

HERMOSA TOWN BOARD
TUESDAY, APRIL 18, 2023
REGULAR MEETING @ 6.00pm

- 1) **ROLL CALL:**
 - A. BOT Roll Call: Henrichsen, Holsworth, Kramer, Schumack
 - B. Acknowledgement of other Attendees
 - C. Pledge of Allegiance to be led by Holsworth

- 2) **CALL FOR CHANGES:**
 - A. Review of current agenda items
 - B. Motion to accept the agenda as presented/amended

- 3) **CONSENT CALENDAR:**
 - A. Approval of the April 10th, 2023, Regular meeting minutes

- 4) **CONFLICT OF INTEREST DECLARATION**

- 5) **CLAIMS:**
 - A. Review payroll and claims
 - B. Motion to approve the claims as presented/amended

- 6) **LAW ENFORCEMENT/ ABATEMENTS/COMPLAINTS:**
 - A. Committee report
 - B. Custer County Log
 - C. Abatements
Properties, Dumpster

- 7) **LEGAL:**
 - A. Permit #2022-09 for 194 Fairgrounds Place road

- 8) **ENGINEER:**
 - A. Water Rehab Project (WRT System)
 - B. Hermosa Sidewalk Project
 - C. Sewer Project (Lagoon design & expansion)
 - D. Water/Sewer Facility Plans
Resolution(s) review
DANR Award
Bruels Email
 - E. Black Hills Council of Local Governments
 - F. Town of Hermosa Water and Sewer Extension Project
 - G. Hermosa Hills Drainage
Town accept Marie Street-pending
Town accept Walter Street-pending
 - H. Whitney Street Drainage
SDARWS Report, Pending technician assistance, update on timeline
Camera drainage/awaiting meeting with school board
 - I. Roy's Drive In Sewer Line
Pending Roy's response
 - J. Facility Plan for Booster, Water Meters
Possibly to add to USDA-pending
 - K. Rural Development
Application pending

- 9) **PLANNING & ZONING**
 - A. Review P&Z meeting minutes from April 11th, 2023, meeting
 - B. Permit 2022-25 - REVISED- Digging/ROW-Sewer Connection- Parcels 009318 & 009319
 - C. 2023-06 – Commercial Remodeling Permit Application – 250 Main St. – Storage Loft – pending
 - D. Permit 2023-11 – Residential Building/Digging – 15 N. 5th St. – Duplex
 - E. Permit 2023-12 - Residential Building/Digging – 175 N. Wilder Blvd
 - F. Permit 2023-13 – Manufactured Home Moving Application – Prairie Hills MH Park.
 - G. Solar ordinance – approval for P&Z to draft it.

- 10) **PUBLIC WORKS**
A. Committee Report
B. Streets, Street Light Repairs, Water & Sewer Department Updates
Trustee report on town lighting needs
C. Agreement for performance of services of public works and town maintenance
D. Chuck Irvine training expenses
E. 72 Fairgrounds place (final evaluation)
F. Destruction of water meter pit lid-194 Fairgrounds place
- 11) **FINANCE OFFICE:**
A. Monthly financials.
B. Department updates
C. Volunteer of the Year
D. Annual report 2022
E. Auditor for 2022
F. N Sewer TIF loan payoff
- 12) **OLD BUSINESS:**
A. Annexation: Gumbo Lilly, Fairgrounds Place, McDermard Street
B. Town Sign, pending
C. Town Office: Deck Staining, pending
D. Library: Deck Staining, pending
E. Hermosa Connects
- 13) **NEW BUSINESS:**
A. Bridge reinspection program resolution 03-2023 reading
B. Boundary updates, U.S Census Bureau
C. Walter street maintenance – move stop sign request, add gravel
D. Ordinance 131A –Open burning and Fireworks
Second reading – 04/18/2023
E. Ordinance 50.01 – Application for water connection permit
Second reading – 04/18/2023
F. Annual drinking water report
G. 2023-24 Malt beverage & SD Farm wine renewals
H. Resolution 04-2023 Certifying a delinquent assessment pursuant to SDCL 10-23-1.1
I. Add “No Parking” sign on N 5th street
- 14) **ITEMS FROM CITIZENS:** No action will be taken (3-minute time limit per speaker)
Meetings of the Board of Trustees are open to the public. The audience may be allowed to comment on specific agenda items during the time allotted on the agenda for those items, according to established procedures of the Board. This is a time for members of the public to express concerns or discuss issues having relevance to the town. Anyone wishing to address the Town Board during this time shall be asked to identify themselves. The number of presentations and time allotted to individuals may be limited by the board president and individuals shall refrain from discussing personalities. The president at his discretion, may recognize patrons at other times during the board meeting. No action will be taken by the board on any issue related without being first placed on a future agenda, by the board, to allow for proper notice.
- 15) **TRUSTEE INPUT:**
- 16) **EXECUTIVE SESSION:**
A. Motion to enter Executive Session allowable by SDCL 1-25-2.1 – Legal/Personnel/Contract
B. Motion to exit out of Executive Session
C. Motions resulting from Executive Session
- 17) **ADJOURN:** Motion by _____; Second by _____ to adjourn the meeting at _____ PM.

HERMOSA TOWN BOARD
MONDAY, APRIL 10, 2023
REGULAR MEETING @ 6.00pm

3 A.

ROLL CALL: Holsworth called the meeting to order on Monday, April 10th at 6.00 pm with the following members present: Henrichsen, Holsworth, Kramer, Schumack. Also present: Chuck Ferguson, Mitch Johnson, law enforcement and citizens. Pledge of Allegiance led by Dan Holsworth.

CALL FOR CHANGES: Add item F. Discussion about Senator rounds under Finance officer. Motion made, seconded to accept the agenda as amended; Vote: all ayes, motion carried.

CONSENT CALENDAR: Motion made, seconded to approve March 20th, 2023, equalization meeting minutes as presented; Vote: all ayes, motion carried. Motion made, seconded to approve March 21st, 2023 regular meeting minutes as presented; Vote: all ayes, motion carried.

CONFLICT OF INTEREST DECLARATION: None

CLAIMS: ACES Engineering INC Encroachment survey, research, WRT system, lagoon updates \$16,585.00 – pending from 03/21/2023 claims list; A & B business equipment Inc.: Monthly printer/fax \$557.91; ACES Engineering Inc.: Permit Reviews/Staff reports. SDDANR permit and wetland area review \$1,850.00; Independent audit services, PC: 2021 Audit Draft \$3,750.00; Chuck Ferguson: Monthly agreement 03/2023 \$2,600.00; Claycomb engineering: Floodplain administrator services \$712.00; Door Security Products Inc.: IC Realtime NVR 1TB HD+Labor \$927.55; Johnson Law office: Legal advise/Jerry S. emails \$1,513.00; Mt. Rushmore telephone: Monthly Phone/Internet/Fax \$257.24; Pioneer Bank & Trust: Bank charge for 2 signature acct. \$25.00; Pioneer Bank & Trust: Adobe software-monthly fee/Postal stamps \$212.89; Rural development: RD1 loan-April interest/principal \$1,278.00, RD2 loan-April interest/principal \$417.00, RD3 loan-April interest/principal \$222.00; Southern Hills Publishing: Publishing/Legal notices 03/23 \$299.27; Summit Signs and Supply Inc.: Dumpster sign 8'X4' \$950.00; Temperature technology Inc. Spencer Vortex air pump repair \$319.39; US Bank: N Sewer TIF-April principal/Interest \$3,820.54; Accounts Payable Total: \$19,711.79. Payroll related: Legislative: \$1,059.47, Financial administration \$2,074.96, Gen. Gov't buildings \$135.06, Water \$397.06, Sewer \$165.44, Planning/Zoning \$748.03, Promoting City/ BBB \$55.14; South Dakota Retirement system SDRS \$922.20; EFTPS-Electronic Federal Tax: \$1,012.52; Health pool of SD: Admin single health 04/23 \$1,835.74. Payroll Total: \$8,405.62. REPORT TOTAL: \$28,117.41. Motion made, seconded to approve claims as presented, as well as ACES engineering invoice for \$16585.00 from 03/21/2023 claims report; Vote: all ayes, motion carried.

LAW ENFORCEMENT/ ABATEMENTS/COMPLAINTS: Custer County Log received, will be presented at the next BOT meeting. Appreciate law enforcement attending the meeting.

LEGAL: Permit #2022-09 for 194 Fairgrounds Place Road – pending. Work session to be held on April 25th, 2023, with a possibility that Terri Kester will be in attendance to go over the Custer County Extraterritorial agreement with the P&Z and BOT board members. Motion made, seconded to follow attorney's suggestion that the Town is not in the business to refund or provide the meter at no costs to private properties and will make sure to amend the ordinance on this matter, meter refund denied; Vote: all ayes, motion carried. Motion made, seconded to remove item 7) B. Jerry Styles- refund from the agenda; Vote: all ayes, motion carried.

ENGINEER: Water Rehab Project (WRT System)- pending. Hermosa Sidewalk Project-pending. Sewer Project (Lagoon design & expansion)- revised project manual including design plans, revised design narrative, and responses to comments from SDDANR submitted, as well as other required documentation for the project - awaiting design approval from DANR . Water/Sewer Facility Plans and Black Hills Council of Local Governments-pending. Town of Hermosa water and sewer extension project-pending, Hermosa Hills drainage-pending, walkthrough to be scheduled. Whitney street drainage-pending. Roy's drive-in – Mitch Johnson will send a letter to Roy's drive-In regarding the sewer line issue. Facility plan for booster, water meters and Rural development - pending.

PLANNING & ZONING: Review of March 28th, 2023, P&Z meeting minutes. Permit 2022-25-Digging/Row - sewer connection for parcels 009318 & 009319 – pending. 2023-06 – commercial remodeling permit application – 250 Main street – storage loft – fire extinguishers and smoke detectors inspected and passed. Motion made, seconded to add reimbursement to Bradley Westergard for fire extinguishers and smoke detectors to the next claims list for approval; Vote: all ayes, motion carried. Motion made, seconded to approve permit #2023-10 – Custer School district – 11 4th street – Install 360 sq. ft. carport, which was approved by P&Z board per staff report as well; Vote: all ayes, motion carried. Motion made, seconded to remove item 9) D. from the agenda; Vote: all ayes, motion carried.

PUBLIC WORKS: Snow removal issues addressed. Streetlights, water, sewer, update report by Chuck Ferguson. New sign by the Town yard waste dumpsters – installed. The agreement for performance of services of public works and town maintenance will be reviewed at the next work session with P&Z. Chuck Irvine has no current expenses presented. 72 Fairgrounds – public works have been monitoring the usage, meter changed – pending next meter reading for final evaluation.

FINANCE OFFICE: Monthly financials – March bank statement reconciliation, Outstanding transaction register and Treasurer’s report presented, as well as 1st quarter Revenue and Expense report. Department updates: PFAS recovery program agreement signed and filed. Edward Jones bank account liquidated; all the funds transferred to General fund. Motion made, seconded to close Edward Jones bank account; Vote: all ayes, motion carried. Quarterly reports for IRS and SD department of labor done and submitted. Annual report for 2022 finished, will be presented at the following BOT meeting. Received first Draft Audit report for 2021-pending submittal. District 9 meeting-5 attendees, good and informative meeting. Elections: candidate order on the ballot drawn by Terri Schumack, read by Monika Serviss: 3 year-term: Shanna Harris, Vicki Henrichsen, Jerry Styles, Charles Irvine; 2 year-term: Bradley Westergard, Donna Ferguson. Motion made, seconded to approve 1st official election ballot for proposed amendment to ordinance §90.07; Vote: all ayes, motion carried. Motion made, seconded to approve 2nd official election ballot for proposed ordinance §30.08; Vote: all ayes, motion carried. Motion made, seconded to approve Joe & Carol Rice for volunteer of the year nomination for 2022; Vote: all ayes, motion carried. Mobile senator rounds will be held within the next 3 months. Dates will be posted. Motion made, seconded to remove items: 11) C. & 11) D. from the agenda; Vote: all ayes, motion carried.

OLD BUSINESS: Annexation: Gumbo Lilly, Fairgrounds Place, McDermand Street-pending. Town Sign- pending. Town Office and Library deck Staining-pending. Hermosa connects- Farmer’s Market & Vendor Fair at the Hermosa community center scheduled for June 24th, same day as Annual garage sale in Town. Website is set up, all the information can be found at www.hermosaconnects.com.

NEW BUSINESS: Resolution 03-2023 Bridge reinspection program resolution for use with SDDOT retainer contracts. WHEREAS, 23 CFR 650, Subpart C, requires initial inspection of all bridges and reinspection at intervals not to exceed two years with the exception of reinforced concrete box culverts that meet specific criteria. These culverts are reinspected at intervals not to exceed four years. THEREFORE, the Town of Hermosa is desirous of participating in the Bridge inspection program using Bridge Replacement funds. The city requests SDDOT to hire Brosz Engineering Inc. (Consulting Engineers) for the inspection work. SDDOT will secure Federal approvals, make payments to the Consulting Engineer for inspection services rendered, and bill 20% of the cost. The Town will be responsible for the required 20% matching funds. Dated this 10th day of April 2023 at Hermosa, South Dakota. Attest: Monika Serviss Finance officer, Dan Holsworth BOT President. Motion made, seconded to approve resolution 03-2023; Vote: all ayes, motion carried. Boundary updates and Walter street maintenance – pending. Motion made, seconded to approve two more loads of gravel for the streets; Vote: all ayes, motion carried. Motion made, seconded to remove item 13) D. from the agenda; Vote: all ayes, motion carried. First reading of Ordinance 131A – Open burning and fireworks. First reading of Ordinance 50.01 – Application for water connection permit. Motion made, seconded to approve Annual drinking report; Vote: all ayes, motion carried. Forms for 2023-2024 Malt beverage & SD Farm wine renewals will be sent out by 04/14/2023.

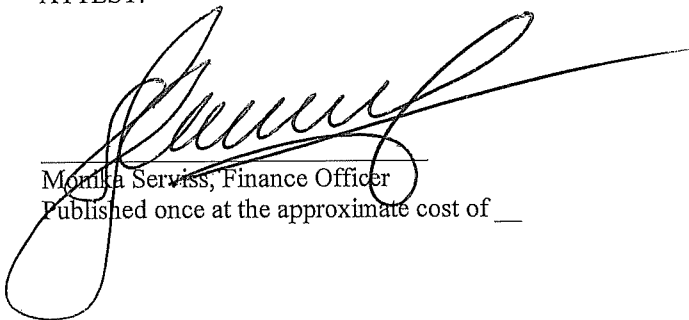
ITEMS FROM CITIZENS: Audience had input.

TRUSTEE INPUT: Thank you all who attended the meeting.


EXECUTIVE SESSION: no executive session.

ADJOURN: Motion made, seconded to adjourn the meeting at 7.53 PM; Vote: all ayes, motion carried.

ATTEST:



Monika Serviss, Finance Officer
Published once at the approximate cost of ____



Dan Holsworth, Town Board President

5 B.

Claims for approval 04-18-2023

VENDOR	REFERENCE	AMOUNT
BLACK HILLS ELECTRIC COOP.,Inc	Utilities-Electric 03/2023	\$ 3,388.59
Bradley Westerguard	Fire exting.,smoke detectors, bathroom repair	\$ 402.78
CHUCK FERGUSON	Yardwaste sign instalaltion, Snow removal 03/22/23-04/07/23	\$ 3,293.00
GOLDEN WEST TECHNOLOGIES	Monthly service-April23	\$ 563.50
Midcontinent testing lab. Inc	Water/Lagoon testing for 1st Qtr 2023	\$ 1,284.25
Nelson's Oil & Gas Inc.	Tank Rent-lower pump house	\$ 36.00
SANDERS SANITATION	Monthly sanitation service 03/23, Yardwaste dumpster	\$ 4,470.84
SOUTH DAKOTA 811	Message fees/voice out 03/2023	\$ 16.80
Accounts Payable Total		\$ 13,455.76
Payroll related		
Total Paid on: 04/14/2023		
Payroll	Financial administration	\$ 2,444.31
EFTPS-Electronic Federal Tax	FED/FICA TAX	\$ 554.03
Payroll Total		\$ 2,998.34
***** REPORT TOTAL *****		\$ 16,454.10
GENERAL		\$ 12,764.55
BBB GROSS RECEIPTS TAX		\$ 68.83
WATER		\$ 2,318.99
SEWER		\$ 1,301.73
TOTAL FUNDS		\$ 16,454.10



CUSTER COUNTY SHERIFF'S OFFICE
 SHERIFF MARTY MECHALEY
 420 MT RUSHMORE ROAD, CUSTER, SOUTH DAKOTA, 57730
 PHONE: (605) 673-8146 FAX: (605)673-8154



Hermosa - CFS's

Printed on April 7, 2023

CFS Date/Time	CFS #	Case Number	Code	Code : Description	Zone
03/01/23 00:01:05	CFS2302008		EXT	EXT : Extra Patrol	HERMOSA
03/01/23 15:20:18	CFS2302024		SPATROL	SPATROL : School Patrol	HERMOSA
03/01/23 23:00:53	CFS2302029		EXT	EXT : Extra Patrol	HERMOSA
03/02/23 19:52:17	CFS2302058		PERSUSP	PERSUSP : Suspicious	HERMOSA
03/02/23 22:28:33	CFS2302061		EXT	EXT : Extra Patrol	HERMOSA
03/03/23 21:20:55	CFS2302097		SIG2	SIG2 : EMER, ACCIDENT,	HERMOSA
03/04/23 06:48:05	CFS2302109		EXT	EXT : Extra Patrol	HERMOSA
03/04/23 11:56:13	CFS2302145		911A	911A : 911 Abandoned	HERMOSA
03/05/23 06:03:56	CFS2302175		EXT	EXT : Extra Patrol	HERMOSA
03/05/23 20:52:33	CFS2302211		AOA	AOA : Assist Other	HERMOSA
03/06/23 08:46:39	CFS2302224		MOTASST	MOTASST : Motorist	HERMOSA
03/07/23 09:03:19	CFS2302261		SPATROL	SPATROL : School Patrol	HERMOSA
03/08/23 01:17:11	CFS2302291		EXT	EXT : Extra Patrol	HERMOSA
03/08/23 05:59:56	CFS2302294		EXT	EXT : Extra Patrol	HERMOSA

6 B.

CFS Date/Time	CFS #	Case Number	Code	Code : Description	Zone
03/08/23 07:50:25	CFS2302302		SPATROL	SPATROL : School Patrol	HERMOSA
03/08/23 15:33:43	CFS2302330		SPATROL	SPATROL : School Patrol	HERMOSA
03/09/23 20:44:16	CFS2302378		911T	911T : 911 Transfer	HERMOSA
03/11/23 16:03:52	CFS2302444		CIVIL	CIVIL : Civil Matter	HERMOSA
03/12/23 16:17:52	CFS2302489	2023-00106	THEFTB	THEFTB : Theft From	HERMOSA
03/12/23 22:07:42	CFS2302495		EXT	EXT : Extra Patrol	HERMOSA
03/13/23 22:10:59	CFS2302534		EXT	EXT : Extra Patrol	HERMOSA
03/14/23 22:08:38	CFS2302557		EXT	EXT : Extra Patrol	HERMOSA
03/15/23 06:02:14	CFS2302561		EXT	EXT : Extra Patrol	HERMOSA
03/16/23 00:32:51	CFS2302585		INFO	INFO : Info	HERMOSA
03/16/23 17:20:06	CFS2302602		AOA	AOA : Assist Other	HERMOSA
03/17/23 03:04:21	CFS2302614		911H	911H : 911 Hang Up	HERMOSA
03/17/23 22:03:06	CFS2302628		EXT	EXT : Extra Patrol	HERMOSA
03/18/23 05:59:39	CFS2302634		EXT	EXT : Extra Patrol	HERMOSA
03/18/23 23:09:06	CFS2302658		EXT	EXT : Extra Patrol	HERMOSA
03/19/23 17:34:32	CFS2302679		TRAFFCOMP	TRAFFCOMP : Traffic	HERMOSA
03/20/23 07:34:01	CFS2302699		SPATROL	SPATROL : School Patrol	HERMOSA
03/20/23 18:17:54	CFS2302716		FOLLOWUP	FOLLOWUP : Follow-up	HERMOSA

CFS Date/Time	CFS #	Case Number	Code	Code : Description	Zone
03/21/23 00:05:21	CFS2302726		EXT	EXT : Extra Patrol	HERMOSA
03/21/23 15:12:45	CFS2302740		EXT	EXT : Extra Patrol	HERMOSA
03/22/23 07:34:08	CFS2302751		SPATROL	SPATROL : School Patrol	HERMOSA
03/22/23 07:49:28	CFS2302753		TSTOP	TSTOP : Traffic Stop	HERMOSA
03/22/23 13:35:43	CFS2302769		CRT ORD	CRT ORD : Court Order	HERMOSA
03/22/23 19:56:24	CFS2302783		EXT	EXT : Extra Patrol	HERMOSA
03/23/23 07:38:11	CFS2302793		SPATROL	SPATROL : School Patrol	HERMOSA
03/23/23 10:01:18	CFS2302803		SUSP	SUSP : Suspicious	HERMOSA
03/23/23 19:33:51	CFS2302823	2023-00128	HARR	HARR : Harassment	HERMOSA
03/23/23 21:04:25	CFS2302824		SPATROL	SPATROL : School Patrol	HERMOSA
03/23/23 21:31:13	CFS2302825		FIREWRKS	FIREWRKS : Fireworks	HERMOSA
03/24/23 16:35:43	CFS2302850		REPO	REPO : Repossession	HERMOSA
03/24/23 17:06:17	CFS2302852	2023-00127	DMGPROP	DMGPROP : Damage to	HERMOSA
03/24/23 23:17:50	CFS2302861		EXT	EXT : Extra Patrol	HERMOSA
03/24/23 23:26:52	CFS2302862		EXT	EXT : Extra Patrol	HERMOSA
03/25/23 05:08:13	CFS2302867		HARR	HARR : Harassment	HERMOSA
03/25/23 17:20:23	CFS2302885		AGGASLT	AGGASLT : Aggravated	HERMOSA
03/25/23 20:08:47	CFS2302888		EXT	EXT : Extra Patrol	HERMOSA

CFS Date/Time	CFS #	Case Number	Code	Code : Description	Zone
03/26/23 12:02:25	CFS2302899		911A	911A : 911 Abandoned	HERMOSA
03/26/23 22:05:02	CFS2302919		EXT	EXT : Extra Patrol	HERMOSA
03/27/23 07:37:07	CFS2302925		SPATROL	SPATROL : School Patrol	HERMOSA
03/28/23 02:06:10	CFS2302957		EXT	EXT : Extra Patrol	HERMOSA
03/28/23 07:33:53	CFS2302960		SPATROL	SPATROL : School Patrol	HERMOSA
03/28/23 21:14:56	CFS2302992		EXT	EXT : Extra Patrol	HERMOSA
03/29/23 07:33:50	CFS2302993		SPATROL	SPATROL : School Patrol	HERMOSA
03/29/23 20:59:33	CFS2303028		EXT	EXT : Extra Patrol	HERMOSA
03/29/23 21:25:18	CFS2303029		VEHSUSP	VEHSUSP : Suspicious	HERMOSA
03/31/23 21:27:03	CFS2303094		ALRU	ALRU : Alarm Unk	HERMOSA
03/31/23 23:23:10	CFS2303098		EXT	EXT : Extra Patrol	HERMOSA

Total Records: 61

**HERMOSA PLANNING & ZONING BOARD
REGULAR MEETING
April 11, 2023 @ 6:00pm**



9A.

ROLL CALL: Harris called the meeting to order at 6:00pm with the following members present; Harris, Waltman, Irvine, Westergard and Klaski, Liaison Henrichsen. Pledge of Allegiance led by Harris.

CALL FOR CHANGES: Motion made; seconded to amend the approve the agenda as presented; vote; all aye; motion carried.

CONSENT CALENDAR: Motion made; seconded to approve the March 28, 2023, meeting minutes; vote; all aye; motion carried.

CONFLICT OF INTEREST DECLARATION: None

OLD BUSINESS:

Permit 2022-18 – Custer County Concession Stand – Pending

Permit 2022-25 – Parcels 009318 & 009319 – Design for Sewer System - Pending

NEW BUSINESS:

2023-11 – Residential Building/Digging – 15 N. 5th St. – Duplex – Discussion regarding the rear setbacks. Site is zoned as RS1 and 155.30 states for Two-family dwellings rear yard of not less than 15 feet. Application was revised when submitted indicating rear setback at 15 feet. Motion made and seconded to approve application as per Engineers Staff Report; vote; all aye; motion carried.

Permit 2023-12 – Residential/Digging – 165 Wilder Blvd. – Board reviewed the setbacks submitted on the site plan contrast from setbacks presented on the Engineers Staff Report. Proposed site plan for front setbacks were measured from the sidewalk. ACES indicates the property line is in the center of the road. Board agreed the setbacks must be measured from the property line. A motion to approve the application with the site plan setbacks, as per staff report except for comment #4 and a recommendation for ACES to fix #4 under Comments before the next BOT meeting. Seconded; vote; all aye; motion carried.

Permit 2023-13 – Manufactured Home Moving Permit – Motion made and seconded to approve application to move 2018 Mobile Home to Prairie Hills Mobile Home Park. vote; all aye; motion carried. Mr. Roggenthen will provide a picture of the pitched roof to town office for our permanent file, after Mobile Home arrives from Sioux Falls.

REVIEW BOT MINUTES: April 4, 2023 – Meeting rescheduled to April 10, 2023-Minutes will be provide at April 25th P&Z meeting.

ORDINANCE REVIEW & WORK ITEMS:

Resolution 2021-03 – Extraterritorial Area Policy Agreement (Custer County) – Discussion on the policy agreement Resolution 2021-03 regarding the permitting process within Area #1 and #2 (Adjacent and Contiguous). Board requested a meeting with Custer County on April 25, 2023, at 6:00pm for clarification on agreement – Hermosa Town Office.

Emergency Management Plan – Remove from agenda

Solar (Panels) Ordinance – Motion made and seconded to request BOT approval to draft ordinance; vote; all aye; motion carried.

Review of 2018 Comprehensive Plan – Pending

COMPLETED WORK ITEMS SENT TO BOT:

Fire Ordinance – First Reading on April 10, 2023, BOT meeting. Second reading scheduled for April 18, 2023.

TRUSTEE INPUT: Harris provided some updated information regarding the 2-acre site donated for Town Park. Community citizens will continue to submit input regarding engineering, design and grant money ideas. Also discussed the possibility of a new Branch Library and Branch County Courthouse, in the coming years. Irvine discussed issues with snow removal during the last storm. Mentioned were cars parked on west side of N. 5th St. and the difficulty getting the street cleared. Board discussed there is plenty of parking at the school parking lot and suggested a No Parking sign should be installed on N. 5th St.

