

**HERMOSA TOWN BOARD
TUESDAY, OCTOBER 4, 2022
EXECUTIVE SESSION @ 5:00pm
REGULAR MEETING @ 6:00pm**

- 1) **CALL:**
 - A. BOT Roll Call: Henrichsen, Holsworth, Kramer, Schumack, Thomason
 - B. Acknowledgement of other Attendees
 - C. Pledge of Allegiance to be led by Holsworth

- 2) **EXECUTIVE SESSION:**
 - A. Motion to enter Executive Session allowable by SDCL 1-25-2.1 – Legal/Personnel/Contract
 - B. Motion to exit out of Executive Session
 - C. Motions resulting from Executive Session

- 3) **CALL FOR CHANGES:**
 - A. Review of current agenda items
 - B. Motion to accept the agenda as presented/amended

- 4) **CONSENT CALENDAR:**
 - A. Approval of the September 20, 2022, regular meeting minutes

- 5) **CONFLICT OF INTEREST DECLARATION**

- 6) **CLAIMS:**
 - A. Review payroll and claims
 - B. Motion to approve the claims as presented/amended

- 7) **LAW ENFORCEMENT/ ABATEMENTS/COMPLAINTS:**
 - A. Committee report
 - B. Custer County Log
 - C. Abatements
Properties, Dumpster
 - D. Law Enforcement Radios

- 8) **LEGAL:**
 - A.

- 9) **ENGINEER:**
 - A. Water Rehab Project (WRT System)
Pending due to awaiting water test results and Oct/Nov funding
 - B. Hermosa Sidewalk Project
 - C. Sewer Project (Lagoon expansion)
Approval to sign, pending
Directing town board president to execute an agreement with ACES to complete the final design plan for the lagoon expansion and that the same be submitted to DANR by the town engineer.
 - D. Water/Sewer Facility Plans
Resolution(s) review
DANR Award
 - E. Town of Hermosa Water and Sewer Extension Project
 - F. Hermosa Hills Drainage
 - G. Whitney Street Drainage
SDARWS Report, Pending technician assistance, update on timeline
 - H. 5th Street repair discussion
 - I. Roy's Drive In Sewer Line
Pending Roy's response
 - J. Facility Plan for Booster, Water Meters
Possibly to add to USDA
 - K. Rural Development
Application pending

- 10) **PLANNING & ZONING:**
- 11) **PUBLIC WORKS**
- A. Committee Report
 - B. Streets, Street Light Repairs, Water & Sewer Department Updates
 - Approval to purchase two loads of gravel
 - C. Land Application Contract
 - D. SDARWS, Daily readings/spreadsheet
 - E. CMOM Discussion
 - F. Notice of Violation, Order of Compliance and Settlement Agreement
 - G. Midco Diving
 - Approval to inspect tower
 - H. Approval for Fluoride test
- 12) **FINANCE OFFICE:**
- A. Monthly financials
 - B. Department updates
 - C. Midwest Assistance Program
- 13) **OLD BUSINESS:**
- A. Annexation: Gumbo Lilly, Fairgrounds Place, McDermand Street
 - Approval to proceed with annexation
 - B. Town Sign, pending
 - C. Town Office: Deck Staining, pending
 - D. Library: Deck Staining, Mud Jacking, pending
 - E. Camera drainage
 - Approval to camera at retention pond, pending SDARWS results
- 14) **NEW BUSINESS:**
- A. Water user rate issues
 - Prairie Winds and NHWU
 - B. Water rate increase
 - C. Bird deaths investigation
 - D. Tree trimming
 - Approval to remove tree by town shop
 - E. Hermosa Library
- 15) **ITEMS FROM CITIZENS:** No action will be taken (3-minute time limit per speaker)
Meetings of the Board of Trustees are open to the public. The audience may be allowed to comment on specific agenda items during the time allotted on the agenda for those items, according to established procedures of the Board. This is a time for members of the in-town municipal boundary citizens to express concerns or discuss issues having relevance to the town. Anyone wishing to address the Town Board during this time shall be asked to identify themselves. The number of presentations and time allotted to individuals may be limited by the board president and individuals shall refrain from discussing personalities. The president at his discretion, may recognize patrons at other times during the board meeting. No action will be taken by the board on any issue related without being first placed on a future agenda, by the board, to allow for proper notice.
- 16) **TRUSTEE INPUT:**
- 17) **EXECUTIVE SESSION:**
- A. Motion to enter Executive Session allowable by SDCL 1-25-2.1 – Legal/Personnel/Contract
 - B. Motion to exit out of Executive Session
 - C. Motions resulting from Executive Session
- 18) **ADJOURN:** Motion by _____; Second by _____ to adjourn the meeting at _____ PM.

HERMOSA TOWN BOARD
REGULAR MEETING
TUESDAY, SEPTEMBER 20, 2022 @ 6:00pm



4A

ROLL CALL: Holsworth called the meeting to order at 6:06 pm with the following members present: Henrichsen, Holsworth, Kramer and Schumack. Thomason was absent. Attorney Johnson, Ferguson and several interested citizens also present. Pledge of Allegiance was led by Holsworth.

CALL FOR CHANGES: Motion made and seconded to approve agenda as presented; vote; one nay, three ayes, motion carried.

CONSENT CALENDAR: Motion made and seconded to approve September 6, 2022, minutes as presented; vote; all ayes, motion carried.

CONFLICT OF INTEREST DECLARATIONS: None.

CLAIMS: Motion made and seconded to approve September 20, 2022, Payroll and Claims as presented; vote: all ayes, motion carried. Claycomb Engineering; Permit 2022-24 Staff Report, Floodplain Administrator Svcs; \$416.00; Farmers Supply; Bench test old well; \$152.85; Ferguson, Chuck; Contract (September 2022 Contract, Pay 9/30/2022); \$2,446.34; G.J. Holsworth & Son; Repair 5th Street; \$1,500.00; Golden West; Recurring billing 9/1/22-9/30/22; \$563.50; Hagg & Hagg; Services; \$10,583.35; Lingo; Monthly service; \$71.57; Mt Rushmore Telephone; Monthly service; \$242.91; Nelson's Oil and Gas; Propane; \$308.14; Payment Service Network; Monthly service; \$135.45; Summit Signs and Supply; 15 MPH signs, hardware, posts, etc.; \$382.50; Payroll related: Finance Department; \$2,762.56; Payroll; Boddicker; Health insurance; \$200.00; EFTPS; 941 payroll tax deposit; \$671.63; SD Dept of Revenue; July/August Sales Tax Payable, \$585.77. TOTAL: \$21,022.57.

LAW ENFORCEMENT/ ABATEMENTS/COMPLAINTS: No report.

LEGAL: Board welcomed Attorney Johnson's return to service following an absence.

ENGINEER: Water Rehab Project (WRT System): pending release of ARPA funds. Hermosa Sidewalk Project: pending. Sewer Project: motion made and seconded to direct the town board president to execute an agreement with ACES to complete the final design plan for the lagoon expansion and that the same be submitted to DANR by the town engineer; vote; one nay; three ayes, motion carried. Water/Sewer Facility Plans: pending. Town of Hermosa Water and Sewer Extension Project: motion made and seconded to approve the request for Claycomb to review the north sewer legal action, to devise a solution, and approve Kramer, Holsworth, Harris, Hagg and Claycomb to meet; vote; one nay, three ayes, motion carried. Hermosa Hills Drainage: project nearing completion, update to be given at next meeting. Whitney Street Drainage, pending. 5th Street Repair: Holsworth to assist in repairing. Roy's Drive In Sewer Line: pending. Facility Plan for Booster, Water Meters: pending. Rural Development Application: pending.

PLANNING & ZONING: Review of September 13, 2022, P&Z minutes; no action taken.

Motion made and seconded to approve Permit 2022-29 - Floodplain Development – 259 Donna St. – Fence, per Staff Report and all fees paid; vote; all ayes, motion carried.

Motion made and seconded to leave pending Permit 2022-30 – Informational Permit – New Business – 122 Vilas @ Hermosa Community Center, per confirmation whether the ADA chair lift is available plus whether a commercial building permit was submitted to confirm compliancy for fire suppression and electrical.

Motion made and seconded to approve Permit 2022-31 – Demolition Application, Moving Permit – Parcel # 009327, vote; all ayes, motion carried.

Motion made and seconded to approve Permit 2020-32 – Digging/Grading Permit, 315 Main Street, Extension request; vote; all ayes, motion carried.

Floodplain Development Permit, Town of Hermosa, pending.

Motion made and seconded to approve Tanya Stockham as a new board member on the Planning and Zoning Board; vote; all ayes, motion carried.

Motion made and seconded to remove Review of minutes, Permits 2022-29, 2022-31, 2020-32, and P&Z new member from the agenda; vote; all ayes, motion carried.

PUBLIC WORKS: Ferguson provided updates on streetlights, no action. Midco Diving inspected big tower, repaired a minor leak. DANR approved the CMOM report; Ferguson required to adhere to the processes stipulated in the plan. Notice of Violation, Order of Compliance and Settlement Agreement, pending. Land Application Contract: trustees proceeding with scheduling a meeting with landowners. Approval for Fluoride test: motion made and seconded to leave item as pending per report from SDARWS; vote; all ayes, motion carried.

FINANCE OFFICE: Financial reports provided in packet. Motion made and seconded to approve Boddicker to sign and return Tax Levy to Custer County; vote; all ayes, motion carried. Report given regarding the visit by Directors with the Rural Community Assistance Program (RCAP) and Midwest Assistance Program; motion made and seconded to leave item on agenda as pending per receiving grant information; vote; all ayes, motion carried.

OLD BUSINESS: Annexation: Gumbo Lily, Fairgrounds Place, McDermand Street to be discussed at 9-27-2022 Work Session. Town Sign, pending. Town Office: Deck Staining: pending. Library: Deck Staining, pending. Mud Jacking: to be completed the first of October. Camera drainage, pending.

NEW BUSINESS: NHWU, Prairie Winds, and water user rate issues to be discussed at September 27, 2022, work session agenda. Bird deaths investigation, pending test results. Tree trimming: approval granted on September 6 meeting for trees to be trimmed and removed.

ITEMS FROM CITIZENS: Citizen prefers neighbors help each other rather than depending on federal government. Citizen concerned with the cost of flood insurance. Town requested to investigate the possibility to re-evaluate the floodplain zone. Citizen requested to review the bid submittals for the design of the lagoon expansion project. In addition, citizen requested the town follow processes as citizens are required to follow when submitting project plans.

EXECUTIVE SESSION: Motion made and seconded to enter Executive Session at 7:24 p.m. allowable by SDCL 1-25-2.1; vote; all ayes, motion carried. Motion made and seconded to exit executive session at 7:59; vote; all ayes, motion carried. No action taken during executive session.

