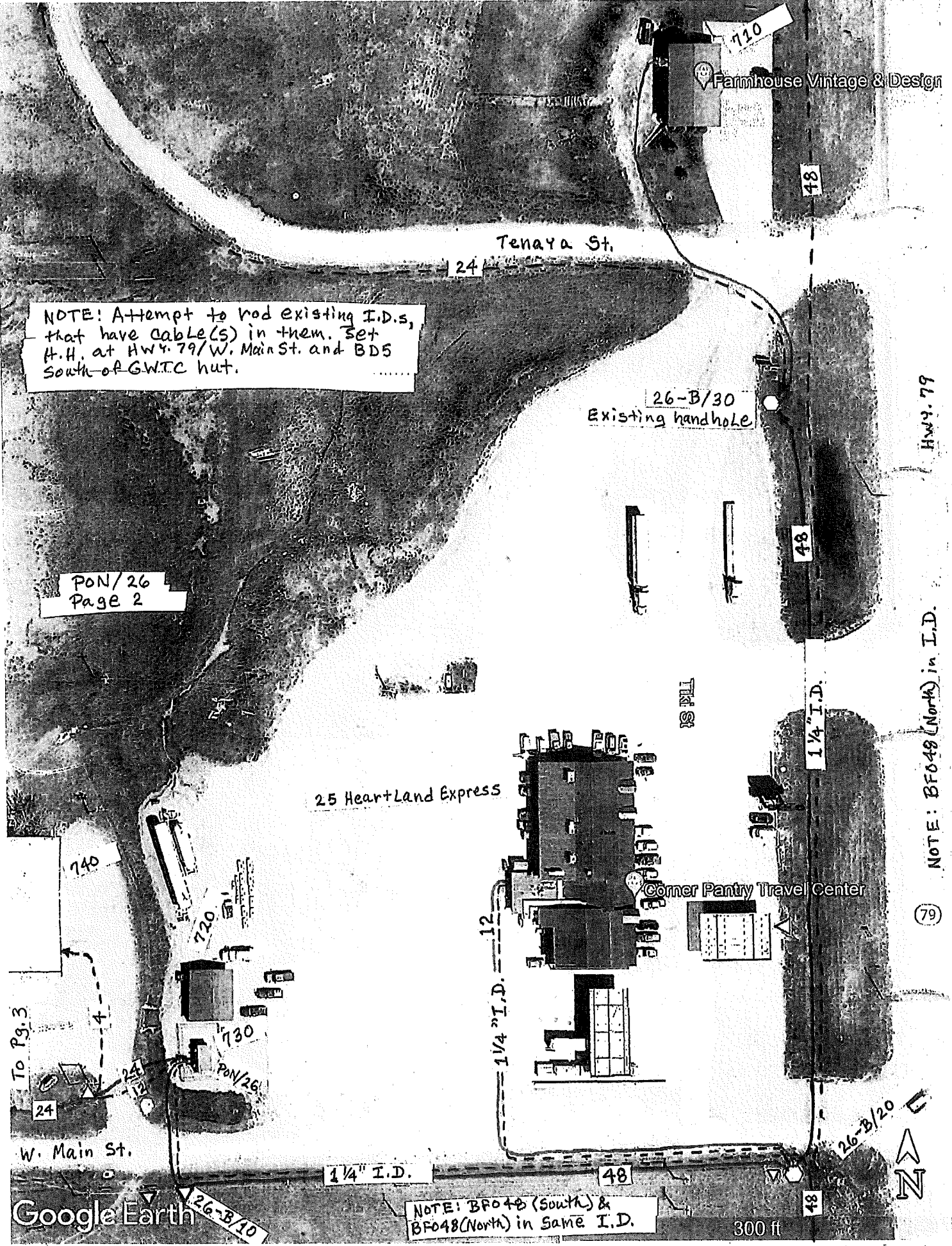
To Pg. 3

W. Main St.

Google Earth

NOTE: BF048 (South) & BF048 (North) in same I.D.