There may be a quorum of Board of Trustees present at Planning & Zoning Meetings

CITIZEN INPUT:

ADJOURN: Motion made, seconded to adjourn the meeting at 6:50 pm; Vote; all aye; motion carried.

Joan Harris, Planning & Zoning Board President

Jill Dybvig, Administrative Assistant

Hours of Operation:
Monday - Friday 8:00—5:00

RESIDENTIAL BUILDING PERMIT APPLICATION

(This Building Permit is Valid for One Year – Please See Page 3 for Exceptions)

9 D.

DATE 3-15-23

PERMIT # 2023-11

Receipt # _____	Cash _____	Check # <u>6910</u>	Amount <u>7500</u> (\$75.00)
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** PLEASE INCLUDE TO-SCALE DRAWINGS **

Is Property in the Flood Plain? Yes No Zoning District R1

IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

APPLICATION SUBMITTED BY:

Property Owner Name(s) Wade and Bridget Shorb
 Mailing Address P.O. Box 243
 City Hermosa State SD Zip 57744
 Email geoaire95@gmail.com
 Phone # Home 605 255 4548 Cell 605-390-6192 Work 605-390-6193
Wade Bridget

LEGAL DESCRIPTION

Subdivision name: Tract "C" of Warren Tract Lot# 3E Block N 5th St. Lot Size 75' x 101.89'
 Zoning District Residential Is this property in the Flood Plain? Yes No
 Building address: 15 N. 5th St. Hermosa

CLASS OF WORK TO BE DONE

New structure Demolition Remodel Addition
 Residential: Single Family Accessory Multi-Family
 Proposed Use Building: House- living quarters duplex
 Building Area (Sq. Ft.): 1,588 Height: 8' # of Units 2
 No. of Stories: 1 No. of Bathrooms: 2 Deck: 0 Deck Area (Sq. Ft.): 0

Parcel # 015348 OFFICE USE ONLY

SETBACK FROM LOT LINES:

FEET

CITY MINIMUM

Front _____	<u>59' 52'</u>	Applicable Zoning District (20'/25')
Rear _____	<u>10' 15'</u>	(5'/8'/15')
Sides _____	<u>N-10' S-19'</u>	(8'/10'/25')

Setbacks			
Primary	Front	Sides	Rear
RS	20ft	10ft	15ft
R1	20ft	10ft	15ft
R2	20ft	10ft	15ft

Accessory Buildings			
Primary	Front	Sides	Rear
RS	**	8ft	5ft
R1	**	8ft	5ft
R2	**	8ft	5ft

Mobile Home Park		
Front	Sides	Rear
20ft	8ft	15ft

**IN NO CASE SHALL AN ACCESSORY BUILDING BE LOCATED TO EXTEND IN FRONT YARD.

TYPE OF CONSTRUCTION

Wood Concrete _____ Block _____ Brick _____ Modular _____ Other _____

FOUNDATION

Thickness of Foundation _____ Thickness of footings _____ Width of Footings _____ Depth _____
Pier Foundation System: _____ Diameter of pier _____ Spacing of pier _____

CONTRACTOR INFORMATION

Contractors must all be registered with the Town of Hermosa

General Contractor
(Project POC/responsible party): Wade-Geo-Aire Inc Phone: 605 390-6192

Structural Contractor: Geo-Aire Inc Phone: same

Electrical Contractor: Em-Teck Phone: 605-431-0297

Plumbing Contractor: Precision Plumbing Phone: 605-721-6341

Heat/Mechanical Contractor: Geo-Aire Inc Phone: 605-390-6192

Excavation Contractor: Geo-Aire Inc Phone: " "

Are there any of the following on site: Hazardous materials Yes _____ No
Lead paint Yes _____ No
Asbestos Yes _____ No

Does the building have a Historical Designation: Yes _____ No

Current utilities on site: Gas _____ Water Electricity Municipal Sewer Septic _____

Proposed utilities: hook up of electric, water & sewer

Describe Work: build new construction duplex on concrete slab foundation

TOTAL COST ESTIMATE OF IMPROVEMENTS: \$ 140,000

TOTAL SQUARE FOOTAGE OF PROJECT: 1,588 sq ft

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermosasd.com

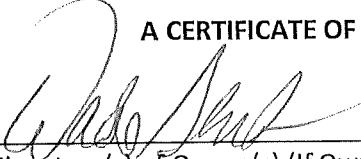
Every permit issued by the Planning Department under the provisions of this code shall expire by limitation and become null and void if the building or the work authorized by such permit is not commenced within 12 months from the date of such permit or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of one year. If so, before such work can be re-started, an extension of the permit shall be first obtained to do so, and a service charge of \$35.00 shall be required, provided no changes have been made or will be made in the original plans and specifications for such work.

In filing this application, I hereby grant to the Hermosa Planning & Zoning commission, and the Hermosa Town Board, and their designee(s), permission to inspect any and all structures and land involved in my application for the purpose of ascertaining compliance with the ordinance of the Town of Hermosa and the State of South Dakota which permission shall continue so long as the application or an appeal there-on is pending. It is my responsibility to ensure the presence of the Town Maintenance Supervisor during water and sewer connections.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

I understand Permit application fees are due upon submittal and are **non-refundable**. I understand **incomplete plans will be returned to applicant for resubmission**. Final fees are based upon building calculations and are due and payable when permit has been approved. Permits are reviewed by the town engineer; those expenses will be included with the permit fees and applicant will be responsible for those expenses.

A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BEFORE OCCUPYING STRUCTURE.



Signature(s) of Owner(s) (If Owner Builder)

3/15/23

Date



Signature(s) of Contractor/Authorized Agent

3/15/23

Date

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT

PLANNING AND ZONING COMMISSION	HERMOSA BOARD OF TRUSTEES
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
NAME: _____	NAME: _____
TITLE: _____	TITLE: _____
SIGNATURE: _____	SIGNATURE: _____
DATE: _____	DATE: _____
APPLICATION FEE: \$75.00 DATE PAID: _____	DATE PERMIT ISSUED: _____

RESIDENTIAL SITE PLAN REQUIREMENTS

****REQUIRED**** - PLEASE NOTE: Incomplete plans will be returned to applicant for resubmission.

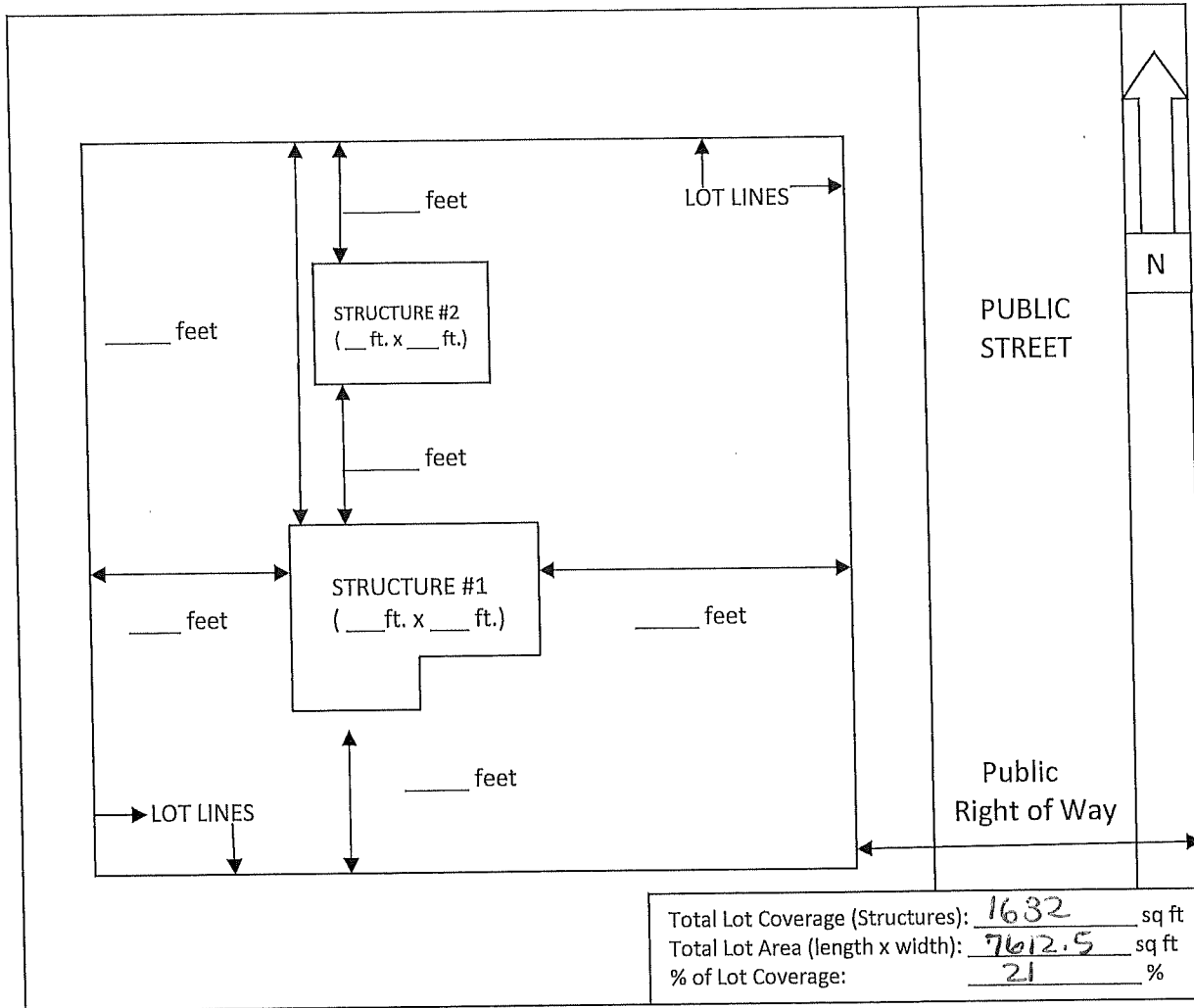
As per zoning ordinance do not cover more than 40% of lot.
General Site plan drawn to scale (1" = 20" preferred)

- 1. Show scale
- 2. Show North arrow
- 3. Lot dimensions, property lines
- 4. All existing structure and their distances to property lines
- 5. All new structures and distances to property lines (VERIFY SETBACKS)
- 6. Additions to existing structure and distances to property lines (VERIFY SETBACKS)
- 7. Building dimensions
- 8. Adjacent roads
- 9. Driveways
- 10. Parking spaces – if applicable
- 11. Show location of - Utilities, electric, water, sewer
- 12. Well location – if applicable
- 13. Septic location – if applicable
- 14. Footing and Foundation Plan
- 15. Other _____
- 16. Other _____

Additional information that may be required

- B. Complete Mechanical Floor Plan
- C. Wall Section and Full Sections
- D. Open water areas, (streams, creeks, and natural drainage ways) *NONE*
- E. Are you in the Flood Plain? *NO*

SAMPLE LOT SKETCH (RESIDENTIAL): Show similar sketch of proposed and/or current structures on the following page. Include ALL distances between structures, lot lines, structure dimensions, etc.



All plans are required to comply to applicable codes as adopted by the governing entity.

Numbers you should know:

Chuck Ferguson	Town of Hermosa	605-255-4291
Chuck Ferguson	Public Works	605-390-0045
Leah Berg	Building Inspections	605-390-0045
Elmer Claycomb, PE	Town Engineer	605-716-4646
	Floodplain Administrator	605-673-3939
	State Electrical Inspector	605-773-3573
	State Plumbing Inspector	605-773-3429

(All interior plumbing is required to be inspected by the state)

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

Is Property in the Flood Plain? Yes No Zoning District R1

IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

DIGGING/GRADING PERMIT

DATE 3/28/23

PERMIT # 2023-11

Receipt # _____ Cash _____ Check # _____ Amount 6912 (\$50.00) up to 100CY
\$20.00 each additional 100 CY

Name Wade & Bridget Shorb
Lot Address Lot 15
Mailing Address PO Box 243 Email br-shorb55@yahoo.com
Legal Description _____
Telephone # 605-390-6193 Cellphone # 605-390-6192
Contractor Geo-Aire Inc Phone# 605-390-6192

Contractors must all be registered with the Town of Hermosa

All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not presume to give authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other local law or ordinance regulating construction or the performance of construction in the Town of Hermosa.

Sketch and/or describe work: (use separate sheet, or attach grading plan)

Will grading operation be located in the floodplain? _____ Yes No
If yes, have ordinance requirements been met? _____ Yes No
Will drainage patterns be altered? _____ Yes No
Will grading operation take place in a geologically hazardous area? _____ Yes No
If yes, have proper precautions been taken? _____ Yes No

Quantity of Grading or Excavation: 6 Cubic Yards Area to be disturbed by proposed work: 0 acres

Identify types of erosion control to be applied: none needed

Source/Destination of materials: _____

Provide traffic control per Manual on Uniform Traffic Control Devices.

Hard route: n/a

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached. _____ Yes No N/A

This permit will expire one year from date of issuance.

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Relationship to Property: Owner _____ Contractor _____ Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

Signature Bridget Shorb Date _____

PLANNING AND ZONING COMMISSION	
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
NAME: _____	
TITLE: _____	
SIGNATURE: _____	
DATE: _____	
APPLICATION FEE: \$50.00	DATE PAID: _____

HERMOSA BOARD OF TRUSTEES	
<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
NAME: _____	
TITLE: _____	
SIGNATURE: _____	
DATE: _____	
DATE PERMIT ISSUED: _____	

Parcel # 015348 OFFICE USE ONLY

Town of Hermosa

PO Box 298 * 230 Main St. Hermosa, SD

605-255-4291

Email: town@hermosasd.com

Pre-Inspection Form

To be retained in permanent file

Customer Name	Permit #	Date
Wade + Bridget Sharb	2023-11	3-24-2023

Site Address	Parcel #
15 n. 5th St.	015348

MUST MEET ALL PERMIT REQUIREMENTS

Inspection

1. Walked site YES
2. Lot measurement 75' x 101.9
3. Lot usage RES (40%) X
4. Suitability of lot for proposed construction GOOD
 - A. Fill needed _____
 - B. Excavation/Trenching needed YES
5. Utilities properly located on lot YES
6. Check for any easements YES
7. Check for Pins or Survey YES
8. Drainage OK

Inspection Notes

Rear set Back Has to Be 15'

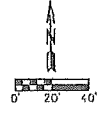
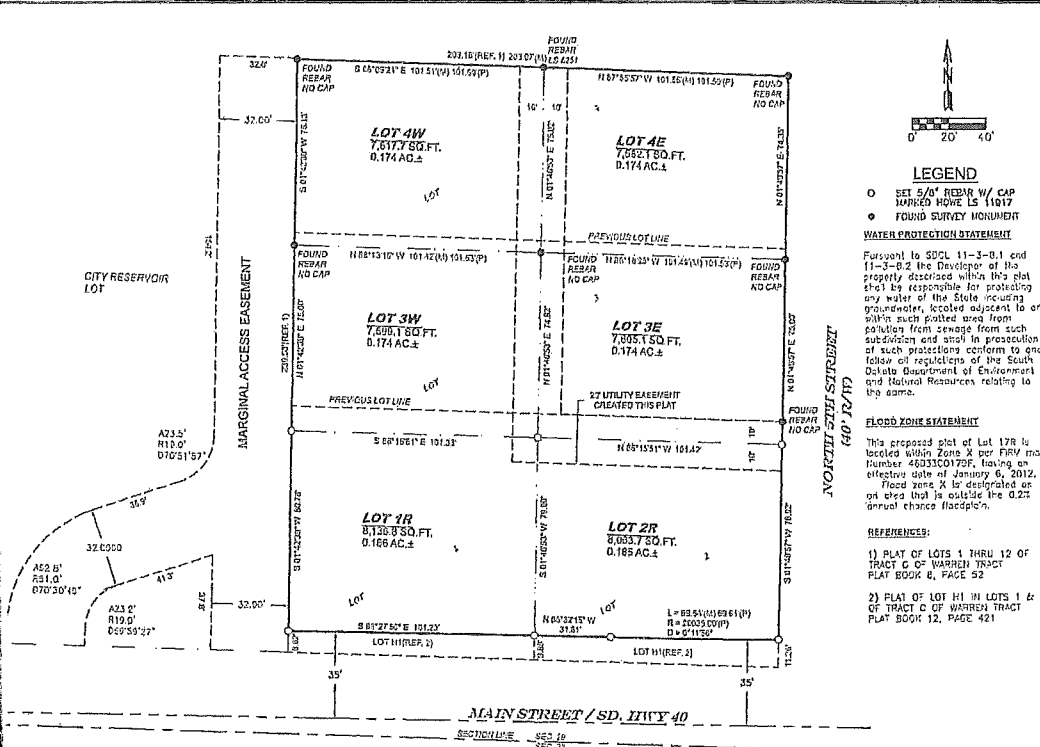
Inspectors Signature
Chuck Ferguson

Date
3-29-23

REC. REAR 194

PLAT OF LOTS 1R, 2R, 3E, 3W, 4E, 4W OF TRACT "C" OF WARREN TRACT,
(FORMERLY LOTS 1-4 OF TRACT C OF WARREN TRACT)
LOCATED IN THE SW1/4SW1/4, SECTION 29, T2S, R8E, BHM,
TOWN OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA

PAGE 1 OF 1



LEGEND
 ○ SET 5/4" REIN W/ CAP MARKED ABOVE LS 11017
 ● FOUND SURVEY MONUMENT

WATER PROTECTION STATEMENT
 Pursuant to SDCL 11-3-0.1 and 11-3-0.2 the Developer of the property described within this plat shall be responsible for protecting any water of the State including groundwater, located adjacent to or within such platted area from pollution from sewage from such subdivision and shall in prosecution of such protection conform to and follow all regulations of the South Dakota Department of Environment and Natural Resources relating to the same.

FLOOD ZONE STATEMENT
 This proposed plat of Lot 1R is located within Zone X per FRM map Number 4633300707, having an effective date of January 6, 2012. Flood zone X is designated as an area that is outside the 0.2% annual chance floodplain.

REFERENCES:
 1) PLAT OF LOTS 1 THRU 12 OF TRACT C OF WARREN TRACT PLAT BOOK 6, PAGE 52
 2) PLAT OF LOT 1H IN LOTS 1 & 2 OF TRACT C OF WARREN TRACT PLAT BOOK 12, PAGE 421

CERTIFICATE OF SURVEYOR
 State of South Dakota
 County of Pennington S.S.

I, Jeffrey H. Howe, Registered Land Surveyor No. 11017 in the State of South Dakota, do hereby certify that at the request of the owners listed hereon, I have surveyed that tract of land shown, and to the best of my knowledge and belief, the within plat is a representation of said survey. Easements or Restrictions of miscellaneous record or private agreements that are not known to me are not shown hereon.

In witness whereof, I have hereunto set my hand and seal.
 Jeffrey H. Howe - Registered Land Surveyor No. 11017



CERTIFICATE OF COUNTY TREASURER

I, Treasurer of Custer County do hereby certify that all taxes which are due upon the within described lands are fully paid according to the records of my office. Dated this 29th day of March, 2018.

R. Zach
 Highway Authority

RESOLUTION OF THE BOARD OF TRUSTEES

Whereas there has been presented to the Board of Trustees of the Town of Hermosa, South Dakota, the within plat of the above described lands and it appearing to the Board that:
 a. the system of streets conforms to the system of streets of existing plats and section lines of the Town.
 b. adequate provision is made for access to adjacent unplatted lands by public dedication or section line when physically accessible;
 c. all provisions of the Town subdivision regulations have been complied with;
 d. all taxes and special assessments upon the property have been fully paid; and
 e. the plat and survey have been lawfully executed.

HOW THEREFORE, BE IT RESOLVED that said plat is hereby approved in all respects.
 Dated this 29th day of March 2018

Richard J. ...
 Chairman of the Board of Trustees of the Town of Hermosa

CERTIFICATE AND ACKNOWLEDGMENT OF OWNERSHIP

I, the undersigned do hereby certify that I am the owner of the land shown and described hereon; that the survey was done at my request for the purpose indicated hereon; that I do hereby approve the survey and within plat of said land; and that the development of this land shall conform to all existing applicable zoning, subdivision and erosion control regulations.

Ernst L. Shorb
 OWNER: Ernest L. Shorb

On this 5th day of April 2018, before me, a Notary Public, personally appeared Ernest L. Shorb, known to me to be the person described in the foregoing instrument and acknowledged to me that such cooperation executed the same.

Notary Public: *Robert ...*
 My Commission Expires: 3-2-2022



CERTIFICATE AND ACKNOWLEDGMENT OF OWNERSHIP

I, the undersigned do hereby certify that I am the owner of the land shown and described hereon; that the survey was done at my request for the purpose indicated hereon; that I do hereby approve the survey and within plat of said land; and that the development of this land shall conform to all existing applicable zoning, subdivision and erosion control regulations.

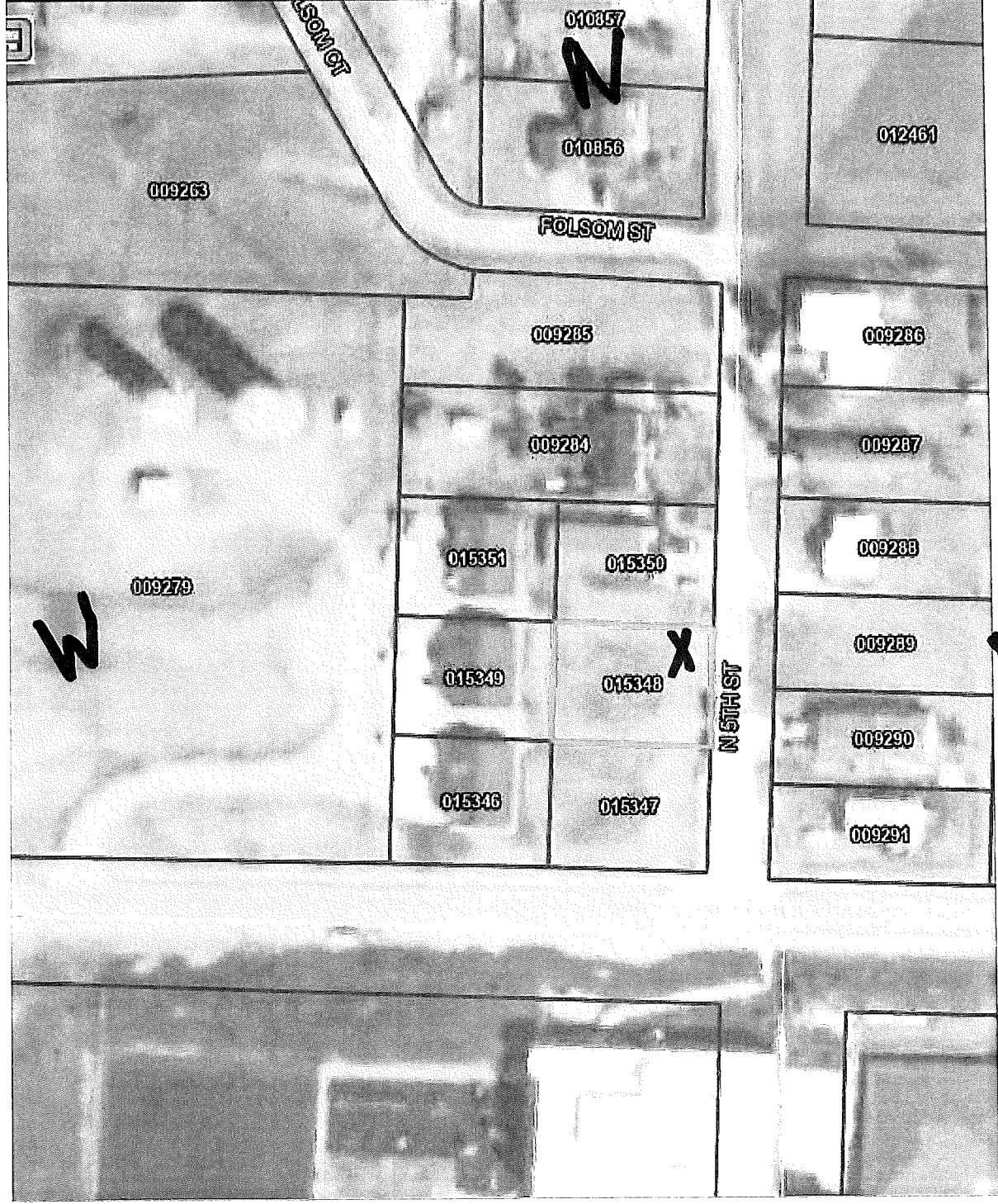
Wesley A. Shorb
 OWNER: Wesley A. Shorb

On this 5th day of April 2018, before me, a Notary Public, personally appeared Wesley A. Shorb, known to me to be the person described in the foregoing instrument and acknowledged to me that such cooperation executed the same.