TRUSTEE INPUT: Henrichsen: good meeting, appreciates the board; Schumack: good meeting, reported the removal of the car from her property; Kramer: it was a good meeting and good day with the visit by RCAP/MAP; Holsworth: very good input in meeting, and it was a very impressive day with the RCAP/MAP visitors.

Motion made and seconded to adjourn at 8:03 pm; unanimous.

ATTEST:

Dan Holsworth, Town Board President

Gail Boddicker, Finance Officer
Published once at the approximate cost of ____

Claims for Approval 10-4-2021		
A&B Business Solutions	Monthly Charge	\$ 560.28
Arledge, David	Customer deposit refund, 360 Vilas Street	\$ 125.00
Baker Mudjacking, LLC	Sidewalk(s) repair	\$ 2,346.94
Barber, Tim	Customer deposit refund, 10 West Court (Brian Barber)	\$ 50.00
Black Hills Electric Cooperative	Monthly services	\$ 3,564.14
Boddicker, Gail	Reimbursement for lunch for RCAP/MAP visitors, 9/20/2022	\$ 160.00
Cass, Cindy	Customer deposit refund, 24 No 5th Street	\$ 53.16
Dustbusters	DustGard	\$ 13,541.00
gWorks	2nd payment on contract	\$ 4,080.00
Johnson Law Office	September 2022 Services	\$ 314.50
Midco Diving & Marine Svcs	Underwater Dye/Leak Testing	\$ 3,724.50
Miller Construction	Deliver 22 Ton Base Course to Stockpile	\$ 459.00
ODP Office Solutions, LLC	Office supplies	\$ 172.33
Payment Service Network	9/1/2022 - 9/30/2022 services	\$ 133.40
Pioneer Bank and Trust	Charge for 2 signature account	\$ 25.00
Pioneer Bank and Trust (VISA)	Office supplies	\$ 405.34
Rural Development (RD1)	September 2022 Payment	\$ 1,278.00
Rural Development (RD2)	September 2022 Payment	\$ 417.00
Rural Development (RD)	September 2022 Payment	\$ 222.00
Sander Sanitation Service	September 2022 services	\$ 4,156.91
SDARWS (Rural Water Systems)	Equipment, testing, technical assistance	\$ 830.00
SD DOT	Share of costs paid: Project PTAPR, Sidewalk	\$ 336.03
Southern Hills Publishing	September publications	\$ 359.82
US Bank	N Sewer TIF	\$ 3,820.54
Payroll related:		
Payroll	Board of Trustees	\$ 675.00
Payroll	Finance Department	\$ 2,772.00
Payroll	Planning & Zoning	\$ 910.00
Payroll	Janitorial	\$ 201.50
Payroll	Meter	\$ 133.00
Gail Boddicker	Health insurance	
EFTPS	941 payroll tax deposit (9-30-2022 Payroll)	\$ 965.85
Health Pool of South Dakota	Monthly premium	\$ 882.97
SD Retirement Fund	September 2022 SDRS	\$ 699.48
TOTAL		\$ 48,374.69

9c

9J

Gail Boddicker

From: lberg@proacesinc.com
Sent: Monday, October 3, 2022 10:49 AM
To: Gail Boddicker
Cc: dfinch@proacesinc.com
Subject: RE: Hermosa

Gail,

The lagoon expansion project requires an archeological study before final design can be completed. I should have a proposal from Quality Services tomorrow. We also still need to complete a topographic design survey, preliminary and then final design. After the State approves the expansion then it can go out for bid. The study, survey and design should be able to be completed this winter, with approval and bidding early in 2023. Construction would likely be in late summer 2023, during the warmest and driest time of the year. Once I have the proposal for the archeological study I will have a better understanding of the schedule. I can then also provide a draft contract for consideration by the Board with an amount for the professional services.

In regards to the USDA funding application, the project scope needs to be finalized. Dylan Tramp is out of the office until Oct 11th. From what I understand the water project scope is the new well, the booster pump on the existing distribution and the Gumbo Lily Lane extension area. I had asked Dylan before if the project scope can be changed, such as if the annexation does not proceed and the Gumbo Lily portion is eliminated and this was his response:

“To answer your questions, yes we can re-evaluate the PER at any time. We underwrite our application on the recommend alternative selected within the PER. If things change and the City wants to change the project scope, they would need you to revise the PER to select a new recommended alternative(s). At that time, we would also revise estimated project costs as that price estimate is what we use to underwrite our potential funding package. Do you have an estimated timeline as to when the annexation and/or project scope may change? Also, how likely do you think it is that the project scope will change? I’m just wondering because the PER will have to be reviewed by RD a second time if the project scope changes. RD would also need to re-underwrite the application and navigate the approval process a second time. That wouldn’t be a showstopper by any means, but more so a time consuming process and would further delay funding approval. To streamline applications as much as possible, our program is really structured for project scopes that are finalized and not subject to change. Please let me know your thoughts.”

Can you verify what the final project scope is? Also, does ACES have approval to revise the Facility Plan according to the new project scope or adding a booster and any changes with the Gumbo Lily portion of the project? The costs for all project scope items need revised with a new application that would have construction items in 2023.

The last I heard from Dylan they were without an engineer to be able to review applications, I have not heard if they have one onboard yet. He also had said that the application would be reviewed and considered in the first quarter of 2023.

The USDA process is not quick and he continues to say that every time I reach out. So the booster pumps being a “hot” item will not be implemented until next summer, if a USDA funding source is secured.

I hope that helps provide you the information you were looking for.

Thanks,
Leah M. Berg, P.E.
Civil Engineer / President

HERMOSA PLANNING & ZONING BOARD
REGULAR MEETING
September 27, 2022 @ 6:00pm



ROLL CALL: Harris called the meeting to order at 6:00pm with the following members present; Harris, Waltman, Irvine and Stockham. Liaison Henrichsen. Pledge of Allegiance led by Harris.

CALL FOR CHANGES: Motion made; seconded to move 6d from New Business to Old Business; Vote; all aye; motion carried.

CONSENT CALENDAR: Motion made; seconded to approve the September 13, 2022, meeting minutes; Vote; all aye; motion carried.

OLD BUSINESS:

Permit 2022-30 – Informational – Desa Lintz CPA Prof. LLC. – Conversation included a few items need to be addressed before occupying the downstairs office space. Motion made and seconded to approve FYI if items are completed before occupying space. 1. Provide in the front of building one handicapped accessible parking spot with sign. 2. Confirmation chair lift is in working order. 3. Confirm restroom doors in basement are wide enough to comply with ADA requirements. 4. Verify or install working smoke alarm in office. Vote; all aye; motion carried. An inspection utilizing the ADA checklist of the upstairs and outside will be completed by the town's Building Inspector and provided at future P&Z meeting. Owners have agreed they will come up with a plan and timeline to complete items that are not up to ADA standards. Tmline to be reviewed annually.

NEW BUSINESS:

Permit 2022-33 – Residential Bldg/Digging/Demo – 10 West Court. – Remove old carport and addition. Add new 24x28 gargage, plant grass and repair retaining wall. Motion made and seconded to approve based on the Engineer's staff report, vote; all aye; motion carried.

Permit 2022-34 – Residential Bldg/Digging – 810 Marie (Lot 7) – Motion made and seconded to approve based on requested requirements from Engineers Staff Report to include a sketch of plot plan to specify location of water and sewer services. vote; all aye; motion carried.

Request for official address for Parcel 015192 (Lot 23) and Parcel 015193 (Lot 24) in Hermosa Hills. Board took into consideration suggestions from Custer County and agreed to proceed with recommendations. Motion made and seconded to approve Parcel 015192 (Lot 23) be 510 Walter and Parcel 015193 (Lot 24) be 500 Walter. vote; all aye; motion carried.

Oath of Office from Tanya Stockham. The P&Z board welcomes and appreciates new member to the board.

Letter of Intent to serve on P&Z board from Bobbie Klaski – Motion made and seconded to approve appointment to P&Z board. vote; all aye; motion carried.

REVIEW BOT MINUTES: September 20, 2022

ORDINANCE REVIEW & WORK ITEMS:

Permit 2022-32 – Floodplain Development Permit, Town of Hermosa; Pending
Manufactured Moving Ordinance - Chapter 153; Pending
Annexation Study; Pending;
Review of 2018 Comprehensive Plan; Pending

TRUSTEE INPUT:

CITIZEN INPUT:

ADJOURN: Motion made, seconded to adjourn the meeting at 6:25pm; Vote; all aye; motion carried.

Joan Harris, Planning & Zoning Board President

Jill Dybvig, Administrative Assistant

There may be a quorum of Board of Trustees present at Planning & Zoning Meetings

RESIDENTIAL BUILDING PERMIT APPLICATION

(This Building Permit is Valid for One Year – Please See Page 3 for Exceptions)

DATE 9/15/22

PERMIT # 2022-33

Receipt # _____	Cash _____	Check # <u>1149</u>	Amount <u>75⁰⁰</u> (\$75.00)
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** PLEASE INCLUDE TO-SCALE DRAWINGS **

Is Property in the Flood Plain? ___ Yes ___ No Zoning District R1

IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

APPLICATION SUBMITTED BY:

Property Owner Name(s) Alyssa McLaughlin

Mailing Address PO Box 504

City Hermosa State SD Zip 57144

Email alyssa.mclaughlin@outlook.com

Phone # Home 6053811986 Cell _____ Work _____

LEGAL DESCRIPTION

Subdivision name: TR D2 of Lot B of outlot C sec 32 T2 R8 MH AS RE

Lot# _____ Block _____ Lot Size _____

Zoning District _____ Is this property in the Flood Plain? Yes ___ No

Building address: 10 West Court

CLASS OF WORK TO BE DONE

New structure Demolition Remodel _____ Addition _____

- Remove carport & addition

Residential: Single Family _____ Accessory Multi-Family _____

Proposed Use Building: garage

Building Area (Sq. Ft.): 576 Height: 8ft # of Units _____

No. of Stories: 1 No. of Bathrooms: _____ Deck: _____ Deck Area (Sq. Ft.): _____

SETBACK FROM LOT LINES:

FEET

CITY MINIMUM

Applicable Zoning District

Front 44 ft _____

Rear 114 ft _____

Sides 32 ft (west) 52 feet (east)

(20'/25')

(5'/8'/15')

(8'/10'/25')

Setbacks			
Primary	Front	Sides	Rear
RS	20ft	10ft	15ft
R1	20ft	10ft	15ft
R2	20ft	10ft	15ft

Accessory Buildings			
Primary	Front	Sides	Rear
RS	**	8ft	5ft
R1	**	8ft	5ft
R2	**	8ft	5ft

Mobile Home Park		
Front	Sides	Rear
20ft	8ft	15ft

**IN NO CASE SHALL AN ACCESSORY BUILDING BE LOCATED TO EXTEND IN FRONT YARD.

Parcel # 009298 OFFICE USE ONLY

TYPE OF CONSTRUCTION

Wood Concrete _____ Block _____ Brick _____ Modular _____ Other _____

FOUNDATION

Thickness of Foundation 5" Thickness of footings 8" Width of Footings 16" Depth 8"
Pier Foundation System: _____ Diameter of pier _____ Spacing of pier _____

CONTRACTOR INFORMATION

Contractors must all be registered with the Town of Hermosa

General Contractor
(Project POC/responsible party): SODAK Builders Phone: 605 3811986

Structural Contractor: _____ Phone: _____

Electrical Contractor: _____ Phone: _____

Plumbing Contractor: _____ Phone: _____

Heat/Mechanical Contractor: _____ Phone: _____

Excavation Contractor: _____ Phone: _____

Are there any of the following on site: Hazardous materials Yes _____ No
Lead paint Yes _____ No
Asbestos Yes _____ No

Does the building have a Historical Designation: Yes _____ No

Current utilities on site: Gas _____ Water Electricity Municipal Sewer Septic _____

Proposed utilities: all utilities existing, will use addition garage power.