300 ft



119

ANNUAL REPORT FOR CITY OF HERMOSA  
AS OF AND FOR THE YEAR ENDED December 31, 2021

	GOVERNMENTAL FUNDS—MODIFIED CASH BASIS					Other		Total
	General Fund	TIF Fund	Fund	Fund	Fund	Governmental Funds	Governmental Funds	
Beginning Balance	207,259.00	277,137.00	0.00	0.00	0.00	29,363.00	513,759.00	
Revenues and Other Sources:								
Taxes:								
Property Taxes	58,549.00	82,422.00	0.00	0.00	0.00	14,976.00	155,947.00	
General Sales and Use Taxes	299,933.00	0.00	0.00	0.00	0.00	0.00	299,933.00	
Penalties and Interest on Delinquent Taxes	941.00	452.00	0.00	0.00	0.00	0.00	1,393.00	
Licenses and Permits	37,391.00	0.00	0.00	0.00	0.00	0.00	37,391.00	
Intergovernmental Revenues:								
Federal Grants	38,001.00	0.00	0.00	0.00	0.00	0.00	38,001.00	
State Grants	18,695.00	0.00	0.00	0.00	0.00	0.00	18,695.00	
State Shared Revenue	16,935.00	0.00	0.00	0.00	0.00	0.00	16,935.00	
Sanitation	43,797.00	0.00	0.00	0.00	0.00	0.00	43,797.00	
Miscellaneous Revenue and Other Sources:								
Investment Earnings	312.00	0.00	0.00	0.00	0.00	0.00	312.00	
Rentals	3,660.00	0.00	0.00	0.00	0.00	0.00	3,660.00	
Liquor Operating Agreement Income	31,999.00	0.00	0.00	0.00	0.00	0.00	31,999.00	
Other Revenues	8,086.00	0.00	0.00	0.00	0.00	0.00	8,086.00	
Compensation for Loss or Damage to Capital Assets	3,185.00	0.00	0.00	0.00	0.00	0.00	3,185.00	
Total Revenue and Other Sources	561,484.00	82,874.00	0.00	0.00	0.00	14,976.00	659,334.00	
Expenditures and Other Uses:								
Legislative	27,331.00	0.00	0.00	0.00	0.00	0.00	27,331.00	
Elections	1,208.00	0.00	0.00	0.00	0.00	0.00	1,208.00	
Financial Administration	131,400.00	5,591.00	0.00	0.00	0.00	0.00	136,991.00	
Other General Government	104,171.00	0.00	0.00	0.00	0.00	0.00	104,171.00	
Police	64,268.00	0.00	0.00	0.00	0.00	0.00	64,268.00	
Protective Inspection	8,230.00	0.00	0.00	0.00	0.00	0.00	8,230.00	
Highways and Streets	62,474.00	0.00	0.00	0.00	0.00	0.00	62,474.00	
Sanitation	34,801.00	0.00	0.00	0.00	0.00	0.00	34,801.00	
Economic Development and Assistance	3,709.00	0.00	0.00	0.00	0.00	0.00	3,709.00	
Debt Service	0.00	255,669.00	0.00	0.00	0.00	0.00	255,669.00	
Capital Outlay	7,404.00	63,887.00	0.00	0.00	0.00	0.00	71,291.00	
Total Expenditures and Other Uses	444,996.00	325,147.00	0.00	0.00	0.00	0.00	770,143.00	
Increase/Decrease in Fund Balance	116,488.00	(242,273.00)	0.00	0.00	0.00	14,976.00	(110,809.00)	
Ending Balance:								
Restricted	0.00	34,864.00	0.00	0.00	0.00	1,500.00	36,364.00	
Committed	0.00	0.00	0.00	0.00	0.00	42,839.00	42,839.00	
Unassigned	323,747.00	0.00	0.00	0.00	0.00	0.00	323,747.00	
Total Ending Fund Balance	323,747.00	34,864.00	0.00	0.00	0.00	44,339.00	402,950.00	
Governmental Long-term Debt							87,944.00	