Notary Public: *Robert ...*
 My Commission Expires: 3-2-2022



1010 Eco San Drive Suite 202
 Rapid City, SD 57702
 (605) 938-4333
 www.howelandsurveying.com



Alternate IDn/a
Class Residential
Acreage 0.175

Owner Address SHORB WADE A & BRIDGET L
PO BOX 243
HERMOSA, SD 57744-0243

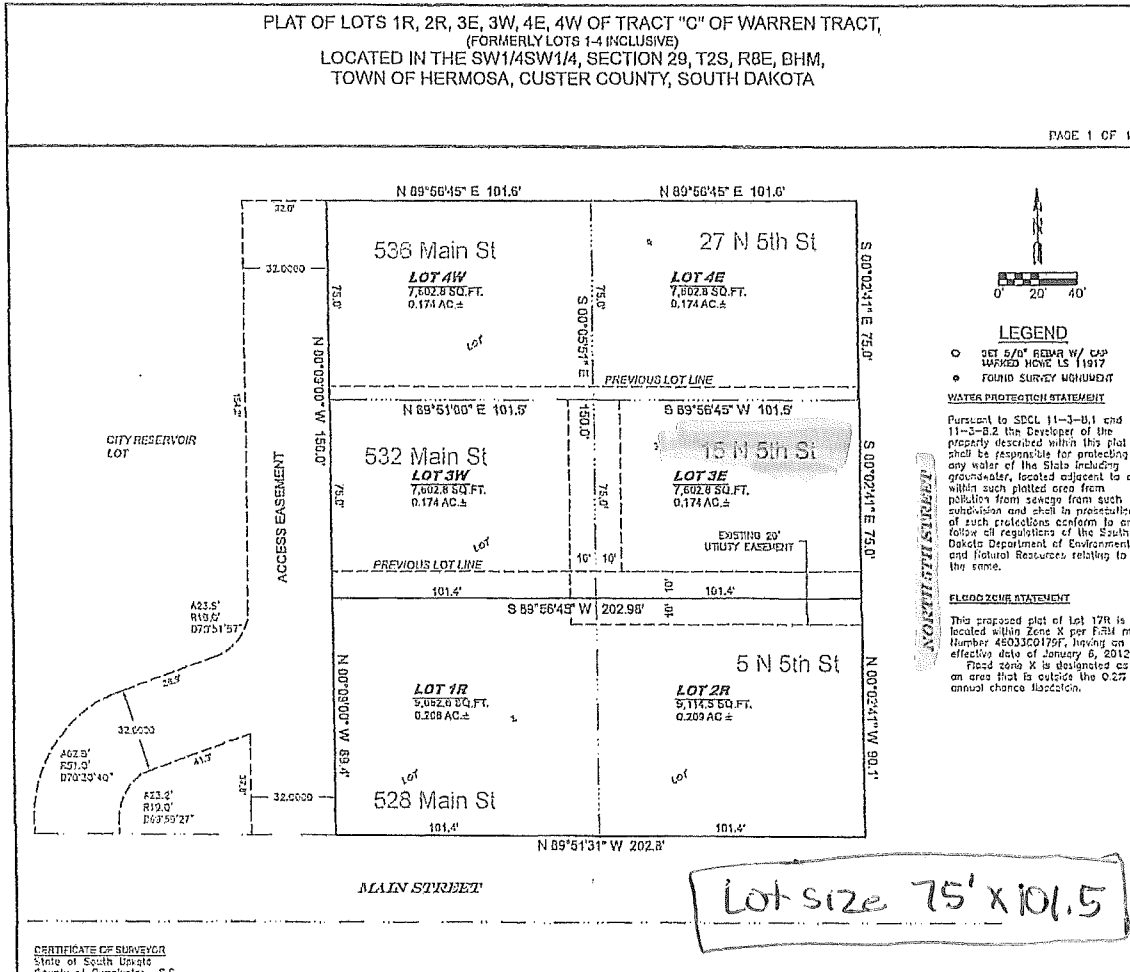
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015348

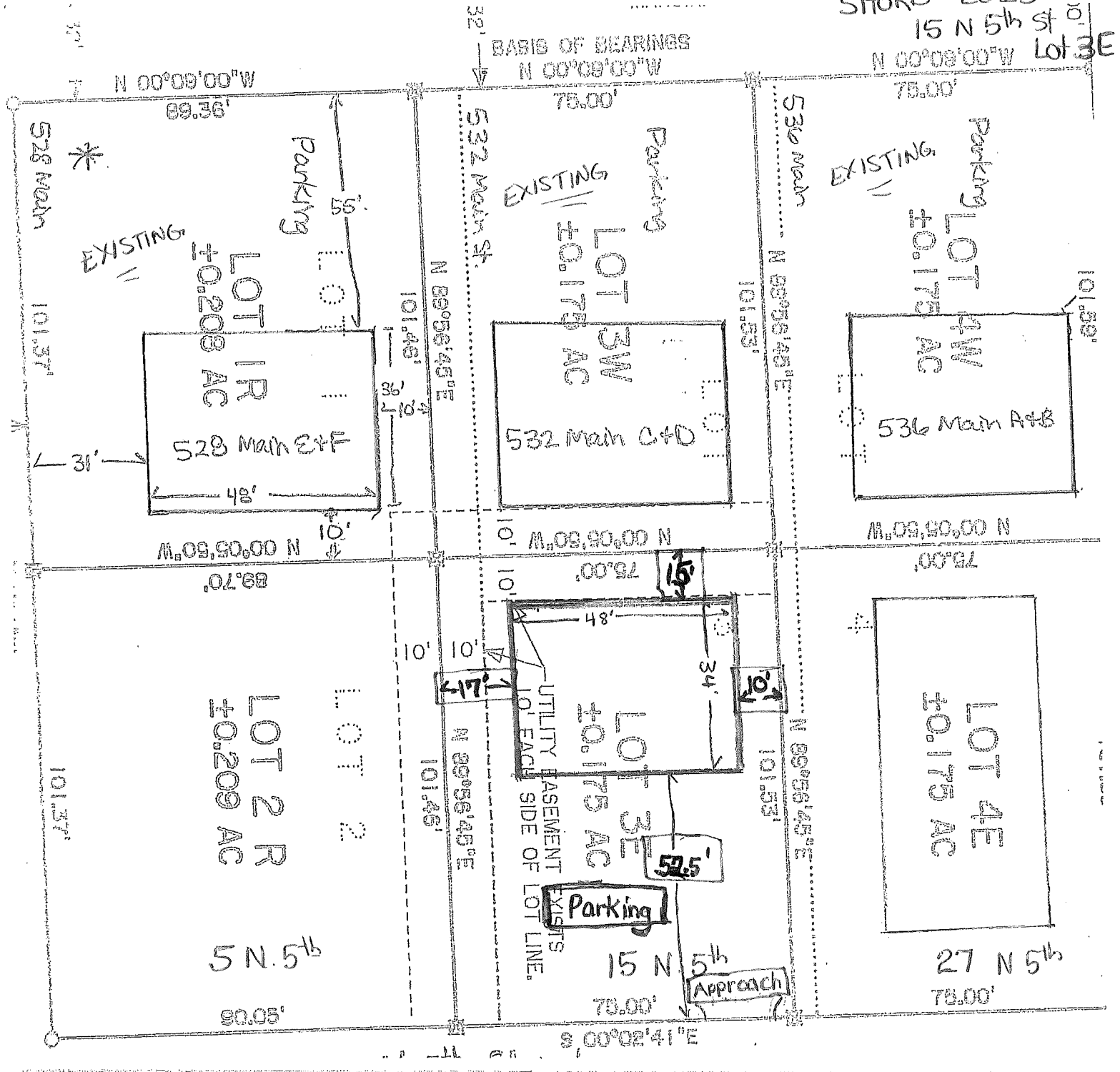
SHORB- 2023

Address: 15 N. 5th St.

Lot 3E
Duplex



SHORD 2023
15 N 5th St
Lot 3E



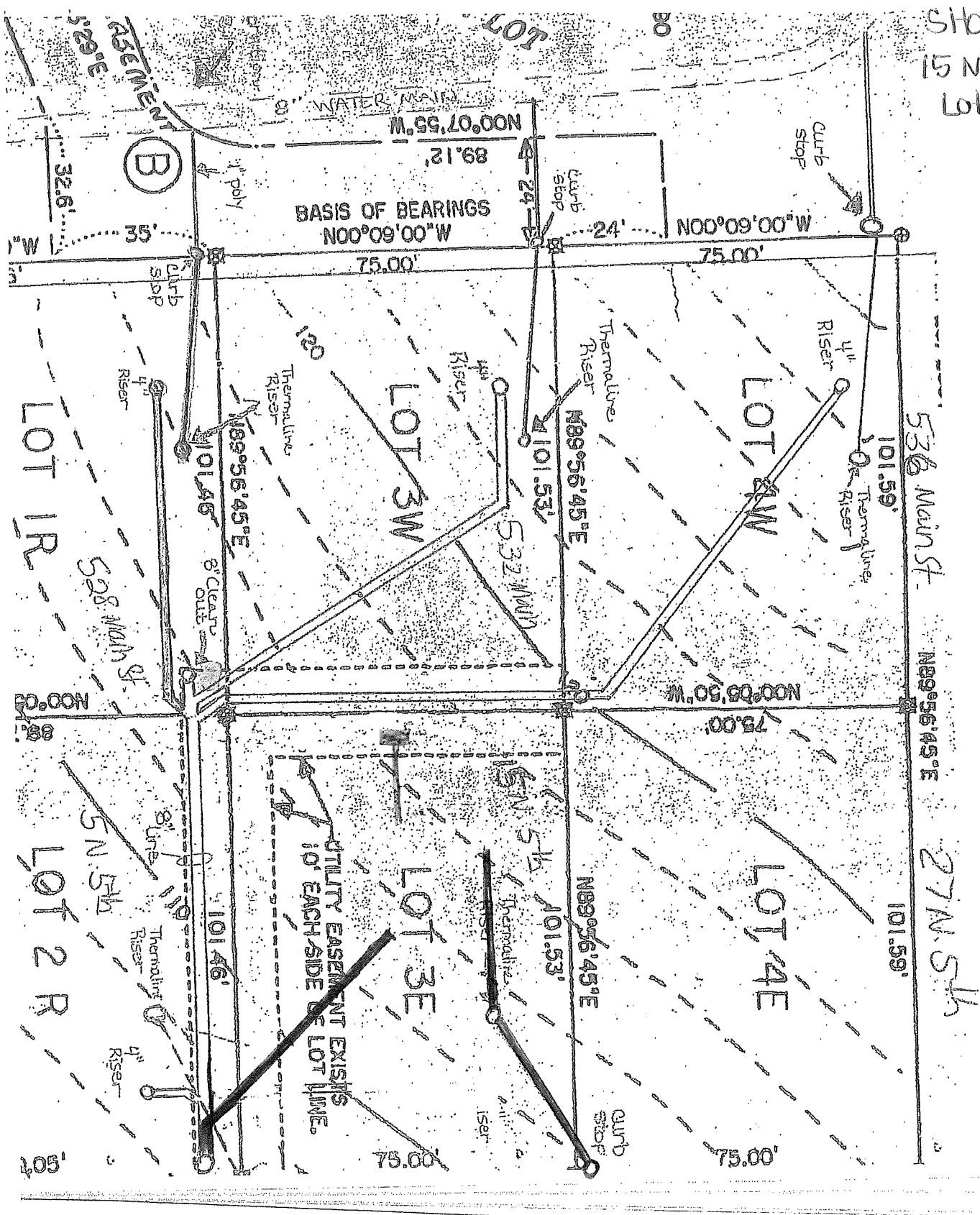
NORTH 5TH STREET



- EXISTING STRUCTURE
- Bldg location to Lot Lines
- set Backs

SHORB 2023
15 N 5th St.
Lot 3E
Duplex

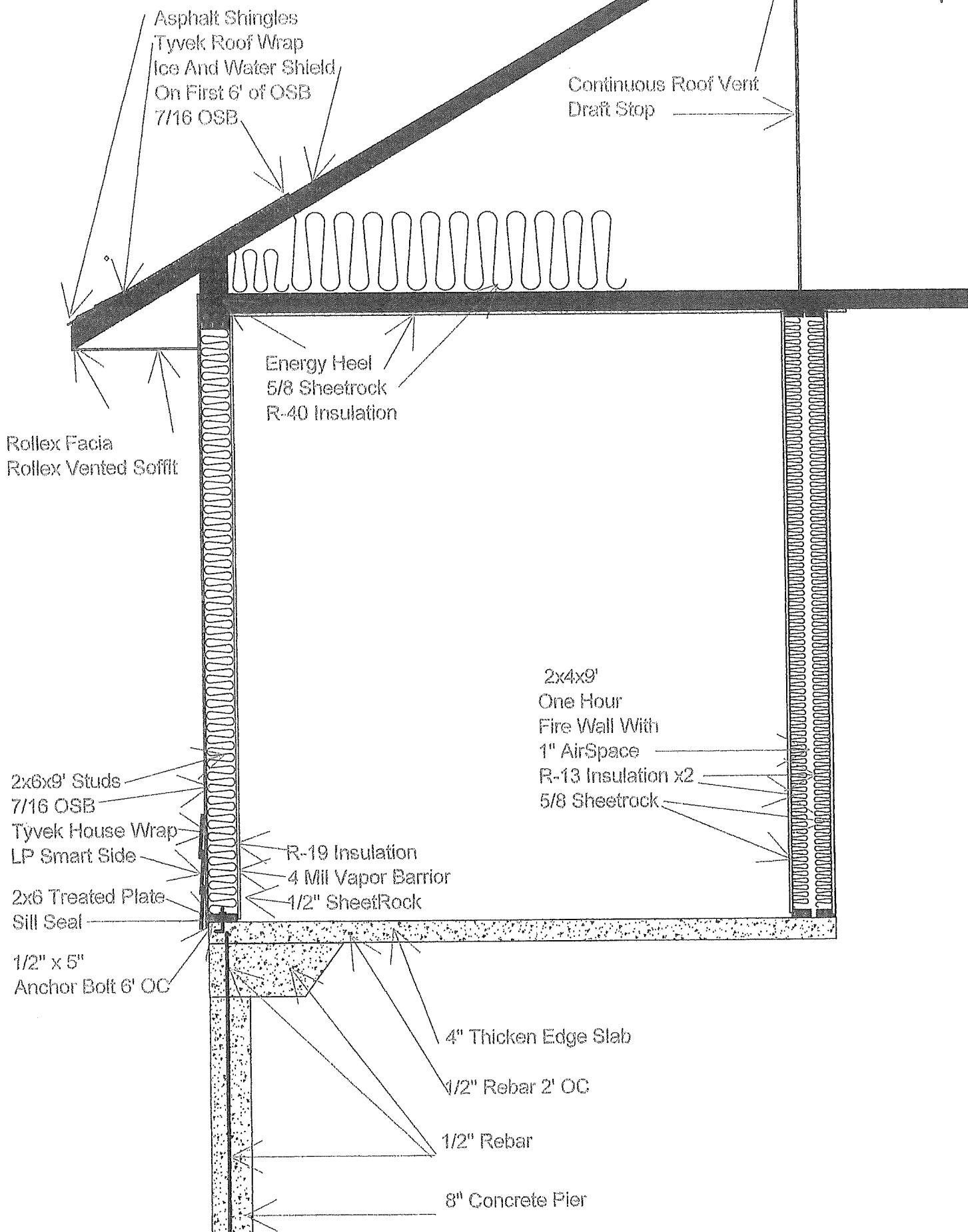
electrical
sewer
water



NORTH 5th STREET



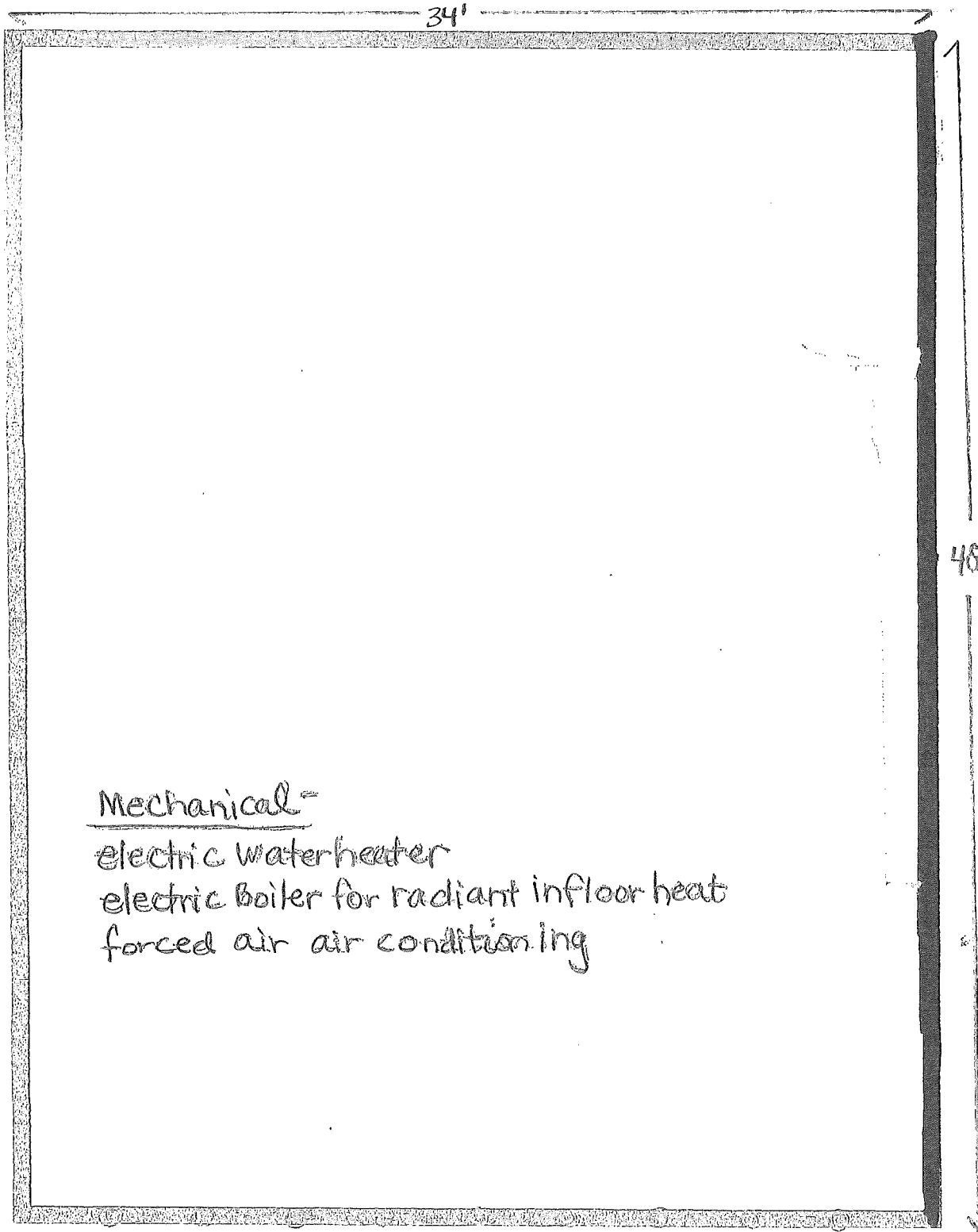
SHOKB- 2023
15 N. 5th St.
Lot 3E
Duplex



Shorb -15 N 5th St
2023

Lot 3E

Foundation plan



4" thickened Edge Slab
1/2" rebar 2' o.c.
8" Concrete piers 42"



STAFF REPORT

MUNICIPALITY: Town of Hermosa, 230 Main Street, Hermosa, SD 57744
PROJECT: Wade-Geo Aire Inc-Contractor
15 N. 5th St., Lot 3E, TRACT C of WARREN TRACT
Hermosa, SD
DATE: April 4, 2023
PERMIT NUMBER: 2023-11
REPORTED BY: Leah M. Berg, P.E.

ITEMS:

Conditions:

The site is located on the west side of N. 5th Street, second Lot from the corner of 5th & Main St. There is currently no house/structure on the Lot.

The applicant has submitted the following documents:

RESIDENTIAL BUILDING PERMIT APPLICATION
RESIDENTIAL SITE PLAN REQUIREMENT CHECKLIST
SAMPLE LOT SKETCH (RESIDENTIAL)
DIGGING/GRADING PERMIT
PRE-INSPECTION FORM
PLAT MAP(S) - UTILITIES
AIALER IMAGE – BEACON GIS
DUPLEX CROSS SECTION WALL DETAIL
DUPLEX FOUNDATION PLAN

Floodplain:

Based on the flood map overlay from BEACON, the lot does not include a floodplain.

Zoning: Zoning is R-1, ideal permitted uses for residential development such as STICK BUILT, OR MANUFACTURED HOMES

Water, Sewer, & Electrical Services:

Purposed routes for these utilities are indicated on a partial plat map. Provided pre-inspection form mentions that utilities are properly located on site.

Setbacks:

For R-1 zoning, the following setbacks are required:

Main Structure:

Front: 20 feet
Side: 10 feet Main Structure
Rear: 15 feet main

Accessory Structure:

Front yard unattached structures: 25 feet
Side yard unattached structures: 10 feet
Rear yard unattached structures: 5 feet

Setbacks were provided on the application, and the structure shown on the attached site plan appears to match the setbacks noted. Front setback is indicated to be 52' set back from the front property line, the north side setback is 10' while the south side setback is 17', and the rear setback as indicated on the application is 15'. The proposed building is single story, wood construction with a total square footage of 1,588'. No decks are purposed at this time for the building that will consist of two (2) units. Building is located close to center of the lot, but 15' from the west lot line. No details provided about the driveway other than a designator of parking area. Access to Lot in this area is by way of N. 5th Street by way of an indicated approach.

The total square footage of project provided on the application does appear to include main dwelling only. The lot coverage is less than 40% after accounting for these features – OK

Access:

Access will be from N. 5th Street by a driveway of aggregate or hardscape. No driveway details were provided.

Foundation:

The permit provided a sketched foundation detail to be constructed 34'x48' in size. Notes indicated with sketch callout 4" thick slab containing ½" rebar every 2' on-center, and 8" concrete piers 42" apart from one another.

- The contractor is responsible for sizing the foundation and any reinforcing required. No soils information is provided. The contractor is responsible for verification of soil bearing pressures for the foundation.

Comments:

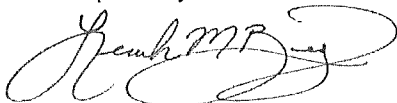
1. Contractor/builder to verify the existing utility service location will properly service the home, as necessary.
2. No structural evaluation was completed as part of this review.

Recommendations – Permit 2023-11:

Based on the application information, the permit does comply with the Town of Hermosa's requirements. Recommendation is to approve with the following stipulations:

1. Contractor to ensure setbacks are met.
2. Appropriate drainage must be maintained on the site. Sediment and erosion control measures must function and are the responsibility of the contractor to ensure there is no erosion and sediment transfer.
3. All disturbances must be stabilized with 30 days of completion of construction.
4. Contractors must be licensed in Hermosa and carry required insurance.
5. All construction must meet applicable code requirements as well as Town Ordinance requirements weather stated in this Staff Report or not.
6. All fees to be paid prior to issuing permit.
7. Applicable inspections must be performed by the Town of Hermosa.

Respectfully submitted,



Leah M. Berg, P.E.
LBerg@proacesinc.com

END OF STAFF REPORT

Copy: Town of Hermosa & G:\My Drive\Jobs\21-1144 Hermosa\21-1144c Permit Review\04-11-23 Meeting P&Z\2023-11 Shorb

§ 155.30 RESIDENTIAL DISTRICT (RS)

(A) *General description.* This district is to provide for residential development. The principal uses of land range from residences, to uses which are functionally compatible with residential uses, recreational, religious, educational facilities, and other related uses in keeping with the residential character of the district may be permitted on review by the governing body. All structures in the RS District will be stick built.

(B) *Permitted principal and accessory uses and structures.* Property and buildings in the Residential District (RS) area shall be used only for the following purposes:

(1) Detached single-family dwellings, but not including manufactured homes;

(2) Two-family dwellings;

(3) Temporary buildings for uses incidental to construction work, which buildings shall be immediately adjacent to said construction work;

(4) Transportation and utility easements, alleys, and rights-of-way; and

(5) Accessory uses and buildings, provided such uses are incidental to the principal use and do not include any activity commonly conducted as a business. Any accessory building shall be located on the same lot with the principal building.

(C) *Uses permitted on review.* The following uses may be permitted on review by the governing body in accordance with provisions contained in § 155.86.

(1) Churches or similar places of worship, with accessory structures, but not including missions or revival tents;

(2) Elementary or high schools, public or private;

(3) Public parks, playgrounds and playfields, greenways, and neighborhood and municipal buildings and uses in keeping with the character and requirements of the district;

(4) Libraries, museums, and historical monuments or structures;

(5) Public utilities, substations, and pumping stations, subject to § 155.55(C)(2);

(6) Golf courses or country clubs, with adjoining grounds of not less than 60 acres, but not including miniature courses and driving tees operated for commercial purposes;

(7) Medical facilities, except veterinary hospitals or clinics;

(8) Home occupations as regulated in § 155.64;

(9) Private daycare nurseries and kindergartens, as regulated in § 155.55(C)(3);

(10) A planned residential development as regulated in § 155.55(A); and

(11) Signs, as regulated in § 155.62.

(D) *Area regulations.* All buildings shall be set back from street right-of-way lines and lot lines to comply with the following line requirements. Setbacks may be reduced up to 10% with the approval of the Planning and Zoning Commission and the Board of Trustees.

(1) *Front yard.*

(a) For single, two-family dwellings the minimum depth of the front yard shall be 20 feet and in no case shall an accessory building be located to extend into the front yard.

(b) Churches and other main and accessory buildings, other than dwellings, shall have a front setback of 25 feet.

(2) *Side yard.*

(a) For dwellings, located on interior lots, there shall be side yards of not less than ten feet.

(b) For unattached buildings of accessory use there shall be a side yard of not less than eight feet.

(c) Churches and other main and accessory buildings, other than dwellings and buildings accessory to dwellings, shall set back from all side lot lines a distance of not less than 25 feet.

(3) *Rear yard.*

(a) For main buildings, there shall be a rear yard of not less than 15 feet.

(b) Unattached buildings of accessory use shall not be located closer to any rear lot line than five feet.

(4) *Intensity of use.*

(a) For each single-family dwelling and building accessory thereto, there shall be a lot area of not less than 7,500 square feet.

(b) For each two-family dwelling there shall be a lot area of not less than 7,500 square feet.

(c) For churches and other main and accessory buildings, other than dwellings and buildings accessory to dwellings, the lot area shall be adequate to provide the yard areas required by this section and the off-street parking areas required in § 155.59; provided, however, that the lot for a church shall not be less than 30,000 square feet.

(5) *Maximum lot coverage.* Main and accessory buildings shall cover not more than 40% of the lot area.

(E) *Height regulations.* No main building shall exceed two and one-half stories or 35 feet in height, except as provided in § 155.57.

(F) *Off-street parking.* As regulated in § 155.59.

(Ord. 10.6, passed 3-17-2009)

§ 155.31 RESIDENTIAL 1 DISTRICT (R1).

(A) *General description.* This district is to provide for residential development. The principal uses of land range from residences, to uses which are functionally compatible with residential uses, recreational, religious, educational facilities, and other related uses in keeping with the residential character of the district may be permitted on review by the governing body. All structures in the R1 District will be on a permanent foundation.

(B) *Permitted principal and accessory uses and structures.* Property and buildings in the Residential 1 District (R1) area shall be used only for the following purposes:

(1) Detached single-family dwellings, but not including manufactured homes under 24 feet wide;

(2) Two-family dwellings;

(3) Temporary buildings for uses incidental to construction work, which buildings shall be immediately adjacent to said construction work;

(4) Transportation and utility easements, alleys, and rights-of-way; and

(5) Accessory uses and buildings, provided such uses are incidental to the principal use and do not include any activity commonly conducted as a business. Any accessory building shall be located on the same lot with the principal building.

(6) Accessory dwelling units:

(a) One, and only one, accessory dwelling unit shall be allowed on any lot containing a single-family dwelling. An accessory dwelling unit shall not be allowed under § 155.54 on a lot that contains more than one dwelling unit. Both the ADU and the primary residence shall comply with state Building Code and Fire Code regulations for construction, minimum living space, fire exits and smoke alarms.

(b) Except as provided elsewhere in § 155.54, in order for a lot to be eligible for an accessory dwelling unit, the lot and all proposed structures and additions to existing structures shall conform to all zoning regulations as follows.