Describe Work: Replace attached carport with garage. Garage will be same size as carport.

TOTAL COST ESTIMATE OF IMPROVEMENTS: \$ 15,000

TOTAL SQUARE FOOTAGE OF PROJECT: 576

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

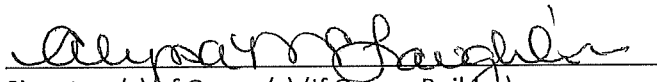
Every permit issued by the Planning Department under the provisions of this code shall expire by limitation and become null and void if the building or the work authorized by such permit is not commenced within 12 months from the date of such permit or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of one year. If so, before such work can be re-started, an extension of the permit shall be first obtained to do so, and a service charge of \$35.00 shall be required, provided no changes have been made or will be made in the original plans and specifications for such work.

In filing this application, I hereby grant to the Hermosa Planning & Zoning commission, and the Hermosa Town Board, and their designee(s), permission to inspect any and all structures and land involved in my application for the purpose of ascertaining compliance with the ordinance of the Town of Hermosa and the State of South Dakota which permission shall continue so long as the application or an appeal there-on is pending. It is my responsibility to ensure the presence of the Town Maintenance Supervisor during water and sewer connections.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

I understand Permit application fees are due upon submittal and are non-refundable. Final fees are based upon building calculations and are due and payable when permit has been approved. Permits are reviewed by the town engineer; those expenses will be included with the permit fees and applicant will be responsible for those expenses.

A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BEFORE OCCUPYING STRUCTURE. *garage only*


Signature(s) of Owner(s) (If Owner Builder)

9/5/22
Date


Signature(s) of Contractor/Authorized Agent

9/5/22
Date

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT

PLANNING AND ZONING COMMISSION	HERMOSA BOARD OF TRUSTEES
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
NAME: _____	NAME: _____
TITLE: _____	TITLE: _____
SIGNATURE: _____	SIGNATURE: _____
DATE: _____	DATE: _____
APPLICATION FEE: \$75.00 DATE PAID: _____	DATE PERMIT ISSUED: _____

RESIDENTIAL SITE PLAN REQUIREMENTS

PLEASE NOTE: Incomplete plans will be returned to applicant for resubmission. As per zoning ordinance do not cover more than 40% of lot.

General

Site plan drawn to scale (1" = 20" preferred)

- 1. Show scale
- 2. Show North arrow
- 3. Lot dimensions, property lines
- 4. All existing structure and their distances to property lines
- 5. All new structures and distances to property lines (VERIFY SETBACKS)
- 6. Additions to existing structure and distances to property lines (VERIFY SETBACKS)
- 7. Building dimensions
- 8. Adjacent roads
- 9. Driveways
- 10. Parking spaces – if applicable
- 11. Utilities, electric, water, sewer
- 12. Well location – if applicable *n/a*
- 13. Septic location – if applicable *n/a*
- 14. Footing and Foundation Plan
- 15. Other _____
- 16. Other _____

Additional information that may be required

- B. Complete Mechanical Floor Plan *n/a*
- C. Wall Section and Full Sections
- D. Open water areas, (streams, creeks, and natural drainage ways) *n/a*
- E. Are you in the Flood Plain? *no*

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

Is Property in the Flood Plain? ___ Yes No Zoning District R1

IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

DIGGING/GRADING PERMIT

DATE 9/5/22

PERMIT # 2022-33

Receipt # _____	Cash _____	Check # <u>3019</u>	Amount <u>50⁰⁰</u> (\$50.00) up to 100CY
			\$20.00 each additional 100 CY

Name _____
 Lot Address 10 West Court
 Mailing Address PO Box 504 Email Alyssa.mclaughlin@outlook.com
 Legal Description _____
 Telephone # 605 381 1986 Cellphone # 605 381 1986
 Contractor SODAK BUILDERS Phone# 605 381 1986

Contractors must all be registered with the Town of Hermosa

All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not presume to give authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other local law or ordinance regulating construction or the performance of construction in the Town of Hermosa.

Sketch and/or describe work: (use separate sheet, or attach grading plan)

Will grading operation be located in the floodplain? _____ Yes No
 If yes, have ordinance requirements been met? _____ Yes _____ No
 Will drainage patterns be altered? _____ Yes No
 Will grading operation take place in a geologically hazardous area? _____ Yes No
 If yes, have proper precautions been taken? _____ Yes _____ No

Quantity of Grading or Excavation: 50? unknown Cubic Yards Area to be disturbed by proposed work: .25 acres

Identify types of erosion control to be applied: plant grass/repair retaining wall

Source/Destination of materials: out of town

Provide traffic control per Manual on Uniform Traffic Control Devices.
 Hard Route: Details: Remove dirt to repair retaining wall

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached. _____ Yes _____ No N/A

This permit will expire one year from date of issuance.

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Relationship to Property: Owner _____ Contractor _____ Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

Signature Alyssa McLaughlin Date 9/5/22

PLANNING AND ZONING COMMISSION

Approved Denied

NAME: _____
 TITLE: _____
 SIGNATURE: _____
 DATE: _____
 APPLICATION FEE: \$50.00 DATE PAID: _____

HERMOSA BOARD OF TRUSTEES

Approved Denied

NAME: _____
 TITLE: _____
 SIGNATURE: _____
 DATE: _____
 DATE PERMIT ISSUED: _____

Parcel # 009298 OFFICE USE ONLY

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

DEMOLITION PERMIT APPLICATION

Date 9/5/22

Permit # 2022-33

Receipt # _____	Cash _____	Check # <u>1149</u>	Amount <u>25⁰⁰</u> (\$25.00)
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Name (Structure Owner) Alyssa McLaughlin Phone: 605 381 1986

Contact Address: PO Box 504

Email: Alyssa.mclaughlin@outlook.com

Address of Project/Relocation: 10 West Court

Legal Description: TR D2 of Lot B of outlot C. Sec 32 T2 R8 MHAS RE

*Contractor Name: SODAK Builders Phone: 605 381 1986

***Contractors must all be registered with the Town of Hermosa**

Contact Name: Alyssa McLaughlin

Address: PO Box 504

Type Of Construction: Wood Block Metal Pole Mobile Modular Other: _____

Type Of Use: Residential Accessory Addition Commercial Other: _____

Description of Project: Remove carport to replace with garage.

(+addition)

Current Site Information
Sewage Disposal System? Yes No Private Public
Water Supply System? Yes No Private Public

Utilities Disconnected? Yes No
Asbestos Present Yes No

Asbestos Inspection Yes Date: _____ No

Inspector: _____ Phone: _____ Address: _____

Asbestos Abatement Yes Date: _____ No

Contractor: _____ Phone: _____ Address: _____

Mobile Home Identifying Information

Name on Title: Alyssa McLaughlin Serial #: _____ Year: _____ Size: _____ X _____

Manufacturer: _____ Model: _____ Decal #: _____

Demolition and Clean Up to Be Completed on Or Before: _____

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT.

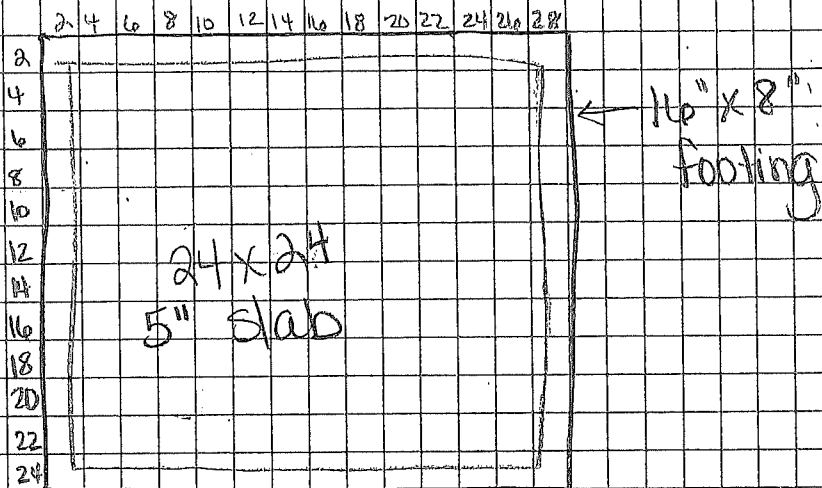
Signature of Applicant: Alyssa McLaughlin Date: 9/5/22

<p>Planning and Zoning Commission</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>Name: _____</p> <p>Title: _____</p> <p>Signature: _____</p> <p>Date: _____</p> <p>Application Fee: \$25.00 Date Paid: _____</p>	<p>Hermosa Board of Trustees</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>Name: _____</p> <p>Title: _____</p> <p>Signature: _____</p> <p>Date: _____</p> <p>Date Permit Issued: _____</p>
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Parcel #
009298
OFFICE USE ONLY

"In accordance with Federal law and U.S. Department of Agriculture policy, this Institution is prohibited from discriminating on the basis of race, color, national origin, age, disability, religion, sex, and familial status. (Not all prohibited bases apply to all programs.) To file a complaint of discrimination, write USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6982 (TDD)."