PROPRIETARY FUNDS—MODIFIED CASH BASIS

ANNUAL REPORT FOR CITY OF HERMOSA  
AS OF AND FOR THE YEAR ENDED December 31, 2021

GOVERNMENTAL FUNDS—MODIFIED CASH BASIS

	General Fund	TIF Fund	Fund	Fund	Fund	Fund	Fund	Fund	Fund	Other Governmental Funds	Total Governmental Funds
Beginning Balance	285,512.00	300,307.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Revenues	151,246.00	92,190.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Expenses	146,207.00	49,542.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Transfers In (Out)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Ending Balance:											
Restricted for:											
Revenue Bond Debt Service	19,170.00	3,834.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Revenue Bond Retirement	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Revenue Bond Contingency	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Special Assessment Bond Guarantee	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Special Assessment Bond Sinking	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Equipment Repair and/or Replacement	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Landfill Closure and Post Closure Costs	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Permanently Restricted Purposes	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Other purposes	8,711.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Unrestricted	262,670.00	339,121.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00		0.00
Enterprise Long-term Debt											469,187.00

The preceding financial data does not include fiduciary funds or component units. Information pertaining to those activities may be obtained by contacting the municipal finance officer at 605-255-4291.

Municipal funds are deposited as follows:

Depository	Amount
Pioneer Bank and Trust	885,755.16
SD FIT	137,612.98
Edward Jones	19,013.75

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**CITY OF HERMOSA**

230 Main Street, PO Box 298, Hermosa, SD, 57744

605-255-4291 or [town@hermosasd.com](mailto:town@hermosasd.com)

REQUEST FOR INFORMATION

**REQUESTER**

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Organization: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_ Fax: \_\_\_\_\_

E-Mail: \_\_\_\_\_

**INFORMATION REQUESTED**

**(Please be specific. Only Public Information Will Be Provided. Allow 10 business days.)**

Information Requested: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Reason for Request: \_\_\_\_\_

\_\_\_\_\_

Preferred Method of Receiving Information:  Mail  Email  Fax  Pick-Up in Office

**ESTIMATED COST OF PROCESSING THE ABOVE REQUEST. (Completed by City Finance Officer.)**

Personnel Time (Hour): \_\_\_\_\_ @ \$25.00 per hour (1-hour minimum)

Copying/Scanning (per page): \_\_\_\_\_ @ 0.25 per page

Mailing: USPS Prices Apply: \_\_\_\_\_

Total Estimated Cost: \$ \_\_\_\_\_

**REQUESTER SIGNATURE & AGREEMENT TO PAY ACTUAL COSTS**

I (please print), \_\_\_\_\_, request the above information and accept the cost estimate and agree to pay the actual cost upon receipt of the information.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**INFORMATION PROVIDED**  
 (Completed by City Finance Officer.)

Date Received: \_\_\_\_\_ Received By: \_\_\_\_\_

Allowed: \_\_\_\_\_ Not Allowed & Reason: \_\_\_\_\_

Date Completed: \_\_\_\_\_

Information Provided: \_\_\_\_\_

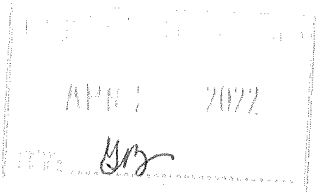
\_\_\_\_\_

\_\_\_\_\_

**ACTUAL COST:** \_\_\_\_\_

Personnel	Copying/Scanning	Shipping/Mailing
Minimum: \$25.00 per hour (1-hour minimum)	\$0.25 per page plus sales tax (6.5%)	USPS Prices Apply No Cost for E-Mail
Total Time:	Total Pages:	
Cost:	Cost:	Cost:

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Robert H. King  
PO Box 96  
Hermosa, SD 57744

April, 21, 2022

Dan Holsworth, President  
Board of Trustees  
Town of Hermosa  
Hermosa, S.D.

President Holsworth,

I (Robert H. King) am formally resigning immediately from the position of Town Board Vice President and all committees assigned.

I feel that the Town citizens do not have the confidence in me to do the best for the Town. Therefore, I am stepping down and providing the opportunity to others to provide the knowledge, expertise and leadership that the town deserves.

I have turned in all Town property that the Town assigned to me.

I regret having to do this and wish the best for the remaining Town Board members and my replacement.

Sincerely,

A large, stylized handwritten signature in black ink that reads "Robert H. King". The signature is written in a cursive style with a prominent initial "R".

Robert H. King