1. Any municipal regulation applicable to single-family dwellings shall also apply to the combination of a principal dwelling unit and an accessory dwelling unit including, but not limited to, lot area, yards, open space, off-street parking, building coverage, and building height.

(c) All accessory dwelling units shall comply with the following standards:

1. The principal dwelling unit and the accessory dwelling unit shall not be separated ownership (including by condominium ownership).

2. Either the principal dwelling unit or the accessory dwelling unit shall be occupied by the owner of the dwelling as his or her principal place of residence. The owner shall provide documentation demonstrating to the satisfaction of the city that one of the units is his or her principal place of residence.

(d) When the property is owned by one or more trusts, one of the dwelling units shall be the principal place of residence of the beneficiary(ies) of the trust(s).

(e) Neither the principal dwelling unit nor the accessory dwelling unit shall be used for any business, except that the property owner may have a home occupation use in the unit that he or she occupies as allowed or permitted elsewhere in this chapter.

(f) An attached accessory dwelling unit (AADU) shall comply with the following additional standards:

1. An interior door shall be provided between the principal dwelling unit and the accessory dwelling unit.

2. The accessory dwelling unit shall not have more than two bedrooms and shall not be larger than 800 square feet gross floor area. For the purpose of this provision, gross floor area shall not include existing storage space, shared entries, or other spaces not exclusive to the accessory dwelling unit. Minimum size is 200 square feet.

(g) Any exterior changes to the single-family dwelling shall maintain the appearance of a single-family dwelling. If there are two or more doors in the front of the dwelling, one door shall be designed as the principal entrance and the other doors shall be designed to appear to be secondary.

(h) A detached accessory dwelling unit (ADU) shall comply with the following additional standards:

1. In a General Residence district, the combination of the principal dwelling and the ADU shall comply with the minimum lot area per dwelling unit specified for the district.

2. The ADU shall not have more than two bedrooms and shall not be larger than 800 sq. ft. gross floor area; except that the maximum gross floor area shall be 1,000 sq. ft. if the lot area is two acres or more. Not covering more than 40% of available land.

3. The ADU shall be separated from the single-family dwelling by at least 20 feet.

4. One off-street parking space shall be required.

(i) Before granting a conditional use permit for an attached or detached ADU, the Planning Board shall make the following findings.

1. Exterior design of the ADU is consistent with the existing principal dwelling on the lot. The site plan provides adequate and appropriate open space, landscaping, and off-street parking for both the ADU and the primary dwelling.

2. The ADU will maintain a compatible relationship to adjacent properties in terms of location, design, and off-street parking layout, and will not significantly reduce the privacy of adjacent properties.

3. The ADU will not result in excessive noise, traffic, or parking congestion.

(j) A certificate of use issued by the Planning Department is required to verify compliance with the standards of this section, including the owner occupancy and principal residency requirements. Said certificate shall be issued by the Planning Department upon issuance of a certificate of occupancy by the Inspection Department.

(7) Planned unit development:

(a) Tiny house subdivision: A subdivision of land which promotes the development of tiny houses 200 to 800 square feet as a primary residential dwelling unit.

(b) Tiny homes, built as a two-story structure (maximum 30 feet) may be allowed in a planned unit development.

(c) Tiny house subdivision standards:

1. Tiny house subdivisions will consist of individual dwelling structures 200 to 800 square feet. The purpose of small lot subdivision is to encourage affordable housing, infill development and sustainable practices. All PUD and subdivision standards shall apply to tiny home subdivisions. Additional standards are required as follows: tiny house subdivisions can occur in R2 zoning.

2. Tiny house subdivisions may only be approved with the review and approval of a planned unit development (PUD) conditional use process.

3. Small lot subdivisions are not condominiums, multi-family, mobile homes or recreational vehicles. Properties are titled in fee simple.

4. Small lot homes must be structurally independent, with no shared foundations or common walls.

5. Lot size will be relative to accommodate the square footage of the tiny home; minimum lot size to accommodate a 400 - 800 square foot house is 1,600 square foot lot.

6. Side setbacks will be five feet and rear setbacks are ten feet.

7. Fifty percent open space is required.

8. Parking density; two on-site parking spaces per lot.

9. Tiny homes are required to connect to City of Hermosa water and sewer service lines.

10. These are private residential homes; not seasonal and not intended for commercial use.

11. Tiny houses must be built to all applicable adopted UBC Codes, ordinances and zoning regulations as stated in §§ 155.30, 155.31, 155.32, 155.37 and 155.39.

(C) *Uses permitted on review.* The following uses may be permitted on review by the governing body in accordance with provisions contained in § 155.86:

(1) Churches or similar places of worship, with accessory structures, but not including missions or revival tents;

(2) Elementary or high schools, public or private;

(3) Public parks, playgrounds and playfields, greenways, and neighborhood and municipal buildings and uses in keeping with the character and requirements of the district;

(4) Libraries, museums, and historical monuments or structures;

(5) Public utilities, substations and pumping stations, subject to § 155.55(C)(2);

(6) Golf courses or country clubs, with adjoining grounds of not less than 60 acres, but not including miniature courses and driving tees operated for commercial purposes;

(7) Medical facilities, except veterinary hospitals or clinics;

(8) Home occupations as regulated in § 155.64;

(9) Private daycare nurseries and kindergartens, as regulated in § 155.55(C)(3);

(10) A planned residential development as regulated in § 155.55(A); and

(11) Signs, as regulated in § 155.62.

(D) *Area regulations.* The area regulations are the same as provided for in § 155.30(D);

(E) *Height regulations.* The height regulations are the same as provided for in § 155.30(E); and

(F) *Off-street parking.* As regulated in § 155.59.

(Ord. 10.6, passed 3-17-2009; Ord. passed 4-19-2022)

RECEIPT

DATE 1-31-18 No. 405885RECEIVED FROM Bridget Shorb \$ 100.00one hundred & no/100 DOLLARS FOR RENT CL 2018-08 Permit 2018-04

ACCOUNT		<input type="checkbox"/> CASH	
PAYMENT	<u>100.00</u>	<input checked="" type="checkbox"/> CHECK	<u>4800</u> FROM _____ TO _____
BAL. DUE		<input type="checkbox"/> MONEY ORDER	
		<input type="checkbox"/> CREDIT CARD	BY <u>[Signature]</u>

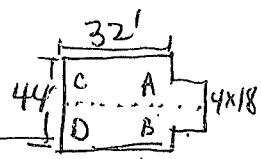
COPY
2018-04* DATE 1-31-18

Receipt#	Cash	Check#	Amount
----------	------	--------	--------

PLEASE INCLUDE TO SCALE DRAWINGS

APPLICATION SUBMITTED BY:Property Owner Name(s): Wade + Bridget ShorbMailing Address P.O. Box 243City Hermosa State SD Zip 57744Phone # Home 255-4548 Work Wade 390-6192 Bridget 390-6193Building address if different than mailing address: Lot ~~1~~¹⁻² on N^{5th} St.LEGAL DESCRIPTION:Subdivision name: Lot on N. 5th St. Lot# 1-2 Block _____ Lot size 100 x 101.28 Lot 2
99.53 x 101.53 Lot 1Zoning District Residential Is this property in the Flood Plain? Yes _____ No

Tract C of Warren Tract located in SW 1/4 SW 1/4 SEC 29 T2S, R8E, BHM

CLASS OF WORK TO BE DONE:New structure Demolition _____ Remodel _____ Addition _____Residential: Single Family _____ Accessory _____ Multi-Family Proposed Use Building: multi-family unitsBuilding Area (Sq. Ft.): 2,960 Height: 16' # of Units: 4No. of Stories: 2 No. Bathrooms: 4 Deck: 2 Deck Area (Sq. Ft.): 20 sq ft each 4x5SETBACKS FROM LOT LINES: FEET CITY MINIMUM

* Front	<u>81.28'</u>	(20')
Rear	<u>81.27'</u>	(8')
Sides	<u>15' from North</u>	(10')
	<u>8' from South</u>	

6128019281

FYI

COPY

TOWN OF HERMOSA

BUILDING FEE CALCULATIONS

Shorb, Wade & Bridget

3/8/2018

Permit #2018-04

Lot 4W Tract C of Warren Tract

Occupancy & Type	Cost per Sq Ft	Regional Modifier	Const Value per Sq Ft
Single Family Residential	\$ 67.30	\$ 0.84	\$ 56.53
Residential Finished Basement	\$ 20.10	\$ 0.84	\$ 16.88
Residential Unfinished Basement	\$ 14.60	\$ 0.84	\$ 12.26
Deck	\$ 8.80	\$ 0.84	\$ 7.39
Covered Deck/Porch/Shed	\$ 12.85	\$ 0.84	\$ 10.79
Carport	\$ 16.60	\$ 0.84	\$ 13.94
Garage	\$ 24.30	\$ 0.84	\$ 20.41
Mfg. Mobile, Modular	\$ 30.00	\$ 0.84	\$ 25.20
Multi-family Residential	\$ 72.30	\$ 0.84	\$ 60.73
Commercial	\$ 72.30	\$ 0.84	\$ 60.73

VALUATION CALCULATIONS

Shorb, Wade & Bridget

03/08/18

Item Description	Sq Ft	Sq Ft Value	Total
Single Family Residential	-	\$ 56.53	\$ -
Residential Finished Basement	-	\$ 16.88	\$ -
Residential Unfinished Basement	-	\$ 12.26	\$ -
Deck	80	\$ 7.39	\$ 591.36
Covered Deck/Porch/Shed	80	\$ 10.79	\$ 863.52
Carport	-	\$ 13.94	\$ -
Garage	-	\$ 20.41	\$ -
Mfg. Mobile, Modular	-	\$ 25.20	\$ -
Multi-family Residential	1,588	\$ 60.73	\$ 96,442.42
Commercial	-	\$ 60.73	\$ -
			TOTAL \$ 97,897.30

X

FYI

COPY

TOWN OF HERMOSA

BUILDING FEE CALCULATIONS

Shorb, Wade & Bridget

4/9/2019

Permit #2019-05

Lot 3W Tract C of Warren Tract

Occupancy & Type	Cost per Sq Ft	Regional Modifier	Const Value per Sq Ft
Single Family Residential	\$ 67.30	\$ 0.84	\$ 56.53
Residential Finished Basement	\$ 20.10	\$ 0.84	\$ 16.88
Residential Unfinished Basement	\$ 14.60	\$ 0.84	\$ 12.26
Deck	\$ 8.80	\$ 0.84	\$ 7.39
Covered Deck/Porch/Shed	\$ 12.85	\$ 0.84	\$ 10.79
Carport	\$ 16.60	\$ 0.84	\$ 13.94
Garage	\$ 24.30	\$ 0.84	\$ 20.41
Mfg. Mobile, Modular	\$ 30.00	\$ 0.84	\$ 25.20
Multi-family Residential	\$ 72.30	\$ 0.84	\$ 60.73
Commercial	\$ 72.30	\$ 0.84	\$ 60.73

VALUATION CALCULATIONS

Shorb, Wade & Bridget

04/09/19

Item Description	Sq Ft	Sq Ft Value	Total
Single Family Residential	-	\$ 56.53	\$ -
Residential Finished Basement	-	\$ 16.88	\$ -
Residential Unfinished Basement	-	\$ 12.26	\$ -
Deck	80	\$ 7.39	\$ 591.36
Covered Deck/Porch/Shed	80	\$ 10.79	\$ 863.52
Carport	-	\$ 13.94	\$ -
Garage	-	\$ 20.41	\$ -
Mfg. Mobile, Modular	-	\$ 25.20	\$ -
Multi-family Residential	1,588	\$ 60.73	\$ 96,442.42
Commercial	-	\$ 60.73	\$ -
TOTAL			\$ 97,897.30

Ron Bengs

Preston.

From: bridget shorb <bshorb@hclnet.net>
Sent: Sunday, June 13, 2021 11:19 PM
To: Ron Bengs; gall@hermosasd.com; ian@rennerassoc.com; Johnpreston0555@gmail.com; geoalre95@gmail.com
Subject: Easement and Annexation

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

To Town of Hermosa;

We, on behalf of Clifford and Mary Shorb, do agree to grant the Town of Hermosa a strip of land for an easement to run water and sewer lines to the north to the Preston development. We also agree to grant the Town of Hermosa annexation of this strip of land only. We are asking for this strip of land for easement and annexation be no wider than necessary to fit the water and sewer lines as close to the REA underground line as possible. This strip of land shall be no more than 25' from the east property line.

In exchange for the easement, we, on behalf of Clifford and Mary Shorb, are asking for water and sewer tap fees paid for future use at this property and stubbed onto the property during construction, for itself and its heirs and successors and attached to this property for future use. Any and all surveying, platting or cost to do this will be at the expense of the Town of Hermosa or Preston Development and no expenses shall be incurred by Clifford or Mary Shorb. Also, any work done on this property is to be cleaned up, ground leveled and reseeded when project is completed. All water and sewer taps will have corporation stops on main and curb stop stubbed onto property line with location to be determined during construction.

We, on behalf of Heartland Storage, LLC, do agree to grant the Town of Hermosa a strip of land for an easement to run water and sewer lines to the north to the Preston development. We also agree to grant the Town of Hermosa annexation of this strip of land only. We are asking for this strip of land for easement and annexation be no wider than necessary to fit the water and sewer lines as close to the REA underground line as possible. This strip of land shall be no more than 25' from the east property line.

In exchange for this easement, Heartland Storage LLC, is asking for water and sewer tap fee paid for and stubbed on to property during construction located at Heartland Storage, LLC, for future use, for itself and its heirs and successors and attached to this property for future use. We are also asking for 3 water and sewer tap fees paid for and located at Wade and Bridget Shorb property at Preston Development, also at this location we are asking for property to have the ability to be zoned commercial for future use, we are also asking for water and sewer tap fees paid for and located at lots 6 and 10 empty lot on N. 5th Street. We are also asking for the Town of Hermosa to deed us a piece of land up by the water towers to use as a parking lot for our 3 duplexes and for the Town of Hermosa to assume responsibility and maintenance over the "Tower Road". Any and all surveying, platting or cost to do this will be at the expense of the Town of Hermosa or Preston Development and no expenses shall be incurred by Heartland Storage, LLC or Wade and Bridget Shorb. Also, any work done on this property is to be cleaned up, ground leveled and reseeded when project is completed. All water and sewer taps will have corporation stops on main and curb stop stubbed onto property line with locations to be determined during construction.

Thank you,

Wade and Bridget Shorb

June 15, 2023

LEGAL: Discussion regarding well rehab closeout procedure moved to Executive Session.

ENGINEER: Water Rehab Project, moving forward in Executive Session; N Second Street Box Replacement, project being finalized, Holsworth to discuss concerns with DOT regarding the crown, gravel, edges, citizen's driveway issue; Lone Coyote Subdivision (Preston Sub) Plat Application – permit 2021-18. Preliminary to PZ on June 22. Shorb's have allowed a 25-foot easement across their property to allow Preston to be able to annex. They have requested to be granted town property in front of the Main Street duplexes. Details need to be addressed. Motion made and seconded to request ACES Engineering to create a map to provide where the 25-foot easement will be with the legal description of that easement to be going across properties to Preston Family Development with the agreement to provide water and sewer services to the development with the annexation by Preston and the Agreement with the Town of Hermosa; unanimous. Motion made and seconded to accept the Agreement made by the Shorb's, except for the transfer of the Tower Road property with details to be worked out; unanimous. Motion made and seconded to have Attorney Johnson send a letter to Southern Black Hills Water informing them of the plans for Hermosa to service the Preston Family Development with water and sewer on private easement; unanimous. Southern Hills Campground Permit Application – Permit 2021-06, pending. Hermosa Sidewalk Project: final plans have been submitted to DOT for review. DOT will determine the bid letting date. Motions made at previous meeting for water and sewer projects. Holsworth will be putting data together for the proposals for the lagoon and there will also be a Facility Plan for Bill Lass, prepared to go to DANR. Within two weeks, the request for proposals will be given to the engineering firms for their bid. Harris explained the Transportation Alternatives Grant process and advised the town to delay submitting until other projects have been completed.

PUBLIC WORKS: Ferguson reported there are potholes to be repaired. No report on streetlights. Will pull quarterly sample next week. Water consumption is high. Boosters are being installed. Ferguson working on the old well – pulling the old pump and will be checking for water quality. Ferguson asked to have boosters in and provide a report on the old well at the next meeting. Neugebauer's are requesting the town install a permanent suction pipe in at the lagoon. Ferguson researching for the correct product to use. Citizens called to inform town they had no water. Investigation concluded the Fire Department crew were washing vehicles. Motion made and seconded to send letter to the Chief with water usage and other concerns; unanimous.

FINANCE OFFICE: Monthly financials were provided. Motion made and seconded to approve payment for Waltman's past invoices with the request he provide monthly time sheets/invoices; unanimous. Water/sewer increase discussion to include Boddicker putting together revised water and sewer increase data for board review on July 6 meeting.

PLANNING & ZONING: Board reviewed June 8, 2021, P&Z minutes, no action. Permit 2021-06, Southern Hills RV Park, Digging/Water/Wastewater- Offsite improvement only, pending. P&Z Board Vacancy: Motion made and seconded to appoint Brett Thomasen as Trustee on the Planning and Zoning Board; unanimous. Motion made and seconded to approve Permit #2021-15 – 214 Donna St. Floodplain per Claycomb's Staff Report; unanimous. Permit 2021-17- 30 N. Ferguson St. Informational Permit for fund raiser event at Pop's Grocery; no action.

NEW BUSINESS: G&G Subdivision, Lots 3 & 4, East Main Street: Hunsaker attended to inform board in 2011, the town board approved a final plat for Lots 3 & 4 on his East Main property; however, the mylar was not filed with Custer County. Hunsaker needs the correct legal document and requested town to assist him with expenses associated with getting another mylar. Motion made and seconded to proceed with requesting ACES Engineering to help with this project; Hunsaker will pay half the expenses if this proceeds quickly; unanimous.

ITEMS FROM CITIZENS: None.

TRUSTEE INPUT: Schumack – good meeting, thanks to all for their support at the fund raiser; King – happy to have a new board and looking forward to accomplishments; Holsworth – thanks to King for his laborious effort and time he provided to dismantle the playground equipment. Thanks to the citizens for their vote.

EXECUTIVE SESSION: Motion made and seconded to go into Executive Session at 9:25 allowable by SDCL 1-25-2.1 Personnel; unanimous. Motion made and seconded to exit executive session at 9:45; unanimous. Motion made and seconded to allow Attorney to send Weston Engineering the well rehab closeout documents; unanimous. Motion made and seconded to adjourn at 9:46 pm; unanimous.

Dan Holsworth, Town Board President

ATTEST:

Gail Boddicker, Finance Officer

Published once at the approximate cost of ___

RESIDENTIAL BUILDING PERMIT APPLICATION

(This Building Permit is Valid for One Year – Please See Page 3 for Exceptions)

9 E.

DATE 3-20-23

PERMIT # 2023-12

Receipt # _____ Cash _____ Check # 3226 Amount 75.00 (\$75.00)

** PLEASE INCLUDE TO-SCALE DRAWINGS **

Is Property in the Flood Plain? _____ Yes No Zoning District R1

IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

APPLICATION SUBMITTED BY:

Property Owner Name(s) G + G Development
 Mailing Address Berk 212
 City Hermosa State S.D Zip 57744
 Email Cary Hungate 52 @ G. mail
 Phone # Home _____ Cell 605-484-6762 Work 605-484-6762

LEGAL DESCRIPTION

Subdivision name: lot 62 Walnut Lot # 165 Block 1 of 4 Lot Size 10,687.5
 Zoning District R2 Is this property in the Flood Plain? Yes _____ No
 Building address: 175 N. Wilder Blvd, Hermosa S.D 57744

CLASS OF WORK TO BE DONE

New structure Demolition _____ Remodel _____ Addition _____
 Residential: Single Family Accessory _____ Multi-Family _____
 Proposed Use Building: Single Family Dwelling
 Building Area (Sq. Ft.): 2168 ^{hobby 1472} ^{garage 894} ^{Deck 168} Height: 13' # of Units 1
 No. of Stories: 1 No. of Bathrooms: 2 Driveway 500 Deck: 2 Deck Area (Sq. Ft.): 168

SETBACK FROM LOT LINES:

FEET

CITY MINIMUM

Applicable Zoning District

Front	<u>23 ft</u>		(20'/25')
Rear	<u>57.5 ft</u>		(5'/8'/15')
Sides	<u>13.5 ft</u>		(8'/10'/25')

Setbacks			
Primary	Front	Sides	Rear
RS	20ft	10ft	15ft
R1	20ft	10ft	15ft
R2	20ft	10ft	15ft

Accessory Buildings			
Primary	Front	Sides	Rear
RS	**	8ft	5ft
R1	**	8ft	5ft
R2	**	8ft	5ft

Mobile Home Park		
Front	Sides	Rear
20ft	8ft	15ft

**IN NO CASE SHALL AN ACCESSORY BUILDING BE LOCATED TO EXTEND IN FRONT YARD.

Parcel # 0157127 OFFICE USE ONLY

TYPE OF CONSTRUCTION

Wood Concrete _____ Block _____ Brick _____ Modular _____ Other _____

FOUNDATION

Thickness of Foundation 8" x 4' Thickness of footings 8" Width of Footings 16' Depth _____
Pier Foundation System: _____ Diameter of pier _____ Spacing of pier _____

CONTRACTOR INFORMATION

Contractors must all be registered with the Town of Hermosa

General Contractor
(Project POC/responsible party): G+6 Development Phone: 605-484-6762

Structural Contractor: G+6 Development Phone: 605-484-6762

Electrical Contractor: Lawner Elec. Phone: 605-381-0062

Plumbing Contractor: Callahan Plumbing Phone: 605-391-1711

Heat/Mechanical Contractor: Humps Heat & Air Phone: 605-209-0880

Excavation Contractor: Ferguson Const Phone: 605-370-0045

Are there any of the following on site: Hazardous materials Yes _____ No
Lead paint Yes _____ No
Asbestos Yes _____ No

Does the building have a Historical Designation: Yes _____ No

Current utilities on site: Gas Water Electricity Municipal Sewer Septic

Proposed utilities: all the above

Describe Work: Graveling

TOTAL COST ESTIMATE OF IMPROVEMENTS: \$ 200,000 less 40% = 120,000.

TOTAL SQUARE FOOTAGE OF PROJECT: House, garage, deck - 2234
driveway - 506
2740

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com


Every permit issued by the Planning Department under the provisions of this code shall expire by limitation and become null and void if the building or the work authorized by such permit is not commenced within 12 months from the date of such permit or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of one year. If so, before such work can be re-started, an extension of the permit shall be first obtained to do so, and a service charge of \$35.00 shall be required, provided no changes have been made or will be made in the original plans and specifications for such work.

In filing this application, I hereby grant to the Hermosa Planning & Zoning commission, and the Hermosa Town Board, and their designee(s), permission to inspect any and all structures and land involved in my application for the purpose of ascertaining compliance with the ordinance of the Town of Hermosa and the State of South Dakota which permission shall continue so long as the application or an appeal there-on is pending. It is my responsibility to ensure the presence of the Town Maintenance Supervisor during water and sewer connections.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

I understand Permit application fees are due upon submittal and are **non-refundable**. I understand **incomplete plans will be returned to applicant for resubmission**. Final fees are based upon building calculations and are due and payable when permit has been approved. Permits are reviewed by the town engineer; those expenses will be included with the permit fees and applicant will be responsible for those expenses.


A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BEFORE OCCUPYING STRUCTURE.



Signature(s) of Owner(s) (If Owner Builder)

3-20-23

Date



Signature(s) of Contractor/Authorized Agent

3-20-23

Date

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT

PLANNING AND ZONING COMMISSION	HERMOSA BOARD OF TRUSTEES
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
NAME: _____	NAME: _____
TITLE: _____	TITLE: _____
SIGNATURE: _____	SIGNATURE: _____
DATE: _____	DATE: _____
APPLICATION FEE: \$75.00 DATE PAID: _____	DATE PERMIT ISSUED: _____

RESIDENTIAL SITE PLAN REQUIREMENTS

****REQUIRED**** - PLEASE NOTE: Incomplete plans will be returned to applicant for resubmission.

As per zoning ordinance do not cover more than 40% of lot.
General Site plan drawn to scale (1" = 20" preferred)

- 1. Show scale
- 2. Show North arrow
- 3. Lot dimensions, property lines
- 4. All existing structure and their distances to property lines
- 5. All new structures and distances to property lines (**VERIFY SETBACKS**)
- 6. Additions to existing structure and distances to property lines (**VERIFY SETBACKS**)
- 7. Building dimensions
- 8. Adjacent roads
- 9. Driveways
- 10. Parking spaces – if applicable
- 11. Show location of - Utilities, electric, water, sewer
- 12. Well location – if applicable
- 13. Septic location – if applicable
- 14. Footing and Foundation Plan *
- 15. Other _____
- 16. Other _____

Additional information that may be required

- B. Complete Mechanical Floor Plan
- C. Wall Section and Full Sections
- D. Open water areas, (streams, creeks, and natural drainage ways)
- E. Are you in the Flood Plain?

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

Is Property in the Flood Plain? Yes No Zoning District R1

IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

DIGGING/GRADING PERMIT

DATE 3-27-23

PERMIT # 2023-12

Receipt # _____ Cash _____ Check # _____ Amount ^{CK#} 3226 ^{50⁰⁰} (\$50.00) up to 100CY
\$20.00 each additional 100 CY

Name St G Development
Lot Address lot V 175 N Wilder Blvd
Mailing Address Box 212 Hermosa SD Email gorg@hustaker52@gmail.com
Legal Description _____
Telephone # 605-484-6762 Cellphone # _____
Contractor Carlton Galtman Ferguson Supt Phone# 605-390-0045

Contractors must all be registered with the Town of Hermosa

All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not presume to give authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other local law or ordinance regulating construction or the performance of construction in the Town of Hermosa.

Sketch and/or describe work: (use separate sheet, or attach grading plan)

Will grading operation be located in the floodplain? _____ Yes No
If yes, have ordinance requirements been met? _____ Yes No
Will drainage patterns be altered? _____ Yes No
Will grading operation take place in a geologically hazardous area? _____ Yes No
If yes, have proper precautions been taken? _____ Yes No

Quantity of Grading or Excavation: 15 Cubic Yards Area to be disturbed by proposed work: .05 acres

Identify types of erosion control to be applied: None

Source/Destination of materials: Crunchy & Coarsons

Provide traffic control per Manual on Uniform Traffic Control Devices.

Hard route: Does not apply

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached. _____ Yes _____ No N/A

This permit will expire one year from date of issuance.