10 West Court Garage Slab



Town of Hermosa

PO Box 298 * 230 Main St. Hermosa, SD

605-255-4291

Email: town@hermosasd.com

Pre-Inspection Form

To be retained in permanent file

Customer Name	Permit #	Date
Alyssa McLaughlin	2022-33	9.12.2022

Site Address	Parcel #
10 West Court	009298

MUST MEET ALL PERMIT REQUIREMENTS

Inspection

1. Walked site yes
2. Lot measurement X see attached *
3. Lot usage Res (40%)
4. Suitability of lot for proposed construction Good
 - A. Fill needed No
 - B. Excavation/Trenching needed ?
5. Utilities properly located on lot yes
6. Check for any easements yes
7. Check for Pins or Survey yes
8. Drainage OK

Inspection Notes

Inspectors Signature
<i>Chuck Bergeson</i>

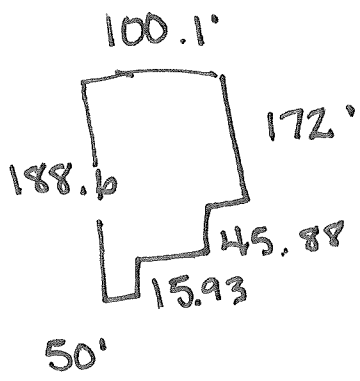
Date
9-12-22

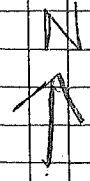
Clear



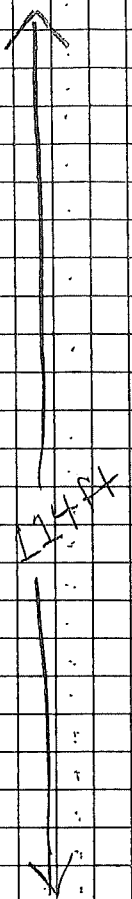
Alternate IDn/a
 Class Residential
 Acreage 0.23

Owner Address HERMOSA HILLS, LLC
 PO BOX 52
 HERMOSA, SD 57744-0052

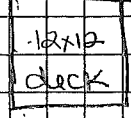
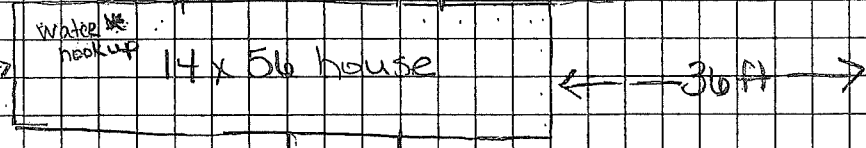
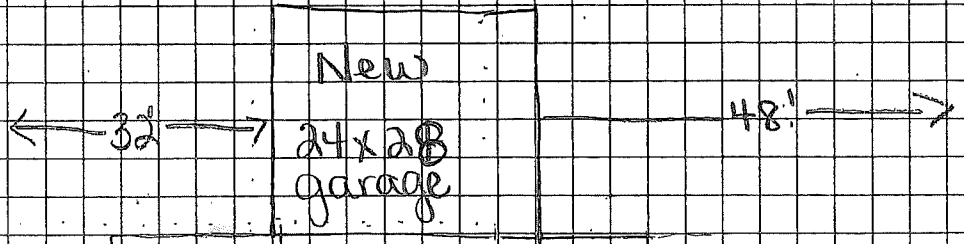




1 □ = 4x4



★ garage to replace existing carport and addition



driveway

* power

4 8 12 16 20 24 28 32 36 40 44 48 52 56 60 64 68 72 76 80 84 88 92 96 100 104 108

West Court

11/10/04



STAFF REPORT

MUNICIPALITY: Town of Hermosa, 230 Main Street, Hermosa, SD 57744
 PROJECT: SoDak Builders-Contractor
10 WEST COURT, OUTLOT C, TRACT D2
 Hermosa, SD
 DATE: September 23, 2022
 PERMIT NUMBER: 2022-33
 REPORTED BY: Leah M. Berg, P.E.

ITEMS:

Conditions:

The residential site is located on the north side of West Court, and east of 5th Street, OUTLOT C in Hermosa.

The applicant has submitted the following documents:

- RESIDENTIAL BUILDING PERMIT APPLICATION
- RESIDENTIAL SITE PLAN REQUIREMENTS CHECKLIST
- DEMOLITION PERMIT APPLICATION
- DIGGING / GRADING PERMIT
- RESIDENTIAL LOT GRID-SKETCH

Floodplain:

Based on the flood map overlay from BEACON, the lot doesn't contain a location within the flood plains.

Zoning: Zoning is R-1, STICK BUILT OR MANUFACTURED HOMES

Water and Sewer service:

Routes for these utilities are not indicated on the Site Plan. It is assumed that the utilities are existing and are not intended to be modified.

Setbacks:

For R-1 zoning, the following setbacks are required:

Main Structure:

- Front: 20 feet
- Side: 10 feet Main Structure
- Rear: 15 feet main

Accessory Structure:

- Front yard unattached structures: None
- Side yard unattached structures: 8 feet
- Rear yard unattached structures: 5 feet

Setbacks were provided on the application form and on the site plan. The structure shown on the attached site plan has a few measurement discrepancies between the form, the plan and the Lot size but they are minor and will not affect the setback requirements. Front setback is indicated to be 44', the west side setback is 15 feet, the east side set back is labeled 48' but the permit it is shown as 52'. The rear setback is an indicated amount of 114' on the site plan, however the measurement, when calculating from the front property line, it should be 123'. The main dwelling 14'X56' (784 sq. ft.), a newly purposed garage abuts the main dwelling unit measuring 24'x28' (672' sq ft). Total building area is mislabeled with an amount of 576 Sq.Ft. when the correct amount is 672 Sq. Ft.

The total square footage of project provided on the application does include main dwelling, purposed garage, and deck. The lot coverage is less than 40% after accounting for these features – OK

Access:

Access is existing from West Court by a 22' wide gravel driveway.

Foundation:

The permit indicates a standard foundation to be constructed using a 5" slab measuring 24' x 24' with 16" x 8" footing around the perimeter of the slab.

- The contractor is responsible for sizing the foundation and any reinforcing required. No soils information is provided. The contractor is responsible for verification of soil bearing pressures for the foundation.

Comments:

1. Contractor/builder to verify the existing utility service location will properly service the purposed garage, as necessary.
2. No structural evaluation was completed as part of this review.
3. Multiple discrepancies in measurements were found on the application documents but are minor and will not affect any requirement verifications.
4. The submittal package did not include a Pre-Inspection Report.

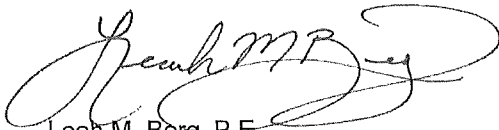
Recommendations – Permit 2022-33:

Based on the application information, the permit complies with the Town of Hermosa's requirements.

Recommendation is to approve with the following stipulations:

1. Contractor to ensure setbacks are met.
2. Appropriate drainage must be maintained on the site. Sediment and erosion control measures must function and are the responsibility of the contractor to ensure there is no erosion and sediment transfer.
3. All disturbances must be stabilized within 30 days of completion of construction.
4. Contractors must be licensed in Hermosa and carry the required insurance.
5. All construction must meet applicable code requirements as well as Town Ordinance requirements weather stated in this Staff Report or not.
6. All fees to be paid prior to issuing permit.
7. Applicable inspections must be performed by the Town of Hermosa.

Respectfully submitted,



Leah M. Berg, P.E.

LBerg@proacesinc.com

END OF STAFF REPORT

Copy: Town of Hermosa & G:\My Drive\Jobs\21-1144 Hermosa\21-1144c Permit Review\9-27-22 Meeting P&Z\2022-33_McLaughlin

RESIDENTIAL BUILDING PERMIT APPLICATION

(This Building Permit Is Valid for One Year – Please See Page 3 for Exceptions)

DATE 9/15/22

PERMIT # 2022-33

Receipt # _____	Cash _____	Check # <u>1149</u>	Amount <u>7500</u> (\$75.00)
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** PLEASE INCLUDE TO-SCALE DRAWINGS **

Is Property in the Flood Plain? Yes No Zoning District R1

IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

APPLICATION SUBMITTED BY:

Property Owner Name(s) Alyssa McLaughlin

Mailing Address PO Box 504

City Hermosa State SD Zip 57144

Email alyssa.mclaughlin@outlook.com

Phone # Home 6053811986 Cell _____ Work _____

LEGAL DESCRIPTION

Subdivision name: TR D2 of Lot B of outlot C sec 32 T2 R8 MH AS RE

Lot# _____ Block _____ Lot Size _____

Zoning District R1 Is this property in the Flood Plain? Yes No

Building address: 10 West Court

CLASS OF WORK TO BE DONE

New structure Demolition Remodel _____ Addition _____

Residential: Single Family _____ Accessory Multi-Family _____

Proposed Use Building: Garage

Building Area (Sq. Ft.): 576 Height: 8ft # of Units _____

No. of Stories: 1 No. of Bathrooms: _____ Deck: _____ Deck Area (Sq. Ft.): _____

Parcel # 009298 OFFICE USE ONLY

SETBACK FROM LOT LINES:

FEET

CITY MINIMUM

Front	<u>44 ft</u>		Applicable Zoning District	
Rear	<u>114 ft</u>		(20'/25')	
Sides	<u>32 ft (west)</u>	<u>52 feet (east)</u>	(5'/8'/15')	(8'/10'/25')

Setbacks				
Primary	Front	Sides	Rear	
RS	20ft	10ft	15ft	
R1	20ft	10ft	15ft	
R2	20ft	10ft	15ft	

Accessory Buildings				
Primary	Front	Sides	Rear	
RS	**	8ft	5ft	
R1	**	8ft	5ft	
R2	**	8ft	5ft	

Mobile Home Park			
Front	Sides	Rear	
20ft	8ft	15ft	

**IN NO CASE SHALL AN ACCESSORY BUILDING BE LOCATED TO EXTEND IN FRONT YARD.

TYPE OF CONSTRUCTION

Wood Concrete _____ Block _____ Brick _____ Modular _____ Other _____

FOUNDATION

Thickness of Foundation 5" Thickness of footings 8" Width of Footings 16" Depth 8"
Pier Foundation System: _____ Diameter of pier _____ Spacing of pier _____

CONTRACTOR INFORMATION

Contractors must all be registered with the Town of Hermosa

General Contractor
(Project POC/responsible party): SODAK Builders Phone: 605 3811986

Structural Contractor: _____ Phone: _____

Electrical Contractor: _____ Phone: _____

Plumbing Contractor: _____ Phone: _____

Heat/Mechanical Contractor: _____ Phone: _____

Excavation Contractor: _____ Phone: _____

Are there any of the following on site: Hazardous materials Yes _____ No
Lead paint Yes _____ No
Asbestos Yes _____ No

Does the building have a Historical Designation: Yes _____ No

Current utilities on site: Gas _____ Water Electricity Municipal Sewer Septic _____

Proposed utilities: all utilities existing. Will use addition garage power.

Describe Work: Replace attached carport with garage. Garage will be same size as carport.