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Relationship to Property: _____ Owner _____ Contractor _____ Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

Signature

Date

PLANNING AND ZONING COMMISSION

Approved Denied

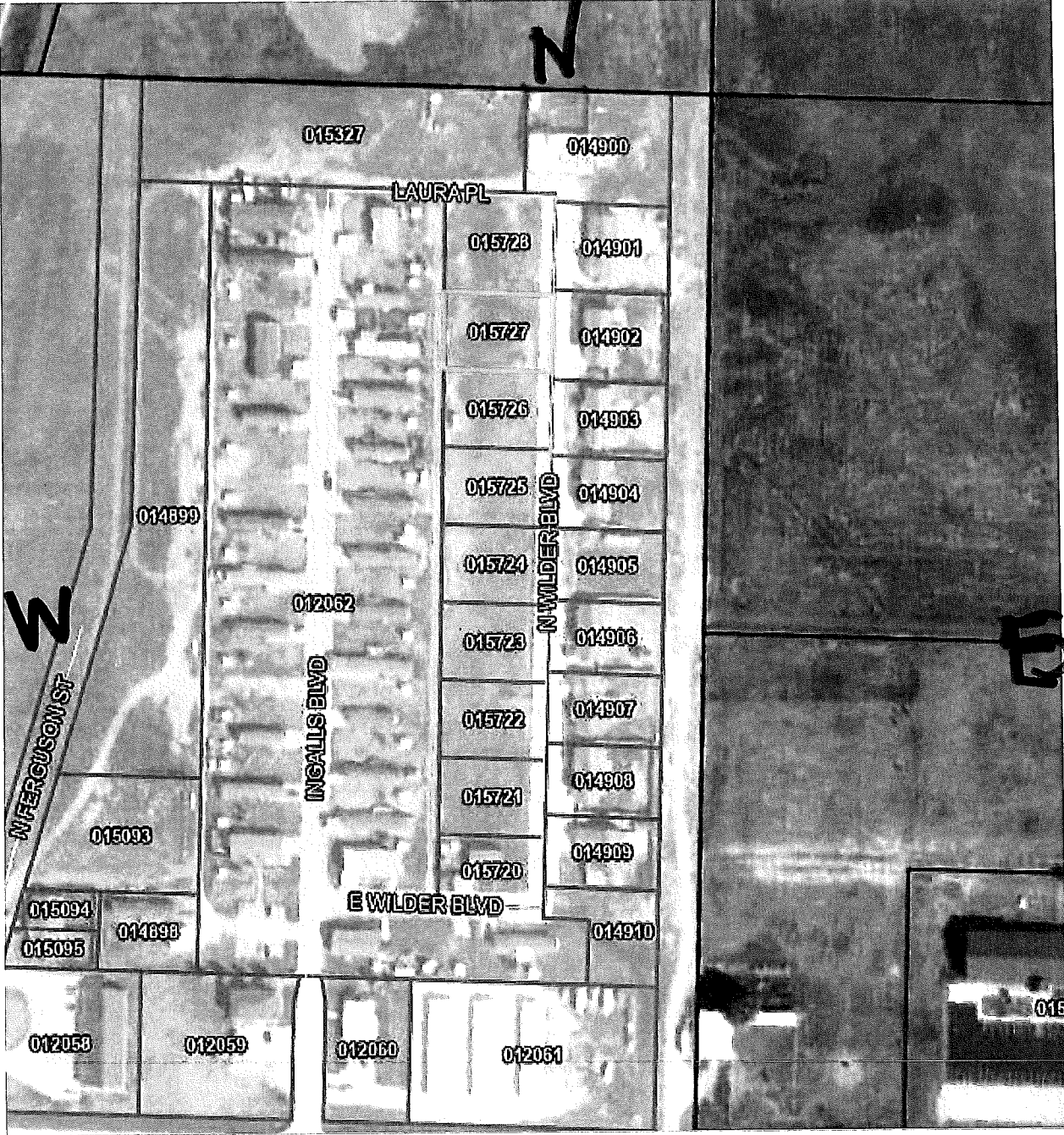
NAME: _____
TITLE: _____
SIGNATURE: _____
DATE: _____
APPLICATION FEE: \$50.00 DATE PAID: _____

HERMOSA BOARD OF TRUSTEES

Approved Denied

NAME: _____
TITLE: _____
SIGNATURE: _____
DATE: _____
DATE PERMIT ISSUED: _____

Parcel # D15727 OFFICE USE ONLY



Alternate ID n/a
 Class Residential
 Acreage 0.3

S

Owner Address G & G DEVELOPMENT, LLC
 PO BOX 212
 HERMOSA, SD 57744-0212

015727
Revised

Town of Hermosa

PO Box 298 * 230 Main St. Hermosa, SD

605-255-4291

Email: town@hermosasd.com

Pre-Inspection Form

To be retained in permanent file

Customer Name	Permit #	Date
Gary Hunsaker	2023-12	3-27-2023

Site Address	Parcel #
165 W. Wilder	015724

MUST MEET ALL PERMIT REQUIREMENTS

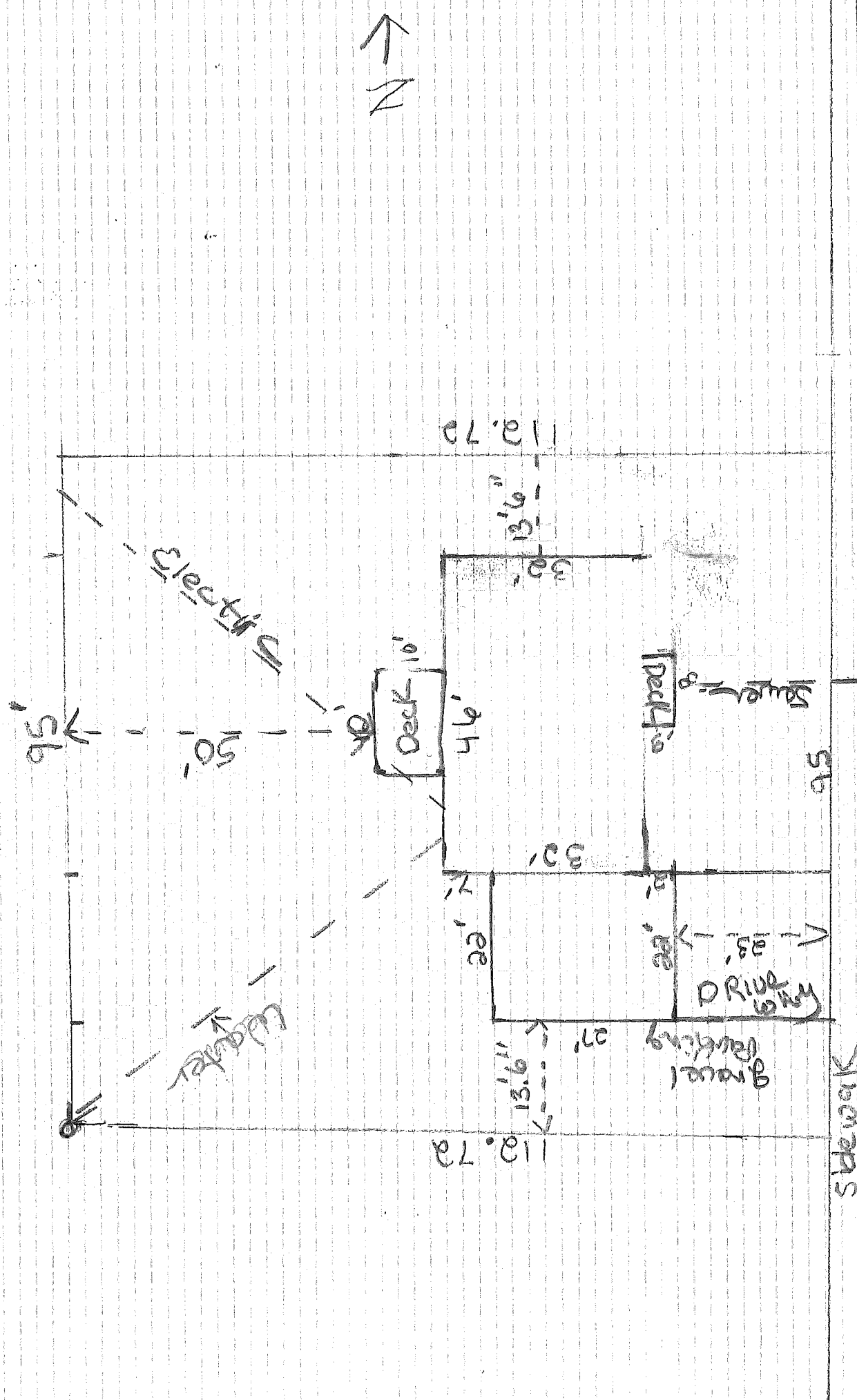
Inspection

1. Walked site YES
2. Lot measurement 95 x 112.72
3. Lot usage _____ (40%)
4. Suitability of lot for proposed construction GOOD
 - A. Fill needed NO
 - B. Excavation/Trenching needed YES
5. Utilities properly located on lot YES
6. Check for any easements YES
7. Check for Pins or Survey YES
8. Drainage OK

Inspection Notes

Inspectors Signature
Chuck Ferguson

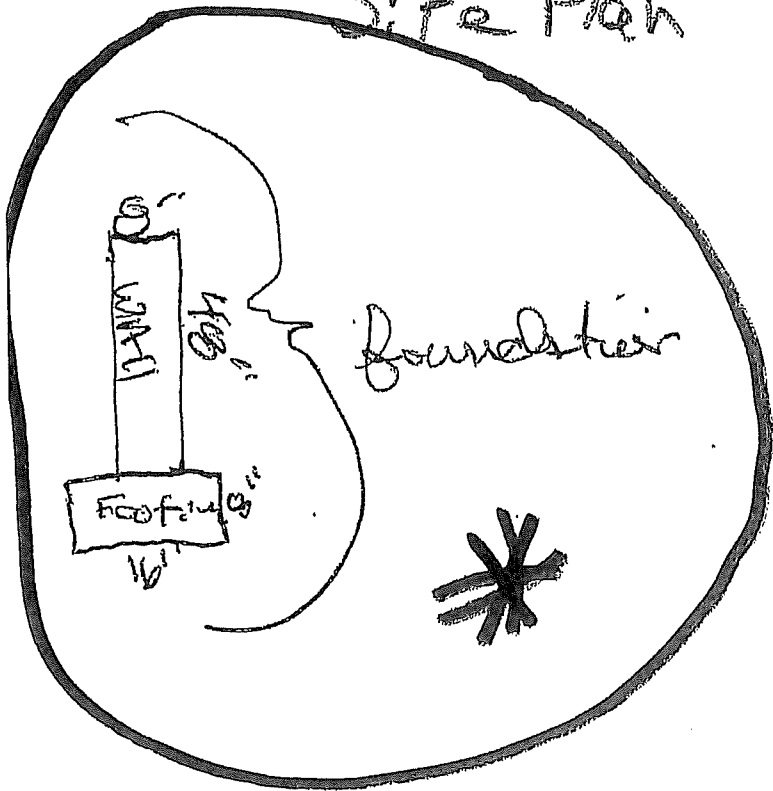
Date
3-27-23



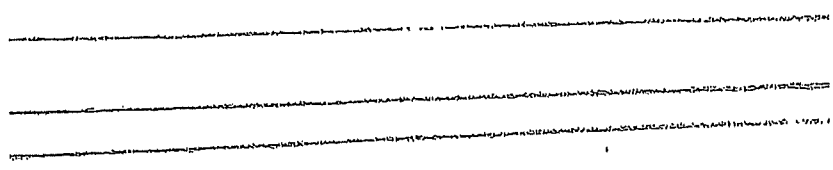
N. Wilder Blvd

1" = 20'

Site Plan



Foundation



STAFF REPORT - REVISED

MUNICIPALITY: Town of Hermosa, 230 Main Street, Hermosa, SD 57744
PROJECT: G&G Development-Contractor
175 N. Wilder Blvd., LOT V, Walnut Grove Park, G&G Subdivision
"Actual addressed location to be verified by owner"
Hermosa, SD
DATE: April 13, 2023
PERMIT NUMBER: 2023-12
REPORTED BY: Leah M. Berg, P.E.

ITEMS:

Conditions:

The site is located on the north side of Main Street, east of Ingalls Blvd, G&G Subdivision. There is currently no house/structure on the Lot.

The applicant has submitted the following documents:

Residential Building Permit Application
Digging/Grading Permit
Pre-Inspection Form
Aerial Imagery from BEACON GIS
Site Layout on Graph paper
Second Site Layout illustrating Foundation Detail

Floodplain:

Based on the flood map overlay from BEACON, the lot does not include a floodplain.

Zoning: Zoning is R-2, Manufactured Homes is permitted use.

Water and Sewer service:

Purposed routes for these utilities are indicated on the Site Plan. Provided inspection report identified a proper location on lot for these utilities. Water and electrical are rear feeding to the purposed home, while the sewer is coming from the front of the property.

Setbacks:

For R-2 zoning, the following setbacks are required:

Main Structure:

Front: 20 feet
Side: 10 feet Main Structure
Rear: 15 feet main

Accessory Structure:

Front yard unattached structures: 25 feet
Side yard unattached structures: 10 feet
Rear yard unattached structures: 5 feet

Setbacks were provided on the application, and the structure shown on the attached site plan appears to not match or add up to the setbacks noted. The front setback is indicated to be 23' but that is only from the edge of the sidewalk, from the property line it should be 38', the side setback is 13.5 feet, and the rear setback as indicated on the application is 57.5' but on the site plan it is shown as 50'. The proposed building has an attached garage measuring 22'x27' (594 sq ft). The main building is located close to the center of the lot with details provided about the driveway as an 18'x22' (396 sq ft). Access to near Lot in this area is by way of a 22' wide gravel driveway.

Coverage:

The total square footage of project provided on the application does appear to include main dwelling, garage, and both decks, front and rear. See attached Site Plan revised for calculations.

The lot coverage is less than 40% after accounting for these features – **OK**

Access:

Access will be from N. Wilder Blvd by a gravel driveway. No driveway culvert information was provided and is not warranted due to the roadway having a curb and gutter.

Foundation:

The permit has provided a foundation/footing detail, see added site plan detail, to be constructed or used for this modular home.

- The contractor is responsible for sizing the foundation and any reinforcing required. No soils information is provided. The contractor is responsible for verification of soil bearing pressures for the foundation.

Comments:

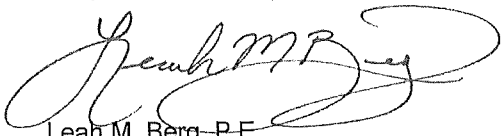
1. The contractor/builder is to verify the existing utility service location will properly service the home, as necessary.
2. No structural evaluation was completed as part of this review.
3. A submission of footing detail for review is suggested prior to permit application approval.
4. Calculated setback measurements do not match application documents.
 - a. Calculated distance(s) will result in an 18' distance from the garage to the sidewalk and a 15' distance from the deck to the sidewalk as marked.
 - b. The standard crew cab long box pickup measures 22'+, which means a truck cannot park in front of the garage without hanging out into the sidewalk.
5. Lot location is conflicting between Lot U and Lot V.
 - a. Lot U, which is addressed 165 N. Wilder Blvd, was processed with permit 2022-27.
 - i. P&Z approval seen in minutes of 8-23-22 meeting.
 - ii. BOT approval seen in minutes of 09-06-22 meeting.
 - b. Application forms and documents show multiple combinations of Lot locations.
 - i. Residential Building Permit Application submitted for Lot U (165 N. Wilder Blvd)
 - ii. Digging/Grading Permit submitted for Lot V (175 N. Wilder Blvd)
 - iii. Site plan noted at 165 and Lot V

Recommendations – Permit 2023-12:

Based on the application information, the permit does comply with the Town of Hermosa's requirements. Recommendation is to approve with the following stipulations:

1. Owner shall verify actual Lot Location.
2. A complete and accurate application is required by the Town, based on the attached application documents the site checklist was not included. A site checklist form is provided with the Town's applications and is a part of the submittal process.
 - a. If this applicant plans to submit future applications, this requirement should be met.
3. Contractor to ensure setbacks are met.
4. Appropriate drainage must be maintained on the site. Sediment and erosion control measures must function and are the responsibility of the contractor to ensure there is no erosion and sediment transfer.
5. All disturbances must be stabilized within 30 days of completion of construction.
6. Contractors must be licensed in Hermosa and carry the required insurance.
7. All construction must meet applicable code requirements as well as Town Ordinance requirements whether stated in this Staff Report or not.
8. All fees to be paid prior to issuing permit.
9. Applicable inspections must be performed by the Town of Hermosa.

Respectfully submitted,



Leah M. Berg, P.E.
LBerg@proacesinc.com

END OF STAFF REPORT

RESIDENTIAL BUILDING PERMIT APPLICATION

(This Building Permit is Valid for One Year – Please See Page 3 for Exceptions)

DATE 3-20-23

PERMIT # 2023-12

Receipt # _____ Cash _____ Check # 3226 Amount 75.00 (\$75.00)

** PLEASE INCLUDE TO-SCALE DRAWINGS **

Is Property in the Flood Plain? Yes No Zoning District R1 **R2**

IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

APPLICATION SUBMITTED BY:

Property Owner Name(s) G+G Development
 Mailing Address Berk 2/2
 City Hormosa State S.D Zip 57744
 Email Cary Hunter 52 @ G. mail
 Phone # Home _____ Cell 605-484-6762 Work 605-484-6762

LEGAL DESCRIPTION

175 **LOT V** **12,951 sqft (0.30 ACRES)**

Subdivision name: lot walnut Lot # 165 Block 1 of 4 Lot Size 10,687.5

Zoning District R2 Is this property in the Flood Plain? Yes No

Building address: 165 N. Wilder Blvd, Hormosa S.D 57744

CLASS OF WORK TO BE DONE

175 N. WILDER BLVD

New structure Demolition _____ Remodel _____ Addition _____

015727

Residential: Single Family Accessory _____ Multi-Family _____

Proposed Use Building: Single family dwelling

Building Area (Sq. Ft.): 2168 ^{house 1472} ^{garage 528} ^{deck 168} Height: 13' # of Units 1

No. of Stories: 1 No. of Bathrooms: 2 Deck: 2 Deck Area (Sq. Ft.): 168

Parcel # 015726 OFFICE USE ONLY

SETBACK FROM LOT LINES:

FEET

CITY MINIMUM

Front 23 ft **38'** **SEE SITE PLAN** (20'/25')
 Rear 57.5 ft **50'** (5'/8'/15')
 Sides 13.5 ft (8'/10'/25')

Setbacks			
Primary	Front	Sides	Rear
RS	20ft	10ft	15ft
R1	20ft	10ft	15ft
R2	20ft	10ft	15ft

Accessory Buildings			
Primary	Front	Sides	Rear
RS	**	8ft	5ft
R1	**	8ft	5ft
R2	**	8ft	5ft

Mobile Home Park		
Front	Sides	Rear
20ft	8ft	15ft

**IN NO CASE SHALL AN ACCESSORY BUILDING BE LOCATED TO EXTEND IN FRONT YARD.

TYPE OF CONSTRUCTION

Wood Concrete _____ Block _____ Brick _____ Modular _____ Other _____

FOUNDATION NEEDS TO BE SUBMITTED WITH EVERY PACKET

Thickness of Foundation 8" x 4' Thickness of footings 8" Width of Footings 16' Depth _____
Pier Foundation System: _____ Diameter of pier _____ Spacing of pier _____

CONTRACTOR INFORMATION

Contractors must all be registered with the Town of Hermosa

General Contractor (Project POC/responsible party): G+6 Development Phone: 605-484-6762
Structural Contractor: G+6 Development Phone: 605-484-6762
Electrical Contractor: Lawren Eber Phone: 605-381-0062
Plumbing Contractor: Callahan Plumbing Phone: 605-391-1711
Heat/Mechanical Contractor: Homey Heat & Air Phone: 605-209-0880
Excavation Contractor: Freeman Const Phone: 605-390-0015

Are there any of the following on site: Hazardous materials Yes _____ No
Lead paint Yes _____ No
Asbestos Yes _____ No

Does the building have a Historical Designation: Yes _____ No

Current utilities on site: Gas Water Electricity Municipal Sewer Septic

Proposed utilities: all the above

Describe Work: Graveling

TOTAL COST ESTIMATE OF IMPROVEMENTS: \$ 200,000 less 10% = 180,000.

TOTAL SQUARE FOOTAGE OF PROJECT: 2049

TOTAL SQ.FT = 2234

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermosasd.com


Every permit issued by the Planning Department under the provisions of this code shall expire by limitation and become null and void if the building or the work authorized by such permit is not commenced within 12 months from the date of such permit or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of one year. If so, before such work can be re-started, an extension of the permit shall be first obtained to do so, and a service charge of \$35.00 shall be required, provided no changes have been made or will be made in the original plans and specifications for such work.

In filing this application, I hereby grant to the Hermosa Planning & Zoning commission, and the Hermosa Town Board, and their designee(s), permission to inspect any and all structures and land involved in my application for the purpose of ascertaining compliance with the ordinance of the Town of Hermosa and the State of South Dakota which permission shall continue so long as the application or an appeal there-on is pending. It is my responsibility to ensure the presence of the Town Maintenance Supervisor during water and sewer connections.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

I understand Permit application fees are due upon submittal and are **non-refundable**. I understand **incomplete plans will be returned to applicant for resubmission**. Final fees are based upon building calculations and are due and payable when permit has been approved. Permits are reviewed by the town engineer; those expenses will be included with the permit fees and applicant will be responsible for those expenses.

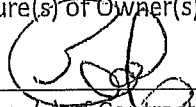
A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BEFORE OCCUPYING STRUCTURE.



Signature(s) of Owner(s) (If Owner Builder)

3-20-23

Date



Signature(s) of Contractor/Authorized Agent

3-20-23

Date

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT

<p>PLANNING AND ZONING COMMISSION <input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____ TITLE: _____ SIGNATURE: _____ DATE: _____ APPLICATION FEE: \$75.00 DATE PAID: _____</p>	<p>HERMOSA BOARD OF TRUSTEES <input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____ TITLE: _____ SIGNATURE: _____ DATE: _____ DATE PERMIT ISSUED: _____</p>
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Town of Hermosa

R2

175 N. WILDER BLVD
(LOT V)

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

Is Property in the Flood Plain? Yes No Zoning District R1

IF YES - YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

DIGGING/GRADING PERMIT

DATE 3-27-23

PERMIT # 2023-12

Receipt # _____ Cash _____ Check # _____ Amount ^{CHK# 502} 3226 (\$50.00) up to 100CY
\$20.00 each additional 100 CY

Name G+G Development
Lot Address lot V 175 N Wilder Blvd
Mailing Address Box 212 Hermosa SD Email garyh@usa.net
Legal Description _____
Telephone # 605-484-6762 Cellphone # _____
Contractor Carlton Ferguson Phone # 605-396-0045

Contractors must all be registered with the Town of Hermosa

All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not constitute a warranty or guarantee of any kind, nor does it constitute an authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other laws, rules, regulations, or ordinances of the Town of Hermosa.

Missing?

Sketch and/or describe work: (use separate sheet, or attach grading plan)

Will grading operation be located in the floodplain? Yes No
If yes, have ordinance requirements been met? Yes No
Will drainage patterns be altered? Yes No
Will grading operation take place in a geologically hazardous area? Yes No
If yes, have proper precautions been taken? Yes No

0.01 Acre-ft

Quantity of Grading or Excavation: 15 Cubic Yards Area to be disturbed by proposed work: 0.05 acres

Identify types of erosion control to be applied: None

Source/Destination of materials: Gravel & Cores

Provide traffic control per Manual on Uniform Traffic Control Devices.

Hard route: Does not apply

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached. Yes No N/A

015727

This permit will expire one year from date of issuance.