TOTAL COST ESTIMATE OF IMPROVEMENTS: \$ 15,000

TOTAL SQUARE FOOTAGE OF PROJECT: 576

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

Is Property in the Flood Plain? Yes No Zoning District R1

IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

DIGGING/GRADING PERMIT

DATE 9/5/22

PERMIT # 2022-33

Receipt # _____ Cash _____ Check # 3019 Amount 50⁰⁰ (\$50.00) up to 100CY
\$20.00 each additional 100 CY

Name _____
Lot Address 10 West Court
Mailing Address PO Box 504 Email alyssa.mclaughlin@outlook.com
Legal Description _____
Telephone # 605-381-1986 Cellphone # 605-381-1986
Contractor SODAK BUILDERS Phone # 605-381-1986

Contractors must all be registered with the Town of Hermosa

All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not presume to give authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other local law or ordinance regulating construction or the performance of construction in the Town of Hermosa.

Sketch and/or describe work: (use separate sheet, or attach grading plan)

Will grading operation be located in the floodplain? _____ Yes No

If yes, have ordinance requirements been met? _____ Yes No

Will drainage patterns be altered? _____ Yes No

Will grading operation take place in a geologically hazardous area? _____ Yes No

If yes, have proper precautions been taken? _____ Yes No

Quantity of Grading or Excavation: 50? unknown Cubic Yards Area to be disturbed by proposed work: .85 acres

Identify types of erosion control to be applied: plant grass/repair retaining wall

Source/Destination of materials: out of town

Provide traffic control per Manual on Uniform Traffic Control Devices.

Hard Route: Details: Remove dirt to repair retaining wall

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached. _____ Yes _____ No N/A

This permit will expire one year from date of issuance.

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Relationship to Property: Owner _____ Contractor _____ Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

Signature Alyssa McLaughlin Date 9/5/22

PLANNING AND ZONING COMMISSION
 Approved Denied
NAME: _____
TITLE: _____
SIGNATURE: _____
DATE: _____
APPLICATION FEE: \$50.00 DATE PAID: _____

HERMOSA BOARD OF TRUSTEES
 Approved Denied
NAME: _____
TITLE: _____
SIGNATURE: _____
DATE: _____
DATE PERMIT ISSUED: _____

Parcel # 009298 OFFICE USE ONLY

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermosasd.com

DEMOLITION PERMIT APPLICATION

Date 9/5/22

Permit # 2022-33

Receipt # _____	Cash _____	Check # <u>1149</u>	Amount <u>25⁰⁰</u> (\$25.00)
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Name (Structure Owner) Alyssa McLaughlin Phone: 605.381.1986
Contact Address: PO Box 504
Email: Alyssa.mclaughlin@outlook.com
Address of Project/Relocation: 10 West Court
Legal Description: TR D2 of Lot 10 of outlot C. sec. 32 T2 R8 MHA S RE

*Contractor Name: Solar Builders Phone: 605.381.1986
*Contractors must all be registered with the Town of Hermosa
Contact Name: Alyssa McLaughlin
Address: PO Box 504

Type Of Construction: Wood Block () Metal Pole Mobile () Modular () Other: _____
Type Of Use: Residential Accessory () Addition () Commercial () Other: _____
Description of Project: Remove carport to replace with garage.
(addition)

Current Site Information
Sewage Disposal System? Yes No _____ Private Public
Water Supply System? Yes No _____ Private Public
Utilities Disconnected? Yes No
Asbestos Present Yes No
Asbestos Inspection Yes Date: _____ No
Inspector: _____ Phone: _____ Address: _____
Asbestos Abatement Yes Date: _____ No
Contractor: _____ Phone: _____ Address: _____

Mobile Home Identifying Information
Name on Title: Alyssa McLaughlin Serial #: _____ Year: _____ Size: _____ X _____
Manufacturer: _____ Model: _____ Decal #: _____
Demolition and Clean Up to Be Completed on Or Before: _____

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT.

Alyssa McLaughlin 9/5/22
Signature of Applicant Date

<input type="checkbox"/> Planning and Zoning Commission <input type="checkbox"/> Approved <input type="checkbox"/> Denied Name: _____ Title: _____ Signature: _____ Date: _____ Application Fee: <u>\$25.00</u> Date Paid: _____	<input type="checkbox"/> Hermosa Board of Trustees <input type="checkbox"/> Approved <input type="checkbox"/> Denied Name: _____ Title: _____ Signature: _____ Date: _____ Date Permit Issued: _____
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Parcel #
009298
OFFICE USE ONLY

"In accordance with Federal law and U.S. Department of Agriculture policy, this Institution is prohibited from discriminating on the basis of race, color, national origin, age, disability, religion, sex, and familial status. (Not all prohibited bases apply to all programs.) To file a complaint of discrimination, write USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD)."

RESIDENTIAL SITE PLAN REQUIREMENTS

PLEASE NOTE: Incomplete plans will be returned to applicant for resubmission. As per zoning ordinance do not cover more than 40% of lot.

General

Site plan drawn to scale (1" = 20" preferred)

- 1. Show scale
- 2. Show North arrow
- 3. Lot dimensions, property lines
- 4. All existing structure and their distances to property lines
- 5. All new structures and distances to property lines (**VERIFY SETBACKS**)
- 6. Additions to existing structure and distances to property lines (**VERIFY SETBACKS**)
- 7. Building dimensions
- 8. Adjacent roads
- 9. Driveways
- 10. Parking spaces – if applicable
- 11. Utilities, electric, water, sewer
- 12. Well location – if applicable *n/a*
- 13. Septic location – if applicable *n/a*
- 14. Footing and Foundation Plan
- 15. Other _____
- 16. Other _____

Additional information that may be required

- B. Complete Mechanical Floor Plan *n/a*
- C. Wall Section and Full Sections
- D. Open water areas, (streams, creeks, and natural drainage ways) *n/a*
- E. Are you in the Flood Plain? *no*

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermosasd.com

Every permit issued by the Planning Department under the provisions of this code shall expire by limitation and become null and void if the building or the work authorized by such permit is not commenced within 12 months from the date of such permit or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of one year. If so, before such work can be re-started, an extension of the permit shall be first obtained to do so, and a service charge of \$35.00 shall be required, provided no changes have been made or will be made in the original plans and specifications for such work.

In filling this application, I hereby grant to the Hermosa Planning & Zoning commission, and the Hermosa Town Board, and their designee(s), permission to inspect any and all structures and land involved in my application for the purpose of ascertaining compliance with the ordinance of the Town of Hermosa and the State of South Dakota which permission shall continue so long as the application or an appeal there-on is pending. It is my responsibility to ensure the presence of the Town Maintenance Supervisor during water and sewer connections.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

I understand Permit application fees are due upon submittal and are non-refundable. Final fees are based upon building calculations and are due and payable when permit has been approved. Permits are reviewed by the town engineer; those expenses will be included with the permit fees and applicant will be responsible for those expenses.

A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BEFORE OCCUPYING STRUCTURE. *garage only*

Alvin J. Faulstich
Signature(s) of Owner(s) (If Owner Builder)

9/5/22
Date

Alvin J. Faulstich
Signature(s) of Contractor/Authorized Agent

9/5/22
Date

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT

PLANNING AND ZONING COMMISSION	HERMOSA BOARD OF TRUSTEES
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
NAME: _____	NAME: _____
TITLE: _____	TITLE: _____
SIGNATURE: _____	SIGNATURE: _____
DATE: _____	DATE: _____
APPLICATION FEE: \$75.00 DATE PAID: _____	DATE PERMIT ISSUED: _____

Town of Hermosa

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Email: town@hermosasd.com

Is Property in the Flood Plain? Yes No Zoning District R1

IF YES - YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

CK 3027
Pd 9-23-2022
4000
300 cu Yards *
4000 fee

DIGGING/GRADING PERMIT

DATE 9/6/2022

PERMIT # 2022-34

Receipt # _____	Cash _____	Check # <u>3019</u>	Amount <u>*50.00</u>	(\$50.00) up to 100CY
				\$20.00 each additional 100 CY

Name Pulis Construction
 Lot Address 810 Main
 Mailing Address 5670 Doubletree Rd Email Rapid City SD 57702
 Legal Description Lot 17 Hermosa Hills
 Telephone # (605) 341-0280 Cellphone # (605) 390-7533
 Contractor Pulis Construction Phone# _____

Contractors must all be registered with the Town of Hermosa

All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not presume to give authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other local law or ordinance regulating construction or the performance of construction in the Town of Hermosa.

Sketch and/or describe work: (use separate sheet, or attach grading plan)

Will grading operation be located in the floodplain? Yes No
 If yes, have ordinance requirements been met? Yes No
 Will drainage patterns be altered? Yes No
 Will grading operation take place in a geologically hazardous area? Yes No
 If yes, have proper precautions been taken? Yes No

Quantity of Grading or Excavation: 300 Cubic Yards Area to be disturbed by proposed work: .15 acres

Identify types of erosion control to be applied: matting

Source/Destination of materials: on site

Provide traffic control per Manual on Uniform Traffic Control Devices.

Hard route: _____

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached. Yes No N/A

This permit will expire one year from date of issuance.

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Relationship to Property: Owner Contractor Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

Vernon Q. Pulis

Signature	Date
PLANNING AND ZONING COMMISSION <input type="checkbox"/> Approved <input type="checkbox"/> Denied NAME: _____ TITLE: _____ SIGNATURE: _____ DATE: _____ APPLICATION FEE: \$50.00 DATE PAID: _____	HERMOSA BOARD OF TRUSTEES <input type="checkbox"/> Approved <input type="checkbox"/> Denied NAME: _____ TITLE: _____ SIGNATURE: _____ DATE: _____ DATE PERMIT ISSUED: _____

Parcel # 015716
OFFICE USE ONLY

RESIDENTIAL BUILDING PERMIT APPLICATION

(This Building Permit Is Valid for One Year – Please See Page 3 for Exceptions)

DATE 9-7-2022

PERMIT # 2022-34

Receipt # _____	Cash _____	Check # <u>301A</u>	Amount <u>7500</u> (\$75.00)
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** PLEASE INCLUDE TO-SCALE DRAWINGS **

Is Property In the Flood Plain? Yes No Zoning District R1

IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

APPLICATION SUBMITTED BY:

Property Owner Name(s) Harmosa Hills Subd. – Sell to NEC
 Mailing Address 5670 Doubletree Road Pulis Construction
 City Harmosa State SD Zip 57745
 Email 67pulis@gmail.com
 Phone # Home _____ Cell 390-7533 Work _____

LEGAL DESCRIPTION

Subdivision name: Harmosa Hills Lot# 7 Block _____ Lot Size 100' x 100'
 Zoning District Residential Is this property in the Flood Plain? Yes No
 Building address: 810 Marie

Parcel # 015174 OFFICE USE ONLY

CLASS OF WORK TO BE DONE

New structure Demolition _____ Remodel _____ Addition _____
 Residential: Single Family Accessory _____ Multi-Family _____
 Proposed Use Building: New Home w/ Garage
 Building Area (Sq. Ft.): 1232 Height: 15' # of Units 1
 No. of Stories: 1 No. of Bathrooms: 2 Deck: Concrete Step Deck Area (Sq. Ft.): _____

SETBACK FROM LOT LINES:

FEET

CITY MINIMUM

Applicable Zoning District

Front 20 _____
 Rear 15 _____
 Sides 10 _____

(20'/25')
 (5'/8'/15')
 (8'/10'/25')

Setbacks			
Primary	Front	Sides	Rear
RS	20ft	10ft	15ft
R1	20ft	10ft	15ft
R2	20ft	10ft	15ft

Accessory Buildings			
Primary	Front	Sides	Rear
RS	**	8ft	5ft
R1	**	8ft	5ft
R2	**	8ft	5ft

Mobile Home Park		
Front	Sides	Rear
20ft	8ft	15ft

**IN NO CASE SHALL AN ACCESSORY BUILDING BE LOCATED TO EXTEND IN FRONT YARD.

TYPE OF CONSTRUCTION

Wood Concrete _____ Block _____ Brick _____ Modular _____ Other _____

FOUNDATION

Thickness of Foundation 8" Thickness of footings 8" Width of Footings 24" Depth 42"
Pier Foundation System: _____ Diameter of pier _____ Spacing of pier _____

CONTRACTOR INFORMATION

Contractors must all be registered with the Town of Hermosa

General Contractor
(Project POC/responsible party): Pulis Construction Phone: 390-7533

Structural Contractor: _____ Phone: _____

Electrical Contractor: Mick's Electric Phone: 348-2335

Plumbing Contractor: All Pro Plumbing Phone: 381-6741

Heat/Mechanical Contractor: BH Heating + Cooling Phone: _____

Excavation Contractor: Pulis Construction Phone: 390-7533

Are there any of the following on site: Hazardous materials Yes _____ No
Lead paint Yes _____ No
Asbestos Yes _____ No

Does the building have a Historical Designation: Yes _____ No

Current utilities on site: Gas _____ Water Electricity Municipal Sewer Septic _____

Proposed utilities: water, sewer, power

Describe Work: Construct new home w/ garage

TOTAL COST ESTIMATE OF IMPROVEMENTS: \$ 170,000

TOTAL SQUARE FOOTAGE OF PROJECT: 1232

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

Every permit issued by the Planning Department under the provisions of this code shall expire by limitation and become null and void if the building or the work authorized by such permit is not commenced within 12 months from the date of such permit or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of one year. If so, before such work can be re-started, an extension of the permit shall be first obtained to do so, and a service charge of \$35.00 shall be required, provided no changes have been made or will be made in the original plans and specifications for such work.

In filing this application, I hereby grant to the Hermosa Planning & Zoning commission, and the Hermosa Town Board, and their designee(s), permission to inspect any and all structures and land involved in my application for the purpose of ascertaining compliance with the ordinance of the Town of Hermosa and the State of South Dakota which permission shall continue so long as the application or an appeal there-on is pending. It is my responsibility to ensure the presence of the Town Maintenance Supervisor during water and sewer connections.

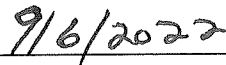
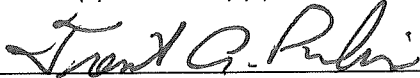
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Signature(s) of Owner(s) (If Owner Builder)

Date

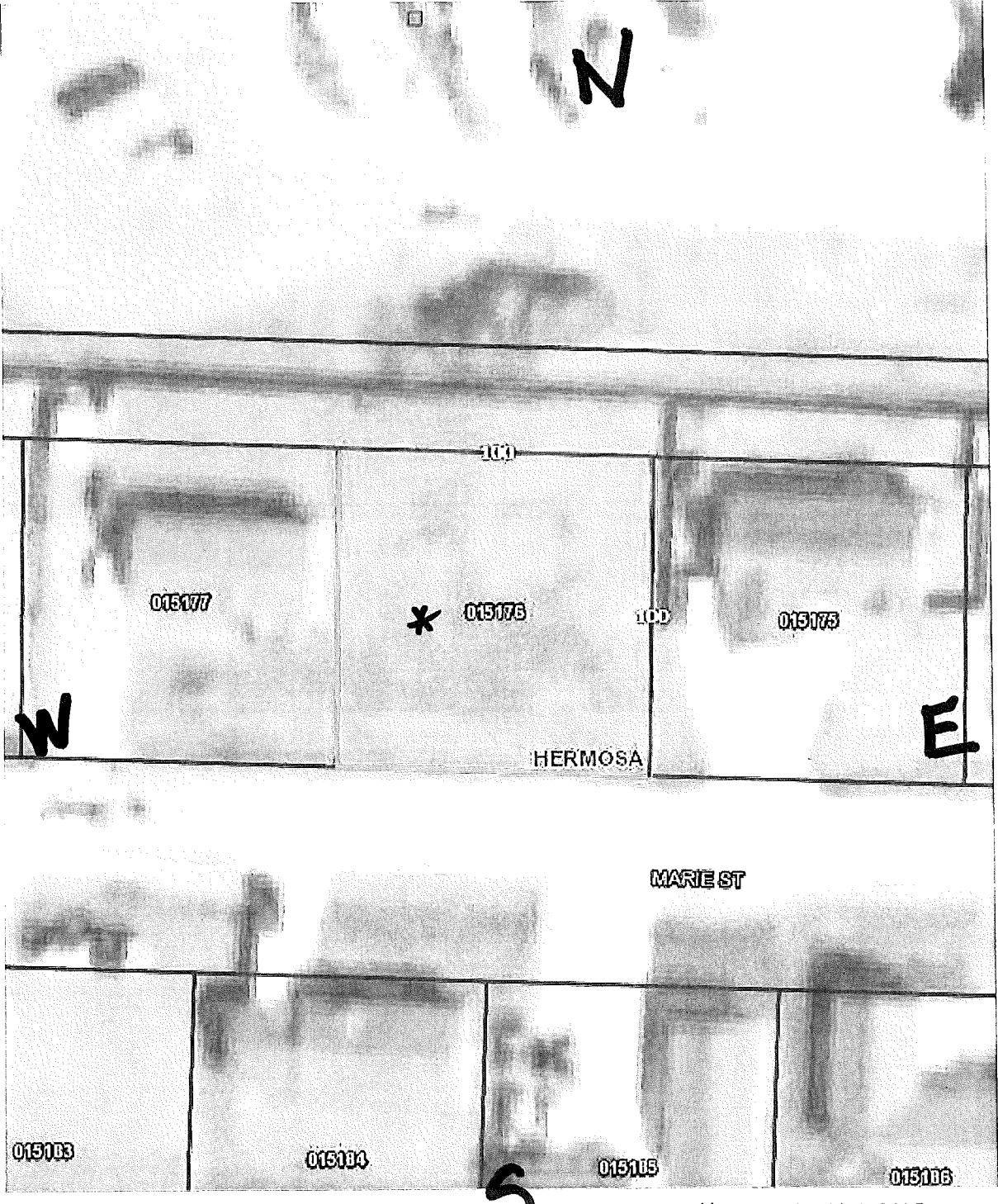


Signature(s) of Contractor/Authorized Agent

Date

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT

PLANNING AND ZONING COMMISSION	HERMOSA BOARD OF TRUSTEES
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
NAME: _____	NAME: _____
TITLE: _____	TITLE: _____
SIGNATURE: _____	SIGNATURE: _____
DATE: _____	DATE: _____
APPLICATION FEE: \$75.00 DATE PAID: _____	DATE PERMIT ISSUED: _____



Alternate IDn's
Class Residential
Acreage 0.23

Owner Address HERMOSA HILLS, LLC
PO BOX 52
HERMOSA, SD 57744-0052

SE4 SEC 30 T2 R8 0.23 AC, HERMOSA

* D15176

Town of Hermosa

PO Box 298 * 230 Main St. Hermosa, SD

605-255-4291

Email: town@hermosasd.com

Pre-Inspection Form

To be retained in permanent file

Customer Name	Permit #	Date
Trent Pulis	2022.34	9-12-2022

Site Address	Parcel #
810 Marie St. Lot 7	015176

MUST MEET ALL PERMIT REQUIREMENTS

Inspection

1. Walked site yes
2. Lot measurement 100' x 100'
3. Lot usage Res (40%)
4. Suitability of lot for proposed construction yes
 - A. Fill needed No
 - B. Excavation/Trenching needed yes
5. Utilities properly located on lot yes
6. Check for any easements yes
7. Check for Pins or Survey yes
8. Drainage OK

Inspection Notes

Inspectors Signature
<i>Chuck Ferguson</i>

Date
9-12-22

015170

015177

015173

015173

Water
52' A 39'