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Relationship to Property: _____ Owner _____ Contractor _____ Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

Signature

Date

PLANNING AND ZONING COMMISSION
 Approved Denied
NAME: _____
TITLE: _____
SIGNATURE: _____
DATE: _____
APPLICATION FEE: \$50.00 DATE PAID: _____

HERMOSA BOARD OF TRUSTEES
 Approved Denied
NAME: _____
TITLE: _____
SIGNATURE: _____
DATE: _____
DATE PERMIT ISSUED: _____

Parcel # 015727 OFFICE USE ONLY

Town of Hermosa

PO Box 298 * 230 Main St. Hermosa, SD

605-255-4291

Email: town@hermosasd.com

175 N. Wilder BLVD
LOT V

Pre-Inspection Form

To be retained in permanent file

Customer Name	Permit #	Date
Gary Hunsaker	2023-12	3-27-2023

Site Address	Parcel #
165 N. Wilder	015724

MUST MEET ALL PERMIT REQUIREMENTS

015727

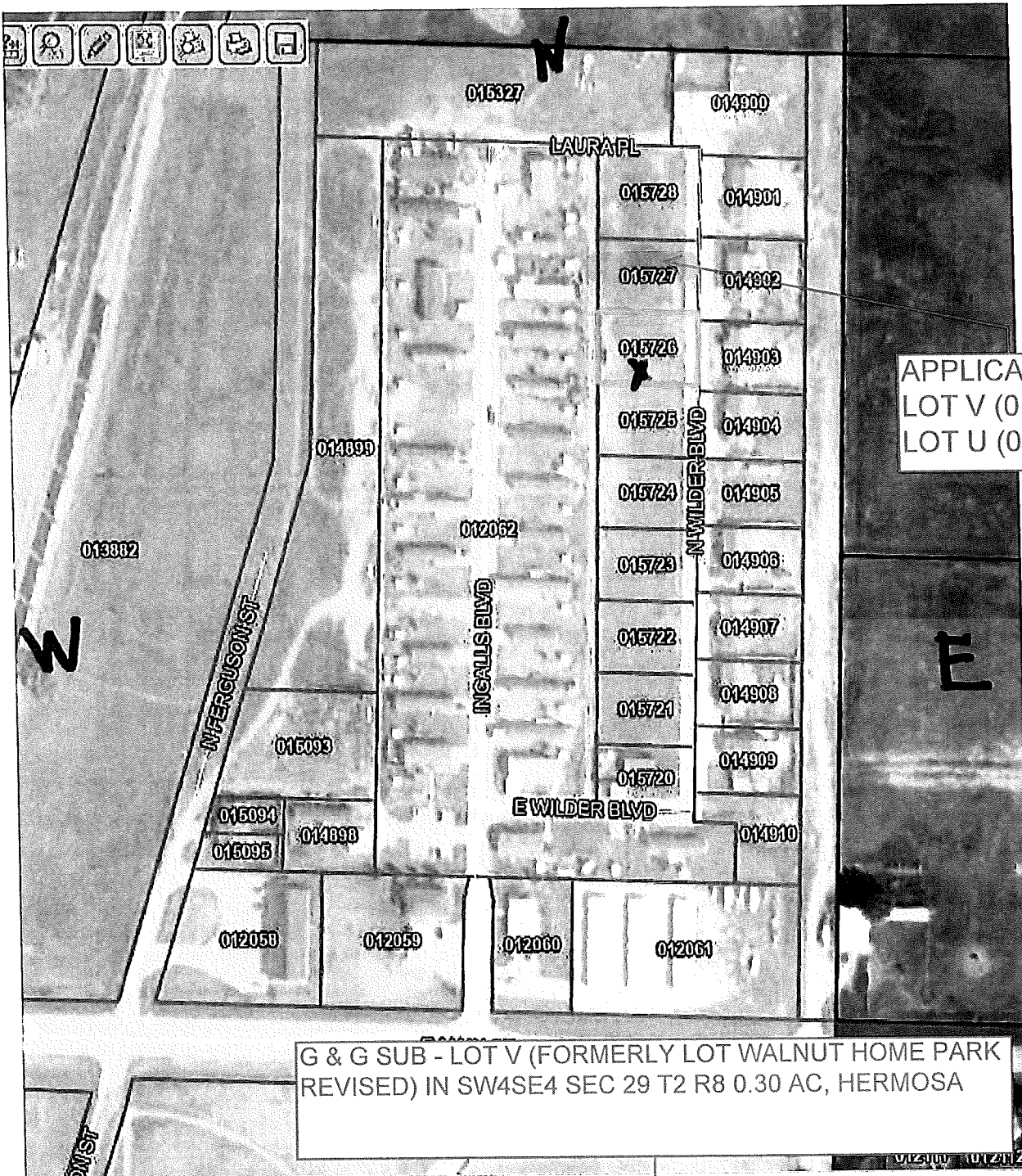
Inspection

1. Walked site YES
2. Lot measurement 95 x 112.72 ← 113.33'
3. Lot usage _____ (40%)
4. Suitability of lot for proposed construction GOOD
 - A. Fill needed NO
 - B. Excavation/Trenching needed YES
5. Utilities properly located on lot YES
6. Check for any easements YES
7. Check for Pins or Survey YES
8. Drainage OK

Inspection Notes

Inspectors Signature
Chuck Ferguson

Date
3-27-23



APPLICATION IS FOR LOT V (015727), NOT LOT U (015726)

G & G SUB - LOT V (FORMERLY LOT WALNUT HOME PARK REVISED) IN SW4SE4 SEC 29 T2 R8 0.30 AC, HERMOSA

Alternate ID n/a
 Class Residential
 Acreage 0.3

Owner

16.1-7-0-0-2

G & G SUB - LOT U (FORMERLY LOT WALNUT HOME PARK REVISED) IN SW4SE4 SEC 29 T2 R8 0.30 AC, HERMOSA
 (Note: Not to be used on legal documents)

015727

015726 ←

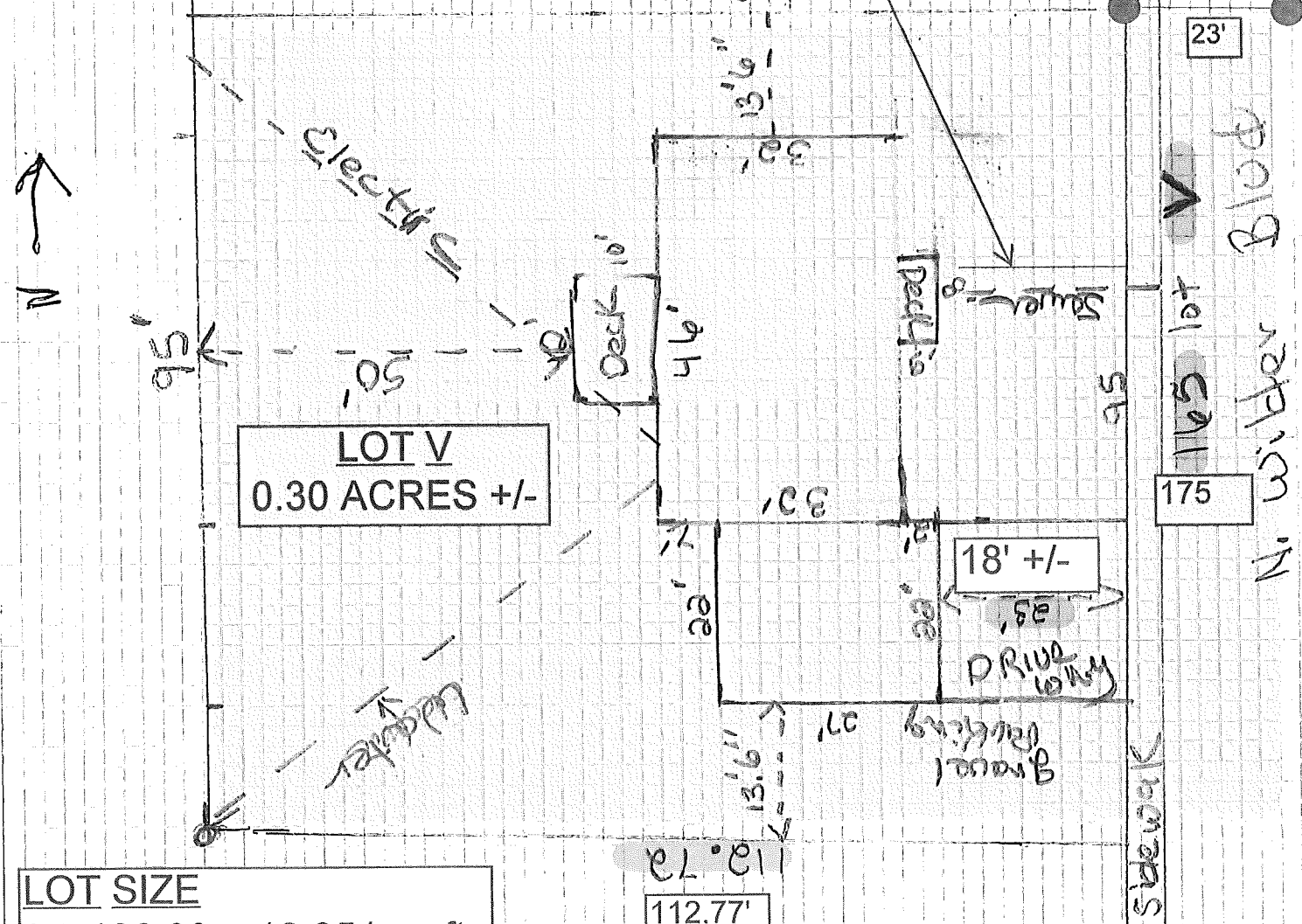
COVERAGE
 HOUSE : 32x46 = 1472 sqft
 GARAGE: 22x27= 594 sqft
 REAR DECK: 10x12 = 120 sqft
 FRONT DECK: 6x8 = 48 sqft

Total: 2234 sq ft

$113.33 \times 95 = 10,767 \text{ SQ FT}$
 $(10,767 \text{ SQ FT} / 1 \text{ ACRE}) / 43,560 \text{ SQ FT} = 0.24 \text{ ACRES}$

$136.33 \times 95 = 12,951 \text{ SQ FT}$
 $(12,951 \text{ SQFT} / 1 \text{ ACRE}) / 43,560 \text{ SQFT} = 0.30 \text{ ACRES}$

$113.33' - 50' - 10' - 32' - 6' = 15' +/-$
 FROM SIDEWALK



LOT V
 0.30 ACRES +/-

LOT SIZE
 $95 \times 136.33 = 12,951 \text{ sq ft}$

COVERAGE %
 $(2,234 \text{ sqft} / 12,951 \text{ sq ft}) \times 100\% = 17.2\% < 40\% \text{ (GOOD)}$

NOTE
 PLATTED PROPERTY BOUNDARY SHOWN IN BLUE

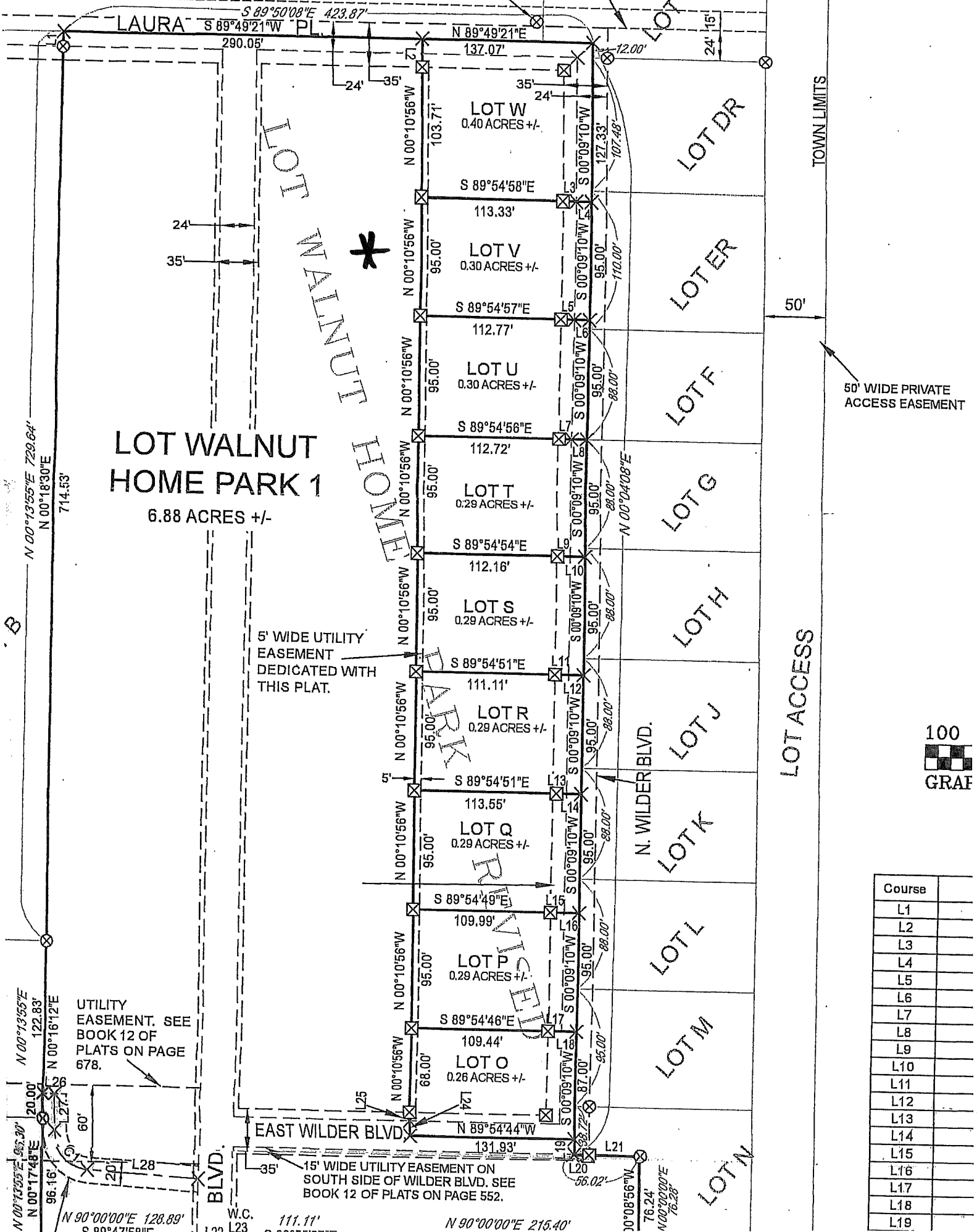
11' = 20'

No Wilder Blvd

SIDE OF LAURA PLACE. SEE BOOK 12 OF PLATS ON PAGE 552.

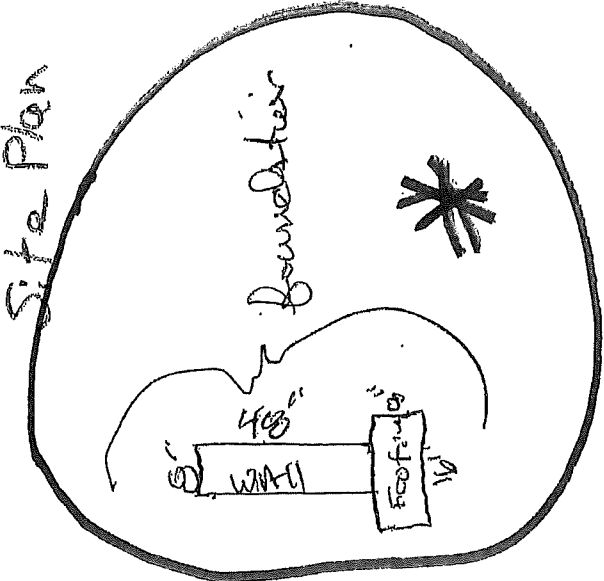
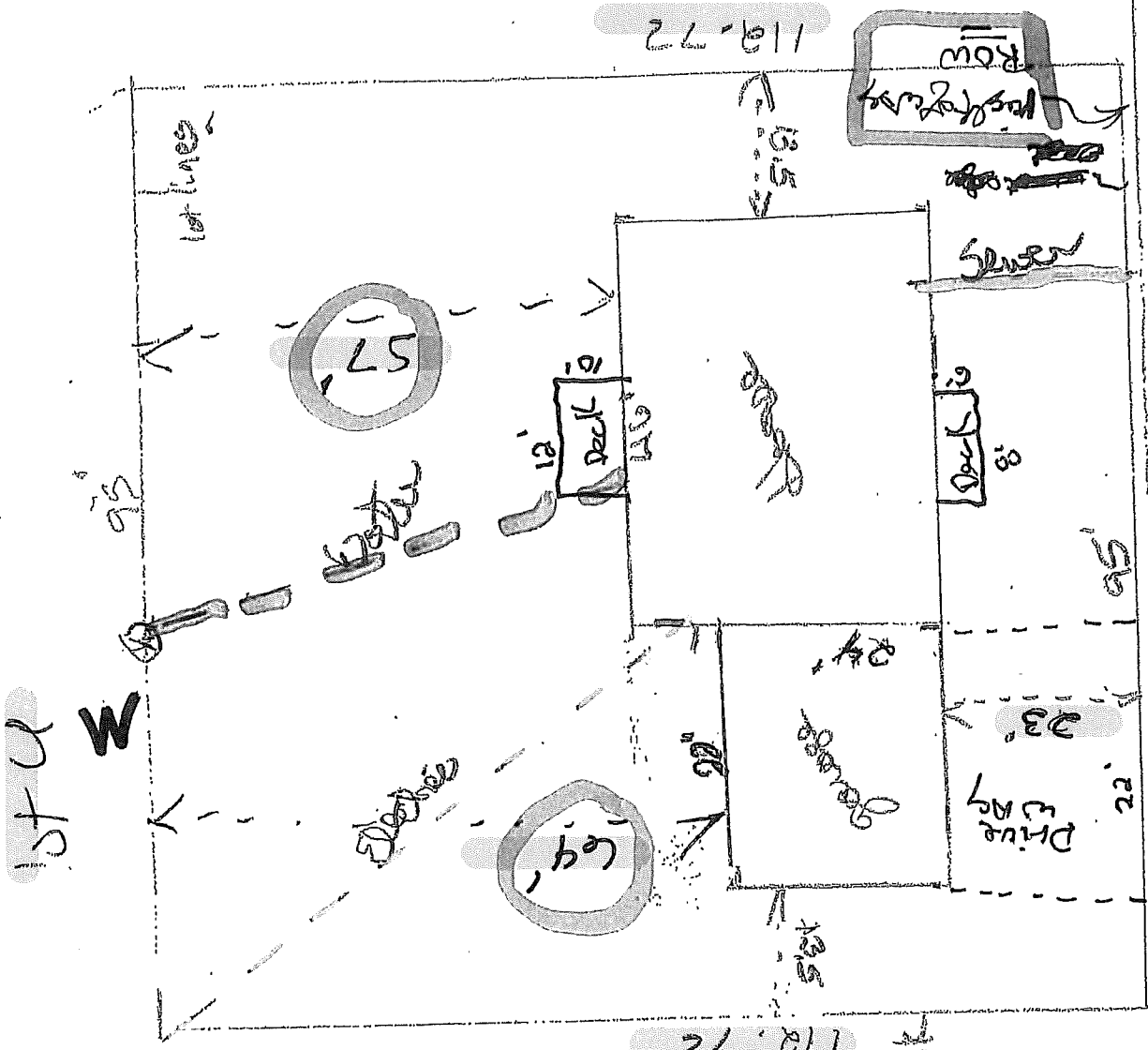
NOTE: Monument found N 56°23'54" W 6.11' +/- from edge of Laura Pl. between Lots C2 and C1.

ON PAGE 692.



Course	
L1	
L2	
L3	
L4	
L5	
L6	
L7	
L8	
L9	
L10	
L11	
L12	
L13	
L14	
L15	
L16	
L17	
L18	
L19	

HIGHLIGHTED INDICATIONS ARE INCORRECT. SEE PREVIOUS PAGE



1" = 20'
 23' Set back to back of sidewalk

Sidewalk CURB & STAIR

NEW
 111 Wilder Blvd.

STAFF REPORT

MUNICIPALITY: Town of Hermosa, 230 Main Street, Hermosa, SD 57744
PROJECT: G&G Development-Contractor
165 N. Wilder Blvd., Walnut Grove Park, G&G Subdivision
Hermosa, SD
DATE: April 4, 2023 *
PERMIT NUMBER: 2023-12
REPORTED BY: Leah M. Berg, P.E.

ITEMS:

Conditions:

The site is located on the north side of Main Street, east of Ingalls Blvd, G&G Subdivision. There is currently no house/structure on the Lot.

The applicant has submitted the following documents:

- Residential Building Permit Application
- Digging/Grading Permit
- Pre-Inspection Form
- Aerial Imagery from BEACON GIS
- Site Layout on Graph paper

Floodplain:

Based on the flood map overlay from BEACON, the lot does not include a floodplain.

Zoning: Zoning is R-1, Stick Built, or Manufactured Homes is a permitted use.

Water and Sewer service:

Purposed routes for these utilities are indicated on the Site Plan. Provided inspection report identified a proper location on lot for these utilities. Water and electrical are rear feeding to the purposed home, while the sewer is coming from the front of the property.

Setbacks:

For R-1 zoning, the following setbacks are required:

Main Structure:

- Front: 20 feet
- Side: 10 feet Main Structure
- Rear: 15 feet main

Accessory Structure:

- Front yard unattached structures: 25 feet
- Side yard unattached structures: 10 feet
- Rear yard unattached structures: 5 feet

Setbacks were provided on the application, and the structure shown on the attached site plan appears to not match or add up to the setbacks noted. Front setback is indicated to be 23' set back from edge of the sidewalk, the side setback is 13.5 feet, and the rear setback as indicated on the application is 57.5 feet. However, upon verification from the actual property line, located in the center of the road, the rear setback is 40 feet +/- . The proposed building has an attached garage measuring 22'x27' (594 sq ft). Building is located close to center of

the lot with details provided about the driveway as a 23'x22' (506 sq ft). Access to near Lot in this area is by way of a 22' wide gravel driveway.

The total square footage of project provided on the application does appear to include main dwelling, garage, and driveway. The lot coverage is less than 40% after accounting for these features – OK

Access:

Access will be from N. Wilder Blvd by a gravel driveway. No driveway culvert information was provided and is not warranted due to roadway having curb and gutter.

Foundation:

The permit has not provided a foundation/footing detail to be constructed or used for this modular home.

- The contractor is responsible for sizing the foundation and any reinforcing required. No soils information is provided. The contractor is responsible for verification of soil bearing pressures for the foundation.

Comments:

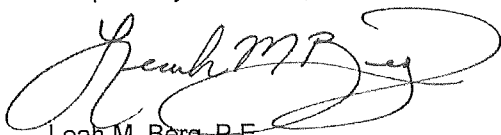
1. Contractor/builder to verify the existing utility service location will properly service the home, as necessary.
2. No structural evaluation was completed as part of this review.
3. A submission of footing detail for review is suggested prior to permit application approval.
4. Calculated setback measurements do not match application documents.

Recommendations – Permit 2023-12:

Based on the application information, the permit does comply with the Town of Hermosa's requirements. Recommendation is to approve with the following stipulations:

1. A complete and accurate application is required by the Town, based on the attached application documents the site checklist was not included. A site checklist form is provided with the Town's applications and is a part of the submittal process.
 - a. If this applicant plans to submit future applications this requirement should be met.
2. Contractor to ensure setbacks are met.
3. Appropriate drainage must be maintained on the site. Sediment and erosion control measures must function and are the responsibility of the contractor to ensure there is no erosion and sediment transfer.
4. All disturbances must be stabilized with 30 days of completion of construction.
5. Contractors must be licensed in Hermosa and carry required insurance.
6. All construction must meet applicable code requirements as well as Town Ordinance requirements weather stated in this Staff Report or not.
7. All fees to be paid prior to issuing permit.
8. Applicable inspections must be performed by the Town of Hermosa.

Respectfully submitted,



Leah M. Berg, P.E.
LBerg@proacesinc.com

END OF STAFF REPORT

Copy: Town of Hermosa & G:\My Drive\Jobs\21-1144 Hermosa\21-1144c Permit Review\04-11-23 Meeting P&Z\2023-12_Hunsaker

Town of Hermosa

9 F.

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

MANUFACTURED HOME MOVING PERMIT APPLICATION

DATE 4-6-2023

PERMIT # 2023-13

Application Fee - \$85.00	Receipt # _____	Cash _____	Check # <u>1414</u>	Amount <u>85.00</u>
---------------------------	-----------------	------------	---------------------	---------------------

I, W. Roggenthen (print), OWNER, having complied with all provisions of Hermosa Ordinance 153 and having secured the services of Centennial Homes, who is/will be registered with the Town of Hermosa as a licensed building and structure mover, am hereby requesting permission to move a structure or mobile/manufactured/modular home from its existing location in the City/Town of Hermosa, Custer County, SD (State) to a new location in the Town of Hermosa, Custer County, SD on the _____ day of _____, 20____.

The route to be taken during this move is as follows: _____
Sioux Falls SD to Hermosa
Roggenthen Trailer Park

I notified the Hermosa Town Maintenance Supervisor of this move on ___/___/20__.

I notified the SD Highway Patrol of this move on ___/___/20__.

The move is to be completed by May 1/20 23

Mobile home serial number: WK11057031N Tax Decal Number: _____
 Make: Clayton Model: Clayton 108032
 Year Manufactured: 2018 Seller: Centennial Homes
 Cost: \$82,680.00 Lienholder: N/A

I hereby certify that the information that I have provided is correct and that I have attached a copy of a receipt showing that current taxes have been paid in full.

OWNER Signature W. Roggenthen Phone # 391-9092 Date 4/6/23
 Email: _____ Bill

Parcel # 9246
 OFFICE USE ONLY

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT.

<p>PLANNING AND ZONING COMMISSION <input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____ TITLE: _____ SIGNATURE: _____ DATE: _____ APPLICATION FEE: <u>\$85.00</u> DATE PAID: _____</p>	<p>HERMOSA BOARD OF TRUSTEES <input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____ TITLE: _____ SIGNATURE: _____ DATE: _____ DATE PERMIT ISSUED: _____</p>
--	--

MOBILE HOME TAX CLEARANCE

I, Sharon Gonzalez
 Linn County Treasurer, of 935 2nd Street SW Cedar Rapids, IA 52404,
 hereby certify that taxes owing under Chapter 435.24 for the
 below described mobile home are not owing for previous years and that
 taxes have been paid for the current tax period listed below for said
 described unit listed in the name of:

FIRST SOUTHERN BANK

Title Number 57AJ26484		V.I.N. WK1105763IN		Make CLAYTON
Model Year 2018	Color Gray	Length	Width	Taxable Square Footage 1140

Current taxes have been paid to the Linn County Treasurer

County Treasurer for: First Half through 12/31/2022
Month Day Year

Second Half through _____
Month Day Year

Full Year through _____
Month Day Year

Mobile Home Location _____

(New Site) _____

Name of Purchaser/Owner Centennial Homes

Address of Purchaser/Owner 47059 104th St. Sioux Falls, SD 57108

Mobile Home removed to Lincoln County County.

Taxable Status Taxable Nontaxable Elderly Credit
 (Check one)

Signature of Co. Treasurer _____

By bmur Date 09/09/2022

When a person is issued a certificate of title for a mobile home, or a mobile home is moved to a new location, the owner of the mobile home must file with the county treasurer's office the address, township and school district in which the mobile home is located. Failure to file this information is punishable as specified in Iowa Code Section 435.18.

Before a mobile home can be moved from its present location, a tax clearance statement must be obtained from the county treasurer of the county where the mobile home is located. That statement, which must be in the name of the owner, must show no taxes for the mobile home are owed for previous years and the taxes for the current tax period have been paid.

The distribution and use of the three copies of this form are:

Original (First) Copy - Owner's

The owner of the mobile home must give this copy to the person or company moving the mobile home. It must be carried in the vehicle used to transport the mobile home. When the move is completed, it shall be returned to the mobile home owner to be used for title transfer purposes.

Second and Third Copies - County Treasurer's

One copy is to be retained by the county issuing this statement and the other is to be forwarded to the county to which the mobile home is being moved.