8" Sewer

Water Main

Leak
Line
on Ball

HERMOSA

MARIE ST

162

015103

015104

015105

015106

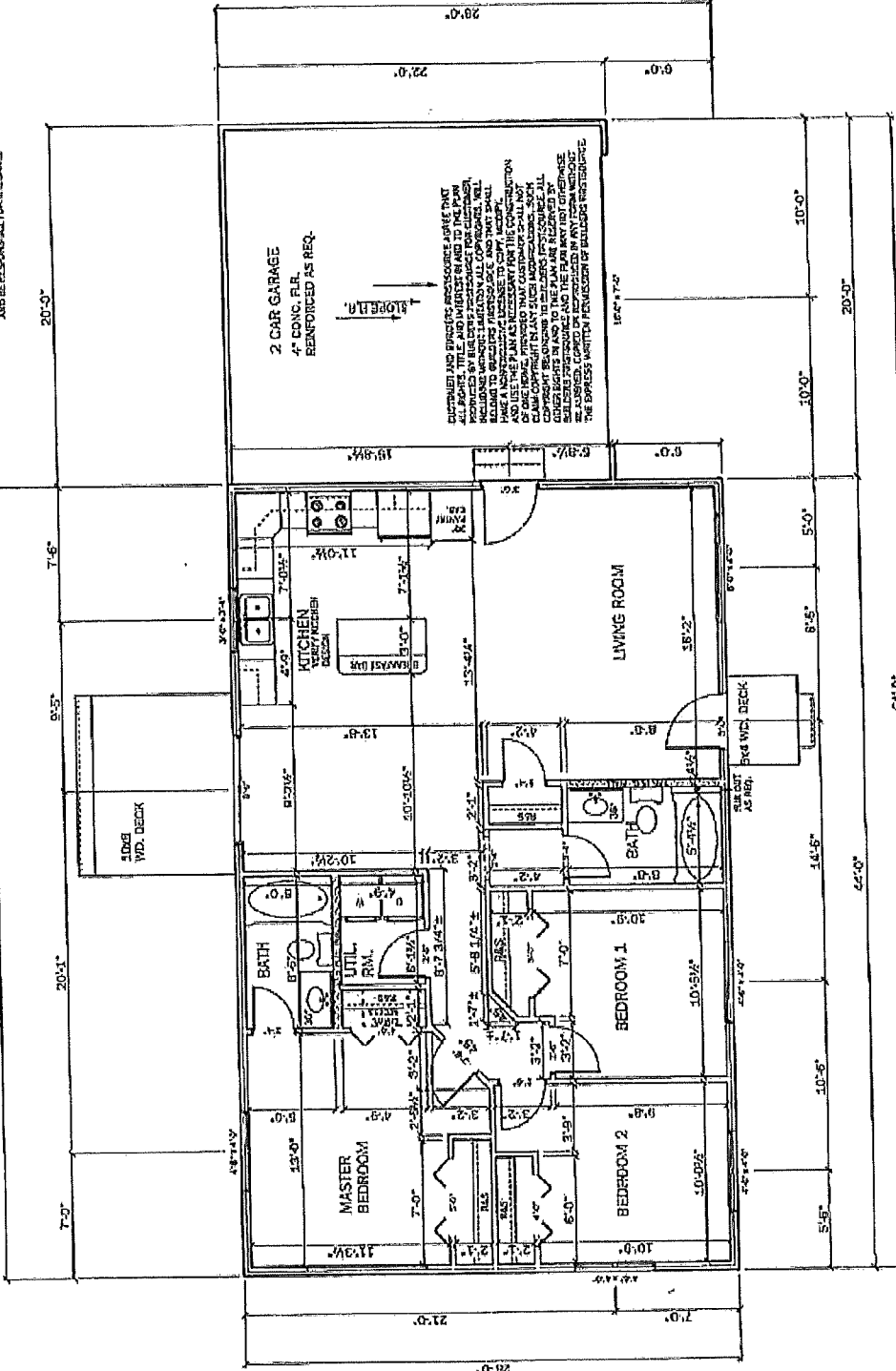
39
13
52

Parcel 015176

810 Marie Lot 7

GENERAL CONTRACTOR NOTES:

1. DO NOT SCALE DRAWINGS. DIMENSIONS GIVEN, LARGER SCALE DIMENSIONS SHALL CONTROL.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL INTERIOR WALLS ARE 2-1/2" O.C. UNLESS OTHERWISE NOTED.
4. ALL EXTERIOR WALLS ARE 2-1/2" O.C. UNLESS OTHERWISE NOTED.
5. ALL EXTERIOR FINISHES TO BE TO SURFACE OF STIC.
6. CONTRACTOR TO VERIFY ALL SIZES PER MANUFACTURER'S DATA SHEET.
7. CONTRACTOR TO VERIFY ORISE-ALL WORK.
8. WHILE EVERY ATTEMPT HAS BEEN MADE TO PREPARE THESE PLANS ACCURATELY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND OTHER DETAILS AND BE RESPONSIBLE FOR THE SAME.



8/24/2021
1/8" = 1'-0"

MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"
MAIN FLOOR: 1232 SQ. FT.
GARAGE: 450 SQ. FT.

Builders FirstSource
 14000 W. WILLOW BLVD. SUITE 100
 PHOENIX, AZ 85044
 (602) 998-1111
 WWW.BUILDERSFIRSTSOURCE.COM

IMPORANT
 This drawing is the property of the architect and is not to be used for any other project without the written consent of the architect.

3 of 4

FOR THE ARCHITECT'S USE ONLY: THIS DRAWING IS THE PROPERTY OF FIRST SOURCE BUILDERS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FIRST SOURCE BUILDERS.

4 of 4

• INFORMATION •

1. THIS DRAWING IS A REPRESENTATIVE DETAIL FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF FIRST SOURCE BUILDERS.



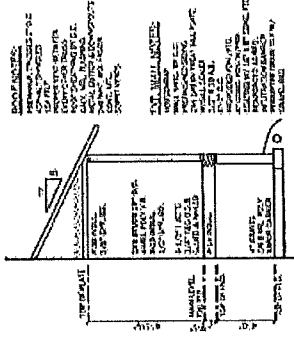
First Source Builders
A Division of
First Source Construction, Inc.
10000 1st Avenue, Suite 100
Dallas, TX 75243
Phone: (972) 412-1000
Fax: (972) 412-1001
www.firstsourcebuilders.com

Project: [REDACTED]
Date: [REDACTED]
Scale: [REDACTED]

WALL DETAIL
(TYPICAL)

SCALE: 1/2" = 1'-0"

ROOF IS ONLY A REPRESENTATIVE BEING SHOWN FOR ALL DETAILS





STAFF REPORT-REVISED

MUNICIPALITY: Town of Hermosa, 230 Main Street, Hermosa, SD 57744
PROJECT: Pulis Construction-Contractor
810 Marie St., Lot 7, Hermosa Hills LLC Subdivision
Hermosa, SD
DATE: September 23, 2022
PERMIT NUMBER: **2022-34**
REPORTED BY: Leah M. Berg, P.E.

ITEMS:

Conditions:

The site is located on the north side of Marie Street, east of Walter Street, Hermosa Hills. There is currently no house/structure on Lot 7.

The applicant has submitted the following documents:

RESIDENTIAL BUILDING PERMIT APPLICATION
PLOT PLAN (1" = 20' SCALE)
PLOT PLAN (1" = 20' SCALE) REVISED
ELEVATION DRAWING(S)
CRAWLSPACE PLAN
MAIN FLOOR PLAN & WALL DETAIL PLAN
DIGGING / GRADING PERMIT
AERIAL IMAGE OF LOT 7 – BEACON GIS
PRE-INSPECTION FORM

Floodplain:

Based on the flood map overlay from BEACON, the lot does not include a floodplain.

Zoning: Zoning is R-1, Stick Built, or Manufactured Home

Water and Sewer service:

There is no graphical indication anywhere within the submittal package of the routes or locations for the water or sewer services. Pre-Inspection form completed has indicated services are located on the lot and that lot is suitable for proposed construction but does not provide location information or sketch of routes.

- Missing utility information means that the Town will not have a record for future use.

Setbacks:

For R-1 zoning, the following setbacks are required:

Main Structure:

Front: 20 feet

Side: 10 feet Main Structure

Rear: 15 feet main

Accessory Structure:

Front yard unattached structures: None

Side yard unattached structures: 8 feet

Rear yard unattached structures: 5 feet

Setbacks were provided on the application and on a 'Plot Plan'. Front setback is indicated to be 25', the side setbacks are 10 feet each, and the rear setback as indicated on the application as 25 feet.

The total square footage of the project provided on the application still does match the plans provided. The project area and building area need to account for home and garage. However, by utilizing the plans, the lot coverage consists of a total area from all structures placed on the lot and in this instance the total area covered is less than 40%.

*(required to be less due to ordinance 155.30.D.5) – OK

Access:

Access will be from Marie Street by a 4" thick concrete driveway, 18' wide with sized 20'x20' parking pad. Drainage culvert is indicated as an 18" Corrugated Metal Culvert that is 24' in length. Culvert to be set to flowline of road R.O.W. ditch. Base course gravel is listed as being utilized for culvert coverage but no depth is indicated.

- 1 foot of culvert coverage is recommended.

Foundation:

The permit provided a crawlspace plan / detail indicates perimeter footing and 2'x2'x1' reinforced concrete pad placement for 4x4 posts offset +/- 7'0" from one end to the other through the center.

- The contractor is responsible for sizing the foundation and any reinforcing required. No soils information is provided. The contractor is responsible for verification of soil bearing pressures for the foundation.

Comments:

1. The contractor/builder to verify the existing utility service location will properly service the home, as necessary.
2. No structural evaluation was completed as part of this review.
3. Recommended coverage amount of 12" or 1 foot for drainage culvert consisting of base course gravel and pavement combined.
4. Plot plan(s) submitted are obviously from another parcel(s) and were hand modified to be labeled for this site with this permit package. Proper submittal of correct Site Plan, meeting Town of Hermosa Requirements are required for all Residential building permit applications. The 'Plot Plan' is missing information.

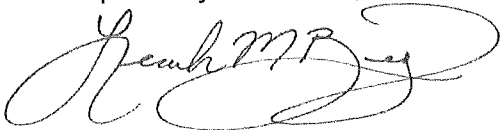
5. Construction documents for the structure are obviously from a different structure on a different site. Scratching out notes and indicating a different lot and that the design is the same but in reverse, does not provide the Town with reliable documentation of what is being constructed. Submit plans of exactly what is planned to be constructed.
6. A complete and accurate Site Plan, drawn to scale, as required by Town should be submitted with each building permit application.
7. The Digging/Grading Permit fee amount does not match the quantity provided on the application form.
 - a. Fee Listed as \$50 for up to 100 CY, allocation shows 300 CY, which results in a \$90 fee

Recommendations – Permit 2022-34:

Based on the application information, the permit appears to comply with the Town of Hermosa's requirements. Recommendation is to approve with the following stipulations:

1. Contractor to ensure setbacks are met.
2. Appropriate drainage must be maintained on the site. Sediment and erosion control measures must function and are the responsibility of the contractor to ensure there is no erosion and sediment transfer.
3. Culvert coverage needs to be 12" minimum.
4. All disturbances must be stabilized within 30 days of completion of construction.
5. Contractors must be licensed in Hermosa and carry the required insurance.
6. All construction must meet applicable code requirements as well as Town Ordinance requirements whether stated in this Staff Report or not.
7. All fees to be paid prior to issuing permit.
8. Applicable inspections must be performed by the Town of Hermosa.

Respectfully submitted,



Leah M. Berg, P.E.

LBerg@proacesinc.com

END OF STAFF REPORT

Copy: Town of Hermosa & G:\My Drive\Jobs\21-1144 Hermosa\21-1144c Permit Review\9-27-22 Meeting P&Z\2022-34 Pulls

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

Is Property in the Flood Plain? Yes No Zoning District RI

*** IF YES - YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT ***

300 cu Yards *
* 4000
Fee

DIGGING/GRADING PERMIT

DATE 9/6/2022

PERMIT # 2022-34

Receipt # _____ Cash _____ Check # 3019 Amount \$50.00 (\$50.00) up to 100CY
\$20.00 each additional 100 CY

Name Pulis Construction
Lot Address 810 Main
Mailing Address 5670 Doubletree Rd Email Rapid City SD 57702
Legal Description Lot 17 Hermosa Hills
Telephone # (605) 341-0280 Cellphone # (605) 390-7533
Contractor Pulis Construction Phone # _____

Contractors must all be registered with the Town of Hermosa

All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not presume to give authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other local law or ordinance regulating construction or the performance of construction in the Town of Hermosa.