OPEN M - F 8:30a - 4:30p

OPEN M - F 8:30a - 4:30p

CHECK #
CASH
CHANGE
KANKAKEE
COUNTY
2020
PAYABLE
2021

DUE DATE 06/30/2021
Parcel Number 04-01-28-200-007
DUPLICATE
FIRST INSTALLMENT 520.14
IF POSTMARKED AFTER THESE DATES:
06/30/2021 AMOUNT DUE:
07/30/2021 PAID \$527.94
08/30/2021 \$535.74
09/30/2021 \$543.55
\$551.35
TOTAL 1st INSTALL DUE \$0:00

CHECK #
CASH
CHANGE
KANKAKEE
COUNTY
2020
PAYABLE
2021

DUE DATE 09/02/2021
Parcel Number 04-01-28-200-007
DUPLICATE
SECOND INSTALLMENT 520.14
IF POSTMARKED AFTER THESE DATES:
09/02/2021 AMOUNT DUE:
10/02/2021 PAID \$527.94
\$545.74
TOTAL 2nd INSTALL DUE \$0:00
TOTAL TAX DUE \$0.00

SCHUBERT RICK & MARY
4775 W 7940N RD
MANTENO IL 60950-

SCHUBERT RICK & MARY
4775 W 7940N RD
MANTENO IL 60950-

PAY TO: COUNTY COLLECTOR, 189 E. Court St., KANKAKEE, IL 60901

NO PERSONAL/BUSINESS CHECKS AFTER SEPTEMBER 30th
PAY TO: COUNTY COLLECTOR, 189 E. Court St., KANKAKEE, IL 60901

RETURN STUB WITH PAYMENT #1

RETURN STUB WITH PAYMENT #2

Kankakee County Real Estate Tax Bill - Kankakee County Collector
Pay online at KankakeeCountyTreasurer.com (See reverse for fees)
189 E. Court Street Kankakee, IL 60901 815-937-2960

31611

Township: ROCKVILLE
Parcel Number: 04-01-28-200-007
Parcel Address: 4475 W 7940 RD N
MANTENO, IL 60950

Tax Code: 04001
Prop Class: 0011

SCHUBERT, MARY & RICK
SCHUBERT RICK & MARY
4775 W 7940N RD
MANTENO IL 60950-

Short Legal Description
WH WH FRL NEQ
BAL 6.70AC
28-32-11E

DUPLICATE

Equalized Assessed 10,637

2020 TAXES PAYABLE 2021				
TAXING DISTRICTS	CHANGE FROM LAST YEAR	TAXABLE VALUE / 100 x RATE + DRAINAGE = TAX		
		Tax Rate	Tax Amount	
KANKAKEE COUNTY	0.82	0.7662	81.52	
KANKAKEE COUNTY Pension	0.04	0.3467	36.88	
KANKAKEE CC #520	0.26	0.4835	51.43	
KANKAKEE CC #520 Pension	-0.13	0.0083	0.88	
MANTENO UD #5	7.18	6.2963	669.74	
MANTENO UD #5 Pension	-0.02	0.2322	24.70	
MANTENO FIRE	2.85	0.7605	80.89	
MANTENO FIRE Pension	-0.93	0.1129	12.01	
MANTENO LIBRARY	0.43	0.1865	19.84	
MANTENO LIBRARY Pension	-0.01	0.0068	0.72	
MANTENO-ROCKVILLE TWP ASR	-0.06	0.0645	6.86	
ROCKVILLE TOWNSHIP ROAD	-0.02	0.3203	34.07	
ROCKVILLE TOWNSHIP	-0.01	0.1950	20.74	
TOTAL CHANGE FROM LAST YEAR	10.40			
TOTAL TAX DUE		9.7797	1,040.28	

Assessed Value 10,637
Home Improve Exemption - 0
Veteran / Disabled Exemption - 0
Returning Veteran Exemption - 0
General Homestead Exemption - 0
Senior Exemption - 0
Senior Freeze Exemption - 0
Vet/Frat Freeze Exemption - 0
Taxable Value 10,637
Tax Rate x 9.7797
RE Tax Before Drng & Sp Asmt 1,040.28
Drainage or Special Asmt + 0.00
TOTAL TAX DUE 1,040.28

PENALTIES	
PENALTY INTEREST OF 1 1/2% PER MONTH ADDED AFTER EACH INSTALLMENT DUE DATE FOR EACH MONTH OR PART OF MONTH	
1st INSTALL DUE: 06/30/2021	\$0.00
2nd INSTALL DUE: 09/02/2021	\$0.00

NEW FLEXIBLE PAYMENT OPTIONS!
Visit www.kankakeecountytreasurer.com
and click on CHOICES for more
information.

OPEN M - F 8:30a - 4:30p

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744


Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

DEALER DISCLOSURE FORM FOR MANUFACTURED HOMES

NOTICE: The intent of this disclosure form is to determine if the new manufactured/mobile home in discussion is pursuant to the most current recorded version of the Mobile Home Ordinance 153, and its proposed placement location is within an applicably zoned lot within a mobile home park that is in active compliance with Section 153.02 of the Mobile Home Ordinance 153, and THEREFORE may qualify for immediate placement approval; thereby avoiding unnecessary litigations.

MANUFACTURER:	<u>Clayton</u>	YEAR:	<u>2018</u>
MODEL:	<u>Unable to determine</u>	SERIAL NUMBER:	<u>WK 11057631N</u>
		SIZE:	<u>16x80</u>

AUTHORIZED DEALER:	<u>Centennial Homes</u>	<u>605-787-4848</u>		
	(Company Name)	(phone)		
DEALER'S ADDRESS:	<u>Box 517</u>	<u>Black Hawk</u>	<u>SD</u>	<u>57718</u>
	(street)	(city)	(state)	(zip code)
DATE INSPECTED:	<u>1-7-23</u>	INSPECTED BY:	<u>Centennial Homes of Sioux Falls</u>	
SIGNATURE:				DATE: <u>4-5-23</u>

PURCHASER'S NAME:	_____	_____		
	(First)	(Last)		
CO-PURCHASER:	_____	_____		
	(First)	(Last)		
ADDRESS:	_____	_____	_____	_____
	(street)	(mailing)	(city)	(state) (zip)
PHONE NUMBERS:	_____	_____		
	(Day)	(Evening)		

NEW LOCATION OF HOME:	<u>150 Rupp St # 9</u>	<u>Hermosa</u>	<u>57744</u>
	(Physical Address only)	(Please include lot number if applicable)	

I have read and understand the notice provided within this statement, and certify the information provided within the Dealer's Disclosure statement and the Property Condition Statements to be valid and just.

Signature _____ Date _____

Pursuant to Ordinance 153.99 Any person, firm, association, or corporation who violates, disobeys, omits, neglects, or refuses to comply with, or resists the enforcement of, any of the provisions of this Ordinance shall, upon conviction thereof, be subject to a fine of one hundred dollars (\$100.00) together in addition to the cost of the enforcement action, including but not limited to reasonable attorney fees, expert fees, and inspector fees; each day violation shall constitute a separate offense. Compliance therewith may also be enforced by injunctive order at the suit of the petitioner or the owner of real estate within the district affected by the regulation of this Ordinance.

Town of Hermosa

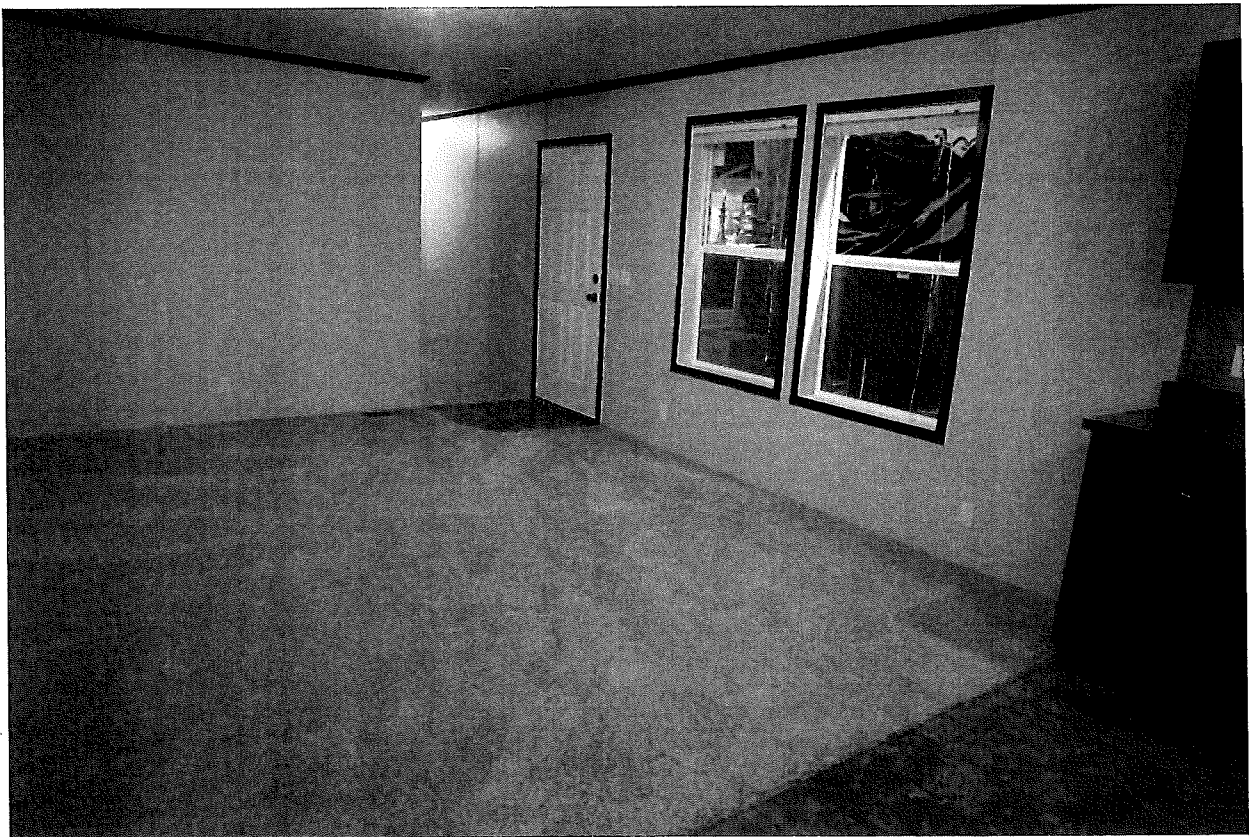
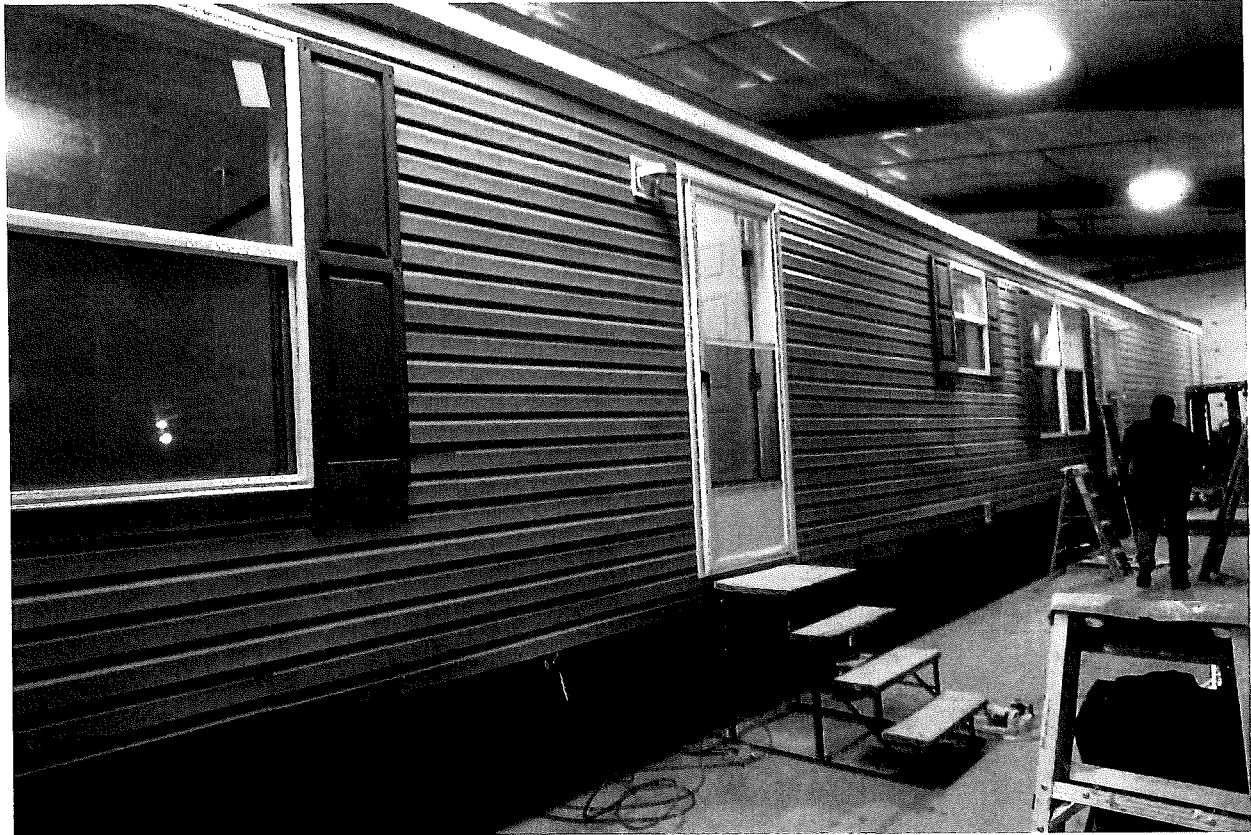
PO Box 298 • 230 Main Street • Hermosa, SD 57744
 Phone (605) 255-4291 • Fax (605) 255-4094
 Email: town@hermosasd.com

PLEASE PROVIDE PICTURES OF TRAILER (ALL SIDES)

	PROPERTY CONDITION STATEMENTS	YES	NO	UNABLE TO DETERMINE	REPAIRS MADE (if applicable)
1	Is there currently any damage and/or defects in the roof?		✓		
2	Is there currently any damage and/or defects in the frame?		✓		
3	Is there currently any damage and/or defects to the siding?		✓		
4	Is there currently any damage and/or defects to the skirting?			✓	
5	Is there currently any damage and/or defects to the interior walls?		✓		
6	Is there currently any damage and/or defects to the exterior walls?		✓		
7	Is there currently any damage and/or defects to the interior doors?		✓		
8	Is there currently any damage and/or defects to the exterior doors?		✓		
9	Is there currently any damage and/or defects to the windows?		✓		
10	Is there currently any damage and/or defects to the ceiling?		✓		
11	Is there currently any damage and/or defects to the flooring?		✓		
12	Is there currently any damage and/or defects in the electrical system?		✓		
13	Is there currently any damage and/or defects in the plumbing system?		✓		
14	Is there currently any damage and/or defects in the heating system?		✓		
15	Is there currently any damage and/or defects in the cooling system?	Ⓟ	✓		
16	Has the home ever been lived in?	✓			
17	Is the siding all the same color?	✓			
18	Is the skirting and/or trim, shutters, etc. all the same color? (if applicable)			✓	
19	Are all the shingles the same color? (if applicable)	✓			
20	Is the color of the home of an earth tone or considered conservative?	✓			
21	Is the home currently habitable?	✓			

Additional Information: Explanation of "YES" responses to questions 1-16, and explanation of "NO" responses to questions 17-21 of the above.

Pursuant to Ordinance 153.99 Any person, firm, association, or corporation who violates, disobeys, omits, neglects, or refuses to comply with, or resists the enforcement of, any of the provisions of this Ordinance shall, upon conviction thereof, be subject to a fine of one hundred dollars (\$100.00) together in addition to the cost of the enforcement action, including but not limited to reasonable attorney fees, expert fees, and inspector fees; each day violation shall constitute a sperate offense. Compliance therewith may also be enforced by injunctive order at the suit of the petitioner or the owner of real estate within the district affected by the regulation of this Ordinance.



72 Fairgrounds Pl. 10 E.





72 Fairgrounds Pl.





Hermosa - Public Works

or her property line. Application must be made to the Board of Trustees for permits to connect/tap any water pipe or pipes to the town water supply main. Application must be made by the owner or agent of the property served. Application shall designate the legal description of property, what kind and size of tap to be made, the nature and number of the water users, and be accompanied by the appropriate fee as described below. This fee is to be retained by the town.

(B) The cost of such tap shall be based on the size of the meter:

	<i>Residential</i>	<i>Commercial</i>
1"	\$1,000.00	\$2,000.00
1 ½"	\$1,000.00	\$2,000.00
2"	\$1,250.00	\$2,500.00

(C) If larger taps are required than depicted in the above table, the rates will increase \$250 per one-inch increments for residential and will increase \$500 per one-inch increments for commercial. (Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015; Ord. passed 1-8-2019; Ord. passed 5-18-2021)

§ 50.02 METERS.

All connections shall be metered. The town will provide the meter. Only persons designated by the town shall read the meter on or about the twentieth of each month for all service meters. A person, designated by the town, shall read and verify meter and remote once each year to verify accuracy. (Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015; Ord. 52.02A, passed 11-21-2017)

§ 50.03 PLUMBERS.

Only a duly licensed plumber/contractor, per the *Town's Standard Construction Specification and Standard Details*, approved by the Town Board, or an employee of the Water Department shall be permitted to do any work on any pipes or connections in any way connected with the town water supply. All such plumbers/contractors shall be governed by state and town regulations that are in force or that may be hereafter adopted. (Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015)

§ 50.04 PERMISSION REQUIRED.

* Written permission shall be obtained from the supervisor or other officer in charge of the Water Department before plumbing work of any kind shall be done by any plumber in or upon any water pipes, fixtures, or apparatus connected with the town water system. *

(Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015)

§ 50.18 WATER LIMITATIONS.

All water used for air-cooling systems, street, lawn or garden sprinkling is subordinate to domestic use or fire protection and may be restricted at any time should a scarcity of water or an emergency of any kind so require.

(Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015)

§ 50.19 AUTHORITY OF WATER DEPARTMENT.

Only persons designated by the town shall be permitted at all reasonable hours to enter the premises or buildings of consumers for the purpose of reading meters, examining water pipes, to set or remove a meter, or change its location whenever necessary.

(Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015)

§ 50.20 DUTY AND RESPONSIBILITY OF OCCUPANT OR OWNER.

A suitable place for meters, safe from frost or other damage and accessible for examination, must be provided by and at the expense of the owner or occupant. In any case where the meter is injured by freezing or otherwise damaged by act or neglect of the owner or occupant, it shall be repaired and the expense thereof shall be paid by the owner or occupant of said premises. In case of neglect, refusal to repair, or refusal to pay expenses thereof, the water supply may be turned off and not turned on until such costs and a reconnect fee have been paid.

(Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015)

§ 50.21 MALICIOUS OR WILLFUL DAMAGE TO WATER SYSTEM.

No person shall maliciously or willfully break, damage or tamper with any water main, meter, structure, device, or equipment that is a part of the municipal water system. Any violator, upon conviction, shall be guilty of a misdemeanor and shall be subject to a penalty of up to 30 days in jail, and/or a fine, as per current fee schedule, and the total cost of the repairs.

(Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015) Penalty, see § 50.99

§ 50.22 WATER USERS OUTSIDE OF TOWN LIMITS.

(A) All users of water supplied by the town waterworks, outside the town limits, shall be responsible for repairs and maintenance of water lines that are not in the town limits. Users outside town limits shall be governed by all rules, regulations and ordinances in effect with the town concerning the same, and shall be charged rates, as per the current fee schedule.

Hermosa - Public Works

(B) Any repairs required to private service lines, starting from the property line to the home will be the responsibility of the property owner and from the property line to the main is the responsibility of the town. If during the repairs, it is discovered that the damaged section is not up to current adopted codes the service will not be continued until the line from the main is replaced.
(Ord. 10R-2015, passed 2-2-2015)

§ 50.99 PENALTY.

* Any person, firm, association or corporation who violates, disobeys, omits, neglects, refuses to comply with, or resists the enforcement of, any of the provisions of this chapter shall, upon conviction thereof, be subject to a fine of \$100 in addition to the cost of the enforcement action, including but not limited to, reasonable attorney fees, expert fees and inspector fees. Each day of violation shall constitute a separate offense. Compliance therewith may also be enforced by injunctive order at the suit of the petitioner or the owner of real estate within the district affected by the regulations of this chapter. *

(Ord. passed 6-12-2017)

ACCOUNT NUMBER STATUS Active
 NAME BREEZY SIMPSON
 PROPERTY 72 FAIRGROUNDS PL

V SERIAL #	MULTIPLIER	DIGITS	INS DATE	SERV DATE	LOCATION	NOTE
A		8		11/15/2022		

● Should be 203260
 not 203250 } 30 gal.
Jill's Fault

BILL DATE	SERV READ DATE	PRES	PREV	EST	BILL CONS	CHARGE
2/22/2023	WA 2/20/2023	217820 (16)	203230		14590	190.90
1/26/2023	WA 1/20/2023	203230 (15)	198490		4740	92.40
2/22/2022	WA 12/20/2022	198490 (14)	193990		4500	78.50

BILL DATE	SERV	DMD ACTUAL	DMD BILLED	MULT	DMD TOTAL	CHARGE
-----------	------	------------	------------	------	-----------	--------

BILL DATE	SERV READ DATE	PRES	PREV/DMD	MULT	CONS	LST YR	PCT CHNG
2/22/2023	WA 2/20/2023	217820	203230		14590		
1/26/2023	WA 1/20/2023	203230	198490		4740		
2/22/2022	WA 12/20/2022	198490	193990		4500		

2-20-2023 - 217820
 * 2-23-2023 - 220170
2350 gal. 3 days

BILL DATE	SERV	READ DATE	PRES	PREV	CHARGE	LST YR	PCT CHNG
2/22/2023	WA	2/20/2023	217820	203230	190.90		
1/26/2023	WA	1/20/2023	203230	198490	92.40		
2/22/2022	WA	12/20/2022	198490	193990	78.50		

Reading
 2-23-2023 - Thurs * 220170 } 420 gal - 1 day
 2-24-2023 - Fri 220590 }
 3-3-2023 - Friday 221870 → 1280 gal - 1 week
 3-7-2023 - Tues. 222400 → 530 gal - 4 days

194 Fairgrounds Pl. 10 F.

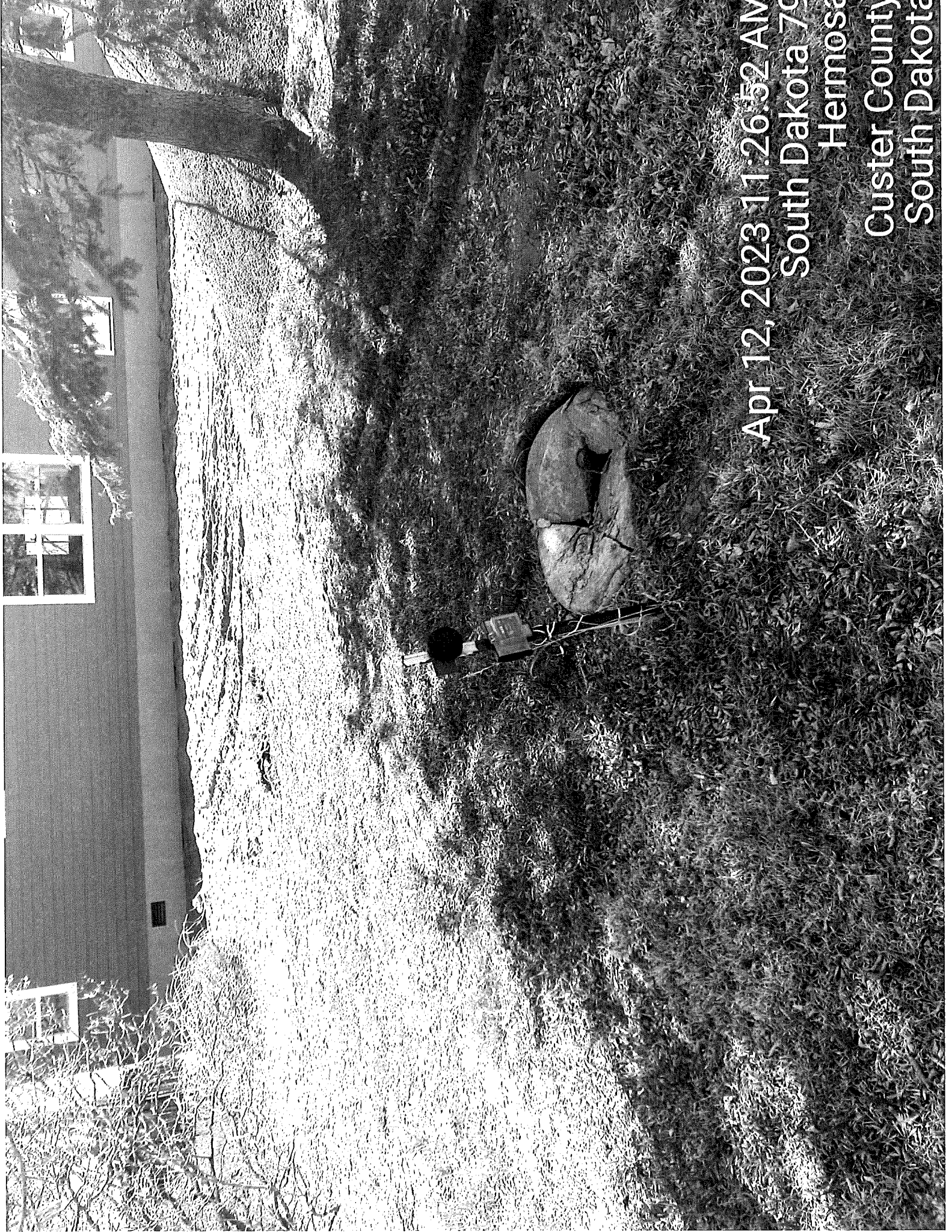


Apr 12, 2023 11:2

South D

Custe

Sout



Apr 12, 2023 11:26:52 AM
South Dakota 79
Hermosa
Custer County
South Dakota



APR 12 2025 11:52 AM
107 FAIRGROVE DRIVE
CUMMINGS, MISSOURI 64803

11 D.

ANNUAL REPORT FOR CITY OF HERMOSA
AS OF AND FOR THE YEAR ENDED December 31, 2022

GOVERNMENTAL FUNDS--MODIFIED CASH BASIS

	General Fund	BBB Fund	TIF Fund	FEMA fund	Total Governmental Funds
Beginning Balance	323,110.00	42,839.00	34,988.00	1,500.00	402,437.00
Revenues and Other Sources:					
Taxes:					
Property Taxes	60,631.00	0.00	85,190.00	0.00	145,821.00
General Sales and Use Taxes	282,752.00	19,065.00	0.00	0.00	301,817.00
Penalties and Interest on Delinquent Taxes	373.00	0.00	225.00	0.00	598.00
Licenses and Permits	30,759.00	0.00	0.00	0.00	30,759.00
Intergovernmental Revenues:					
Federal Grants	53,115.00	0.00	0.00	0.00	53,115.00
State Grants	5,946.00	0.00	0.00	0.00	5,946.00
State Shared Revenue	5,077.00	0.00	0.00	0.00	5,077.00
County Shared Revenue:	11,503.00	0.00	0.00	0.00	11,503.00
Charges for Goods and Services:					
Sanitation	49,204.00	0.00	0.00	0.00	49,204.00
Fines and Forfeits:					
Other	100.00	0.00	0.00	0.00	100.00
Miscellaneous Revenue and Other Sources:					
Investment Earnings	1,822.00	0.00	0.00	0.00	1,822.00
Rentals	4,200.00	0.00	0.00	0.00	4,200.00
Liquor Operating Agreement Income	35,665.00	0.00	0.00	0.00	35,665.00
Other Revenues	11,929.00	0.00	0.00	0.00	11,929.00
Total Revenue and Other Sources	553,076.00	19,065.00	85,415.00	0.00	657,556.00
Expenditures and Other Uses:					
Legislative	30,840.00	0.00	0.00	0.00	30,840.00
Elections	60.00	0.00	0.00	0.00	60.00
Financial Administration	192,060.00	0.00	0.00	0.00	192,060.00
Other General Government	108,744.00	0.00	0.00	0.00	108,744.00
Police	81,063.00	0.00	0.00	0.00	81,063.00
Protective Inspection	4,002.00	0.00	0.00	0.00	4,002.00
Highways and Streets	73,355.00	0.00	0.00	0.00	73,355.00
Sanitation	42,468.00	0.00	0.00	0.00	42,468.00
Economic Development and Assistance	3,763.00	0.00	0.00	0.00	3,763.00
Debt Service	0.00	0.00	15,282.00	0.00	15,282.00
Capital Outlay	2,817.00	0.00	0.00	0.00	2,817.00
Total Expenditures and Other Uses	539,172.00	0.00	15,282.00	0.00	554,454.00
Transfers In (Out)	0.00	0.00	0.00	0.00	0.00
Special Item (specify)	0.00	0.00	0.00	0.00	0.00
Extraordinary Item (specify)	0.00	0.00	0.00	0.00	0.00
Increase/Decrease In Fund Balance	13,904.00	19,065.00	70,133.00	0.00	103,102.00
Ending Balance:					
Restricted	0.00	61,904.00	36,227.00	1,500.00	99,631.00
Unassigned	337,014.00	0.00	68,894.00	0.00	405,908.00
Total Ending Fund Balance	337,014.00	61,904.00	105,121.00	1,500.00	505,539.00
Governmental Long-term Debt					75,369.00

ANNUAL REPORT FOR CITY OF HERMOSA
AS OF AND FOR THE YEAR ENDED December 31, 2022

PROPRIETARY FUNDS--MODIFIED CASH BASIS
--

	Water Fund	Sewer Fund
Beginning Balance	289,803.00	342,955.00
Revenues	323,699.00	254,510.00
Expenses	421,084.00	398,285.00
Ending Balance:		
Restricted for:		
Revenue Bond Debt Service	19,170.00	3,834.00
Other purposes	8,871.00	314.00
Unrestricted	164,377.00	195,032.00

Enterprise Long-term Debt	453,186.00
---------------------------	------------

The preceding financial data does not include fiduciary funds or component units. Information pertaining to those activities may be obtained by contacting the municipal finance officer at 605-255-4291.

Municipal funds are deposited as follows:

Depository	Amount
Pioneer bank & Trust	738,407.37
SDFIT	139,352.19
Edward Jones Investments	19,143.65

11 E.

From: I.A.S., P.C.
Sent: Thursday, April 13, 2023 10:52 AM
To: Monika Serviss
Subject: Re: Hermosa - water/sewer expansion

Monika,

I will be able to do your 2022 audit, but not until the Fall. We can talk more about the engagement when the 2021 audit is complete.

Thank you for considering me for the audit.

Ben

Independent Audit Services, P.C. Benjamin Elliott, CPA P.O. Box 262 Madison, South Dakota 57042
605.483.3225 (Office) 605.270.3020 (Cell)

On Thursday, April 13, 2023 at 11:17:42 AM CDT, Monika Serviss <monika@hermosasd.com> wrote:

Good morning Ben,

Thank you for the info, very helpful!

Did you get the chance to see if you have time in your schedule for 2022 audit for our Town?

Thank you,

Monika Serviss

Finance Officer

Town of Hermosa

605-255-4291



12/9/2021

J.F.

Borrower Hermosa CW-01	Principal \$87,944.71	Maturity 4/15/2028	Loan Number C461278-01
----------------------------------	---------------------------------	------------------------------	----------------------------------

NUMBER	DUE DATE	PAYMENT	INTEREST	PRINCIPAL	BALANCE
1	1/15/2022	\$3,820.54	\$714.55	\$3,105.99	\$84,838.72
2	4/15/2022	\$3,820.54	\$689.32	\$3,131.22	\$81,707.50
3	7/15/2022	\$3,820.54	\$663.87	\$3,156.67	\$78,550.83
4	10/15/2022	\$3,820.54	\$638.23	\$3,182.31	\$75,368.52
5	1/15/2023	\$3,820.54	\$612.37	\$3,208.17	\$72,160.35
6	4/15/2023	\$3,820.54	\$586.30	\$3,234.24	\$68,926.11
7	7/15/2023	\$3,820.54	\$560.03	\$3,260.51	\$65,665.60
8	10/15/2023	\$3,820.54	\$533.53	\$3,287.01	\$62,378.59
9	1/15/2024	\$3,820.54	\$506.83	\$3,313.71	\$59,064.88
10	4/15/2024	\$3,820.54	\$479.90	\$3,340.64	\$55,724.24
11	7/15/2024	\$3,820.54	\$452.76	\$3,367.78	\$52,356.46
12	10/15/2024	\$3,820.54	\$425.40	\$3,395.14	\$48,961.32
13	1/15/2025	\$3,820.54	\$397.81	\$3,422.73	\$45,538.59
14	4/15/2025	\$3,820.54	\$370.00	\$3,450.54	\$42,088.05
15	7/15/2025	\$3,820.54	\$341.97	\$3,478.57	\$38,609.48
16	10/15/2025	\$3,820.54	\$313.70	\$3,506.84	\$35,102.64
17	1/15/2026	\$3,820.54	\$285.21	\$3,535.33	\$31,567.31
18	4/15/2026	\$3,820.54	\$256.49	\$3,564.05	\$28,003.26
19	7/15/2026	\$3,820.54	\$227.53	\$3,593.01	\$24,410.25
20	10/15/2026	\$3,820.54	\$198.33	\$3,622.21	\$20,788.04
21	1/15/2027	\$3,820.54	\$168.90	\$3,651.64	\$17,136.40
22	4/15/2027	\$3,820.54	\$139.23	\$3,681.31	\$13,455.09
23	7/15/2027	\$3,820.54	\$109.32	\$3,711.22	\$9,743.87
24	10/15/2027	\$3,820.54	\$79.17	\$3,741.37	\$6,002.50
25	1/15/2028	\$3,820.54	\$48.77	\$3,771.77	\$2,230.73
26	4/15/2028	\$2,248.86	\$18.13	\$2,230.73	\$0.00
----		-----	-----	-----	
TOTAL:		\$97,762.36	\$9,817.65	\$87,944.71	

← Amount to pay as of 04/15/2023

Interest Payment also includes Admin Surcharge amounts

Debt service cash: \$ 115,257.41

Undesignated Fund balance: \$ 68,894.37

Amount to pay off the loan: \$ 65,665.60

Save: \$ 5913.01 on Interest.

BALANCE SHEET
CALENDAR 4/2023, FISCAL 4/2023

ACCOUNT NUMBER	ACCOUNT TITLE	PTD BALANCE	YTD BALANCE
301-0000-10100	CASH	3,820.54-	115,257.41
301-00500-20200	ACCOUNTS PAYABLE	.00	.00
301-00500-20800	DUE TO OTHER FUNDS	.00	.00
301-00500-22010	CUSTER DEPOSIT TRUST	.00	5,122.54
301-00500-25310	SRF TIF SWR RESERVE	.00	16,810.00
301-00500-25350	RESERVE	.00	7,261.00
301-00500-25390	UNRESTRICTED EARNINGS	.00	.00
301-00500-26100	FUND BALANCE RESERVED	.00	7,033.47
301-00500-26290	FUND BALANCE UNDESIGNATED	.00	68,894.37
		=====	=====
	PROOF	3,820.54-	10,136.03
		=====	=====

AN ORDINANCE AMENDING THE TOWN OF HERMOSA ORDINANCES TO ADD A NEW CHAPTER THERETO AS CHAPTER 131A TO REGULATE OPEN BURNING AND REVISE FIREWORKS DISCHARGE TO PROTECT THE PUBLIC’S HEALTH, WELFARE AND SAFETY AND TO REDUCE THE THREATS OF SUCH OPEN FIRES AND FIREWORKS DISCHARGE TO THE PUBLIC.

BE IT ORDAINED BY THE HERMOSA BOARD OF TRUSTEES TO ENACT AN ORDINANCE AMENDING THE TOWN OF HERMOSA ORDINANCES TO ADD A NEW CHAPTER THERETO AS CHAPTER 131A TO REGULATE OPEN BURNING AND REVISE FIREWORKS DISCHARGE TO PROTECT THE PUBLIC’S HEALTH, WELFARE AND SAFETY AND TO REDUCE THE THREATS OF SUCH OPEN FIRES AND FIREWORKS DISCHARGE TO THE PUBLIC AS FOLLOWS:

§131A.1 DEFINITIONS.

- 1. **Open Fire:** Means any outdoor fire, including campfires and burn barrels, which have been banned or if legal are not contained within a fully enclosed fire box or structure from which the products of combustion are emitted directly to the open atmosphere without passing through a stack, duct or chimney and/or spark arrester. The term “Open Fire” shall not include “Charcoal Grills” and “Liquid fuel Grills”, as defined herein.
- 2. **Charcoal Grill:** Means a metal or stone device not resting on the ground with a metal grate designed to cook food using charcoal briquettes, char wood, hard wood, or similar fuel.
- 3. **Liquid Fuel Grill:** Means a metal or stone device designed to cook food using liquefied or gaseous combustible fuel.
- 4. **Burn Barrel:** Means a metal container used to hold combustible or flammable waste materials so they can be ignited outdoors for the purpose of disposal.
- 5. **Outdoor Fireplace:** Means a manufactured appliance constructed of non-combustible materials, with a maximum fuel area of three (3) feet, fueled by cut or split wood, located not closer than 15 feet to any combustible surface and continually attended.
- 6. **Campground:** Means any permitted commercial campground operated by private individuals or corporations, the State of South Dakota, or the United States Forest Service.

§131A.3 OPEN FIRES UNLAWFUL.

1. It is unlawful for any person to ignite any open fires or outdoor fires, including campfires and burn barrels within the Hermosa town limits, which have been banned or if legal are not contained within a fully enclosed fire box or structure from which the products of combustion are emitted directly to the open atmosphere without passing through a stack, duct or chimney and/or spark arrester.

§131A.4 BURN BARREL FIRES UNLAWFUL.

1. It is unlawful for any person to ignite a fire in a burn barrel within the Hermosa town limits, nor burn toxic materials of any kind including, but not limited to, creosote wood, tires, or asbestos.

§131A.5 CERTAIN FIRES LAWFUL.

1. This chapter does not apply to the use of “Charcoal Grills”, “Liquid Fuel Grill”, “Outdoor Fireplaces” or “Campground fires”

§131A.6 FIREWORK REGULATIONS.

1. Reasonable Hours; It shall be unlawful for a person to discharge fireworks within the Hermosa town limits, except during the period beginning July 2nd and extending through July 5th, and during the period beginning December 28, and extending through January 1, as permitted within SDCL § 34-37-16.1.
2. It shall be further unlawful for a person to discharge fireworks within the Hermosa town limits during the times outside of July 2, 3, and 5 between 9:00 a.m. to 12:00 (midnight) a.m., July 4th between the hours of 9:00 a.m. and 2:00 a.m. On New Year’s Eve between the hours of 9:00 p.m. and 2:00 a.m., New Years Day 9:00 a.m. to 12:00 (midnight) a.m..
3. The Hermosa Town Board of Trustees may declare non-use of fireworks if fire conditions are unfavorable.
4. All liability from the discharge of fireworks remains with the person and/or property owner involved, including but not limited to injuries, death or property damage that may occur from discharging fireworks inside the Hermosa town limits.

§131A.7 REPEAL OF THE TOWN OF HERMOSA ORDINANCE NO. 131.

1. The Town of Hermosa, Ordinance Chapter 131, is hereby repealed in its entirety.

§131A.99 PENALTY.

1. Any person violating any provision of this chapter is subject to the penalties set forth in Hermosa Ordinance §10.99.

BOARD OF TRUSTEES:

Dan Holsworth, President

ATTEST:

Monika Serviss, Finance Officer

First Reading: 04-10-2023

Second Reading: 04-18-2023

Adopted: _____

Published: _____

Effective Date: _____

AN ORDINANCE AMENDING SECTION 50.01 OF THE TOWN OF HERMOSA ORDINANCES BY AMENDING SECTION 50.01 BY ADDING A NEW SUBSECTION THERETO THAT WAS INCORRECTLY AND INADVERTENTLY REDACTED IN A PRIOR AMENDMENT THAT TOOK EFFECT JUNE 16, 2021.

BE IT ORDAINED BY THE TOWN OF HERMOSA THAT SECTION 50.01 OF THE TOWN OF HERMOSA ORDINANCES BE AMENDED BY ADDING A NEW SUBSECTION THERETO, SECTION 50.01(D) REGARDING EXPENSES TO BE PAID BY THE WATER SERVICE APPLICANT:

§50.01

(D) If the permit is granted, applicant assumes all expenses covering material, labor, etc. for installation and connection of such pipes. This shall include, but is not limited to, curb stops, valves and boxes and dual check back flow prevention valves and water meters. Applicant shall assume all responsibility, cost, and expense of maintenance and repairs of such components including, but not limited to, such pipes, curb stops, valves and boxes and dual check back flow prevention valves and water meters, from the property owner's property line to the structure.

BOARD OF TRUSTEES

President

ATTEST:

Finance Officer

First Reading: 04-10-2023
Second Reading: 04-18-2023
Publication Date: _____
Effective Date: _____

13 H.

RESOLUTION No. 04-2023

**RESOLUTION OF THE BOARD OF TRUSTEES
OF THE TOWN OF HERMOSA
CERTIFYING A DELINQUENT ASSESSMENT PURSUANT TO
SDCL 10-23-1.1**

The Board of Trustees for the Town of Hermosa, State of South Dakota does hereby assess and levy on and against the lot and parcel of land described below the respective sums of money set against each lot or parcel.

This assessment is made to defray the cost of abating a nuisance as per SDCL 21-10-6.

The owners of said described lot or parcel have been noticed by certified mail return receipt requested and have failed to pay the amount of said described abatement.

The legal owners of the real property described herein are Robbie Schwinger and Wanda Schwinger.

The real property is legally described as follows:

Lot Twenty-Three (23) in Block Six (6) in the Original Town of Hermosa, Custer County, South Dakota.

The facts upon which this assessment against the foregoing lot and parcel are set forth as follows:

1. On April 15, 2009, the Town of Hermosa recorded a "*Miscellaneously (sic) Document Regarding Tax Assessment by Town of Hermosa*", with the Custer County Register of Deeds against the aforesaid described real property owned by Wanda Schwinger and Robbie Schwinger. The real property was assessed \$3,208.82 for reimbursement to the Town of Hermosa for abatement proceedings. This lien has never been paid and has accrued statutory interest. (See attached Exhibit "A")
2. On December 9, 2010, the Town of Hermosa recorded a "*Miscellaneously (sic) Document Regarding Tax Assessment by Town of Hermosa*", with the Custer County Register of Deeds against the aforesaid real property. The real property was assessed \$3,912.00 for reimbursement to the Town of Hermosa for abatement proceedings. The Town of Hermosa's costs and expenses incurred involved demolition of a building owned by the Schwinger's on the aforesaid real property. This lien has never been paid and has accrued statutory interest. (See attached Exhibit "B")

3. On February 11, 2014, the Town of Hermosa recorded another lien with the Custer County Register of Deeds against the aforesaid described real property in the sum of \$312.20 for mowing abatement costs incurred in 2011 and 2012. This lien has never been paid and has accrued statutory interest. (See attached Exhibit "C")
4. On February 22, 2022, the Town of Hermosa paid the Custer County Treasurer the sum of \$2,770.55 and received a "*Certificate of Redemption*", to preserve its liens inasmuch as a tax deed proceeding had been initiated by Charles Foley.
5. Accordingly, the total of the Town of Hermosa's special assessment delinquent tax liens are \$10,203.57 plus accrued interest.
6. WHEREFORE, The Town of Hermosa certifies that the foregoing special assessment tax liens are delinquent and the aforesaid described real property should be sold forthwith in accordance with SDCL Chapter 10-23.

TOTAL **\$10,203.57**

The City Finance Officer is directed to file this Resolution with the Custer County Auditor's Office to certify the delinquent assessment pursuant to SDCL 10-23-1.1.

Dated this ____ day of April, 2023

HERMOSA BOARD OF TRUSTEES

Dan Holsworth – President

Finance Officer:

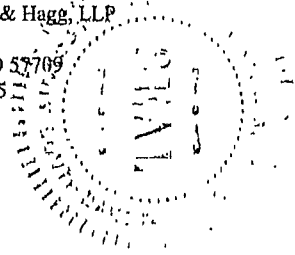
Monika Serviss

I hereby acknowledge receipt of the Town of Hermosa Resolution Certifying Delinquent Assessment.

County Auditor

Date

Prepared By:
Kent R. Hagg
Whiting Hagg & Hagg, LLP
P.O. Box 8008
Rapid City, SD 57709
(605) 348-1125



STATE OF SOUTH DAKOTA,
COUNTY OF CUSTER-SS 48626
Filed this 15 Day of Apr 2009 at 3:00 AM clock PM
BOOK 43 OF MISC PAGE 99
/S/ FRANCES M LARSEN BY: A. Bell
REGISTER OF DEEDS FEE \$ 1200 PD chg DEPUTY

**MISCELLANEOUSLY DOCUMENT REGARDING
TAX ASSESSMENT BY TOWN OF HERMOSA**

KNOW ALL MEN BY THESE PRESENTS, that the Town of Hermosa, a South Dakota Municipal Corporation, hereby puts all parties on notice by this filing that the property described below, will be assessed Three Thousand Two Hundred Eight Dollars Eighty-Two Cents (\$3,208.82) as reimbursement to the Town of Hermosa for abatement proceedings; specifically as set forth on the attached itemized list.

LOT 23 OF BLOCK 6, TOWN OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA.

Dated this 15 day of April, 2009.

TOWN OF HERMOSA

BY: [Signature]
SHANNA HARRIS, FINANCE OFFICER

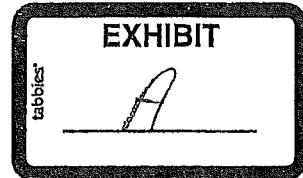
STATE OF SOUTH DAKOTA)
)SS.
COUNTY OF PENNINGTON)

On this the 15 day of April, 2009, before me, the undersigned Notary Public, personally appeared SHANNA HARRIS, who acknowledged herself to be the Finance Officer of the Town of Hermosa, a Municipal Corporation, organized and existing under the laws of the State of South Dakota, and that she, as such Finance Officer, being authorized so to do, executed the foregoing instrument for the purposes herein contained, by signing the name of the Town of Hermosa by herself as Finance Officer.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

[Signature]
Notary Public

My commission expires: 6-25-2009
(S.E.A.L.)



Schwinger Abatement Costs:

Name		Inv#	Amount	Other	
Dave St. Pierre	8/1/08	08-501.03	\$ 390.00		
		mileage	\$ 13.80		
	10/1/08	08-501.03	\$ 162.50		
		mileage	\$ 19.80		
	12/1/08	08-501.03	\$ 97.50		
		mileage	\$ 19.80		
Kent Hagg	9/29/08	46	\$ 62.50	.50 hrs	
	10/24/08	47	\$ 375.00	3hrs	
	10/27/08	47	\$ 93.75	.75 hrs	
	10/29/08	47	\$ 250.00	2 hrs	
	11/14/08	47	\$ 93.75	.75 hrs	
	11/20/08	47	\$ 250.00	2 hrs	
	11/25/08	47	\$ 31.25	.25 hrs	
Jim Daggett			\$ 643.50	33 hrs	
Appeals Board			\$ 250.00	\$50 per member (5 members)	
Mileage:	Colleen Myers - Rapid City		\$ 9.80	.28 cents per mile	
	Travis Beis - Fairburn		\$ 8.40		
	Dave St. Pierre - Rapid City		\$ 8.40		
	Dave Lindblom - Hwy 79		\$ 5.60		
	Ron Bengs - Rapid City		\$ 8.40		
	Jim Schultz - Hermosa		\$ -		
Mailing costs of appeals packets			\$ 32.52	\$5.42 each	5 mbrs + sub
			\$ 10.84		St. Pleer + Hagg
			\$ 10.84		Schwinger + Moran
			\$ -		Daggett + Town
Publishing cost of hearing			\$ 5.58		
Copies of pictures for packets			\$ 24.17		
Administrative Hours			\$ 241.12	16 hrs	Shanna
			\$ 90.00	10 hrs	Linda
Total			\$ 3,208.82		

Whiting Hagg Hagg
Dorsey & Hagg LLP

ATTORNEYS AT LAW

601 West Boulevard
Rapid City, South Dakota 57701
Mailing Address:
P.O. Box 8008
Rapid City, SD 57709-8008

CHARLES H. WHITING
(1905-2000)

Telephone 605.348.1125
Fax 605.348.9744
Email firm@amattoroflaw.com

BRIAN D. HAGG
REXFORD A. HAGG**
JOHN STANTON DORSBY†
KENT R. HAGG**

*ALSO LICENSED TO PRACTICE IN OKLAHOMA
**ALSO LICENSED TO PRACTICE IN NEBRASKA
† ALSO CERTIFIED CIVIL TRIAL ADVOCATE

October 29, 2010

Custer County Register of Deeds
420 Mt. Rushmore Rd.
Custer, SD 57730

Re: Miscellaneous Document

Dear Register of Deeds:

Please find enclosed a Miscellaneous Document to be filed with the Deed on Lot 23 of Block 6, Town of Hermosa, Custer County, commonly known as 2 Third Street, Hermosa, South Dakota.

Thank you for your assistance in this matter.

Sincerely,

WHITING HAGG HAGG
DORSEY & HAGG, LLP

Kent R. Hagg

KRH/dcc
Enclosures



Town of Hermosa



PO Box 298 • 230 Main St • Hermosa, SD 57744
 Phone (605) 255-4291 • Fax (605) 255-4094
 E-mail twnhrmsa@custercountysd.com

Schwinger Demolition Costs:

Name	Inv#	Amount	Other
Miller Construction	11/5/10	\$ 3,750.00	
Kent Hagg		\$ 75.00	
Misc. Document Preparation			
Demolition Permit		\$ 25.00	
Administration Fee		\$ 50.00	
Misc. Doc. Filing Fee		\$ 12.00	
Total		\$ 3,912.00	

Hours of Operation:
 Monday – Friday 8:00—5:00

In accordance with Federal law and U.S. Department of Agriculture policy, this Institution is prohibited from discriminating on the basis of race, color, national origin, age, disability, religion, sex, and familial status. (Not all prohibited bases apply to all programs.) To file a complaint of discrimination, write USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD).

Town of Hermosa



PO Box 298 • 230 Main St • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
E-mail twnrmsa@custercountysd.com

February 7, 2014

Custer County
420 Mt Rushmore Rd
Custer, SD 57730

Re: Property Lien Requests

STATE OF SOUTH DAKOTA,
COUNTY OF CUSTER-SS. 64346
Filed this 11 Day of Feb 2014 at 10:00 O'clock AM
BOOK 45 OF MISC PAGE 167
ISI A Bell
REGISTER OF DEEDS FEE \$ 30⁰⁰

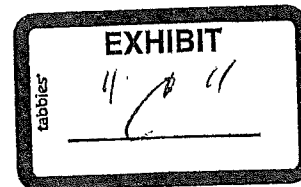
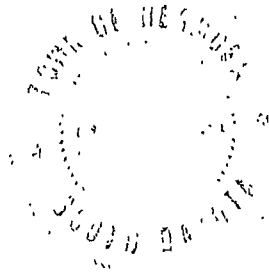
Dear Dennis,

The Town of Hermosa would like to file the following three miscellaneous property liens, due to unpaid abatements.

I have attached an addendum with the pertinent information, along with copies of the unpaid invoices. Please let me know if any further information is required to complete this request. I have also included a check for the \$30 filing fee.

Thanks,

Shanna Harris
Finance Officer



This institution is an equal opportunity provider and employer. If you wish to file a Civil Rights program complaint of discrimination, complete the USDA Program Discrimination Complaint Form, found online at http://www.ascr.usda.gov/complaint_filing_cust.html, or at any USDA office, or call (866) 632-9992 to request the form. You may also write a letter containing all of the information requested in the form. Send your completed complaint form or letter to us by mail at U.S. Department of Agriculture, Director, Office of Adjudication, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410, by fax (202) 690-7442 or email at program.intake@usda.gov. Hours of Operation: Monday - Friday 8:00am - 5:00pm

ADENDUM

#1

ELH, LLC
(dba Epic Outdoor Advertising)
Attn: Brendan Casey
720 St. Anne St.
Rapid City SD 57701

Property ID#: 009302
Legal Description: Lot C Part of Outlot C in NW4NW4 Sec 32 T2 R8

Amount: \$530.00

#2

Bank Of New York Mellon
7105 Corporate Dr.
Plano, TX 75024

Previous Owner: Scott Burleson

Property ID#: 010757
Legal Description: FERGUSON SUBD - LOT 24 IN NW4 SEC 32 T2 R8 .195 AC 744-00-064-000-024-00

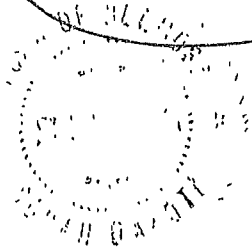
Amount: \$230.00

#3

Robbie Schwinger
515 St. Francis St. Apt. 1
Rapid City SD 57701

Property ID#: 009190
Legal Description: LOT 23 BLOCK 6, Original Township - Hermosa

Amount: \$312.20



Hours of Operation:
Monday - Friday 8:00-5:00

In accordance with Federal law and U.S. Department of Agriculture policy, this institution is prohibited from discriminating on the basis of race, color, national origin, age, disability, religion, sex, and familial status. (Not all prohibited bases apply to all programs.) To file a complaint of discrimination, write USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD).

COPY



Town of Hermosa
PO Box 298, Hermosa, SD 57744
Phone: (605) 255-4291 Fax: (605) 255-4094
twhrmsa@custercountysd.com

DATE: SEPTEMBER 11, 2012
INVOICE # 2012-03

1() Robbie Schwinger
23rd St.
Hermosa SD 57744

Re: Mowing Abatement Fees - Lot 23 of Block 6 of Original Township Hermosa

SALESPERSON	JOB	PAYMENT TERMS	DUE DATE
Town of Hermosa	Mowing Abatements	Assessed to Property	

QTY	DESCRIPTION	UNIT PRICE	LINE TOTAL
06-29-2011	Mowing Abatement Cost (6-23-11 Notice)	1	63.60
	Abatement Fee	1	40.00
08-08-2011	Mowing Abatement Cost (08-03-11 Notice)	1	63.60
	Abatement Fee	1	40.00
06-18-2012	Mowing Abatement Cost (06-12-12 Notice)	1	65.00
	Abatement Fee	1	40.00



SUBTOTAL	\$312.20
SALES TAX	0.00
TOTAL	\$312.20

Make all checks payable to: Town of Hermosa

** Accounts not paid in full by the due date referenced above will be subject to additional late fees, interest charges, and may be forwarded to collections or small claims court for judgment approval.

13 I.



RE: No Parking Sign

N. 5th St.