Sketch and/or describe work: (use separate sheet, or attach grading plan)

Will grading operation be located in the floodplain? Yes No
If yes, have ordinance requirements been met? Yes No
Will drainage patterns be altered? Yes No
Will grading operation take place in a geologically hazardous area? Yes No
If yes, have proper precautions been taken? Yes No

Quantity of Grading or Excavation: 300 Cubic Yards Area to be disturbed by proposed work: .15 acres

Identify types of erosion control to be applied: water

Source/Destination of materials: on site

Provide traffic control per Manual on Uniform Traffic Control Devices.

Hard route: _____

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached. Yes No N/A

This permit will expire one year from date of issuance.

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Relationship to Property: Owner Contractor Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

Jason D. Pulis

Signature

PLANNING AND ZONING COMMISSION
 Approved Denied
NAME: _____
TITLE: _____
SIGNATURE: _____
DATE: _____
APPLICATION FEE: \$50.00 DATE PAID: _____

HERMOSA BOARD OF TRUSTEES
 Approved Denied
NAME: _____
TITLE: _____
SIGNATURE: _____
DATE: _____
DATE PERMIT ISSUED: _____

Parcel # 015716
OFFICE USE ONLY

RESIDENTIAL BUILDING PERMIT APPLICATION

(This Building Permit Is Valid for One Year - Please See Page 3 for Exceptions)

DATE 9.7.2022

PERMIT # 2022-34

Receipt # _____	Cash _____	Check # <u>301A</u>	Amount <u>75⁰⁰</u> (\$75.00)
-----------------	------------	---------------------	---

** PLEASE INCLUDE TO-SCALE DRAWINGS **

Is Property in the Flood Plain? Yes No Zoning District R1

IF YES - YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

APPLICATION SUBMITTED BY:

Property Owner Name(s) Hermosa Hills Subd. - Sell to NEC
 Mailing Address 5670 Doubletree Road Pulis Construction
 City Hermosa State SD Zip 57745
 Email 67pulis@gmail.com
 Phone # Home _____ Cell 390-7533 Work _____

LEGAL DESCRIPTION

Subdivision name: Hermosa Hills Lot# 7 Block _____ Lot Size 100'x100'
 Zoning District Residential Is this property in the Flood Plain? Yes No
 Building address: 810 Marie

Parcel # 016174
OFFICE USE ONLY

CLASS OF WORK TO BE DONE

New structure Demolition _____ Remodel _____ Addition _____
 Residential: Single Family Accessory _____ Multi-Family _____ Still incorrect
 Proposed Use Building: New Home w/ Garage
 Building Area (Sq. Ft.): 1232 Height: 15' # of Units 1
 No. of Stories: 1 No. of Bathrooms: 2 Deck: Concrete Step Deck Area (Sq. Ft.): _____

SETBACK FROM LOT LINES:

FEET

CITY MINIMUM

Applicable Zoning District

Front 20 _____
 Rear 15 _____
 Sides 10 _____

(20'/25')
 (5'/8'/15')
 (8'/10'/25')

Plans Provided show a deck. Contractor to Verify.

Setbacks			
Primary	Front	Sides	Rear
RS	20ft	10ft	15ft
R1	20ft	10ft	15ft
R2	20ft	10ft	15ft

Accessory Buildings			
Primary	Front	Sides	Rear
RS	**	8ft	5ft
R1	**	8ft	5ft
R2	**	8ft	5ft

Mobile Home Park		
Front	Sides	Rear
20ft	8ft	15ft

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TYPE OF CONSTRUCTION

Wood Concrete _____ Block _____ Brick _____ Modular _____ Other _____

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TOTAL SQUARE FOOTAGE OF PROJECT: 1232

Still Incorrect

Town of Hermosa

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 Phone (605) 255-4291 • Fax (605) 255-4094
 Email: town@hermosasd.com

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 Signature(s) of Owner(s) (If Owner Builder)

 Date

Frank A. Rubin

9/6/2022

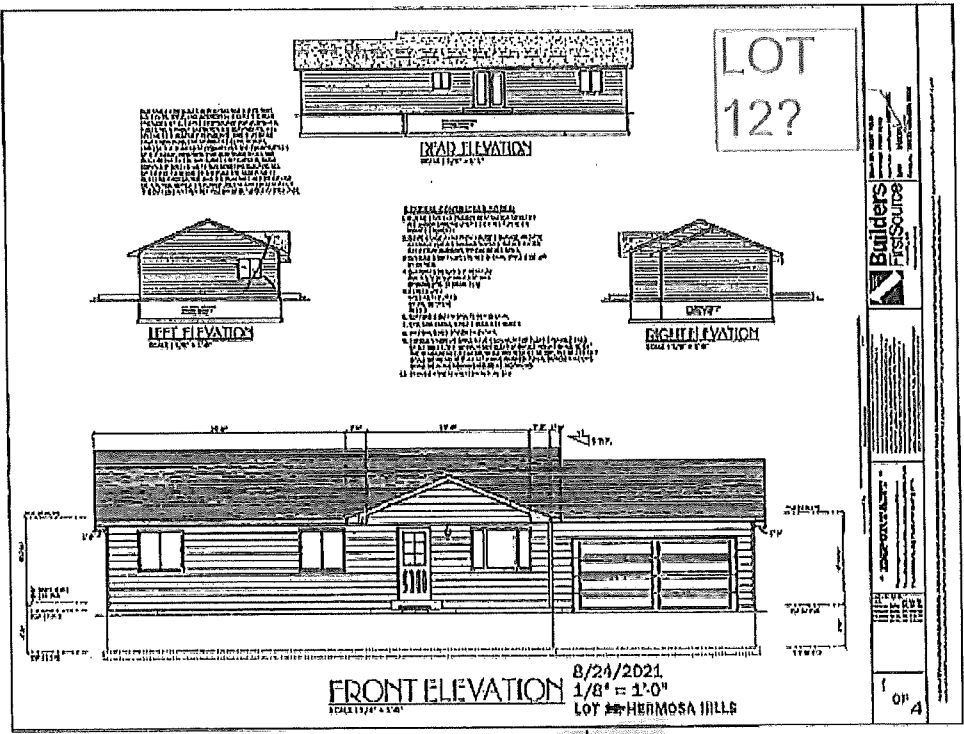
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PLANNING AND ZONING COMMISSION	HERMOSA BOARD OF TRUSTEES
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
NAME: _____	NAME: _____
TITLE: _____	TITLE: _____
SIGNATURE: _____	SIGNATURE: _____
DATE: _____	DATE: _____
APPLICATION FEE: \$75.00 DATE PAID: _____	DATE PERMIT ISSUED: _____

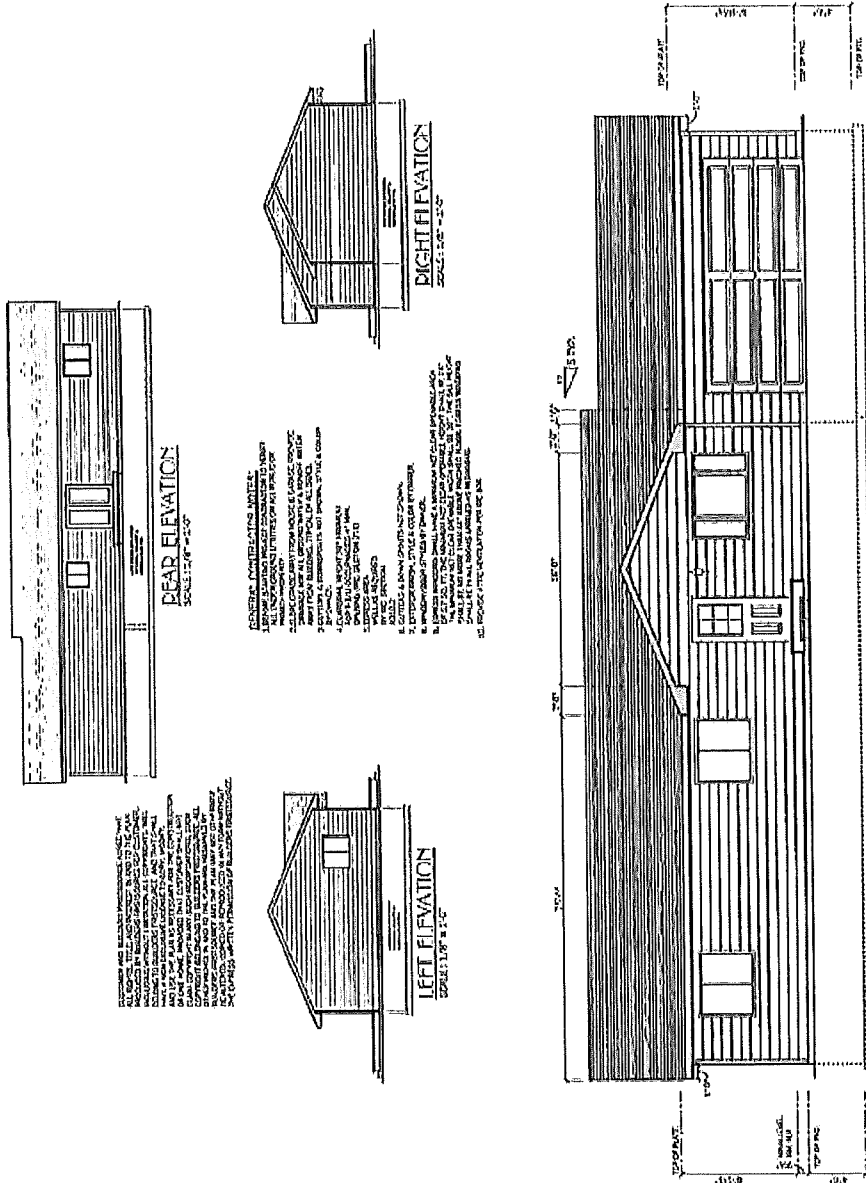
Should be lot 7



Lot 7

Plans are Reversed

That means these plans are not for the site being proposed in the Permit Application.



REAR ELEVATION
SCALE: 1/8" = 1'-0"

RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

LEFT ELEVATION
SCALE: 1/8" = 1'-0"

8/24/2021
FRONT ELEVATION
SCALE: 1/8" = 1'-0"
LOT 1 HERMOSA HILLS

GENERAL NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL FINISHES ARE TO BE AS SHOWN.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 4. CONTRACTOR SHALL VERIFY ALL MATERIALS AND FINISHES ARE AS SHOWN.
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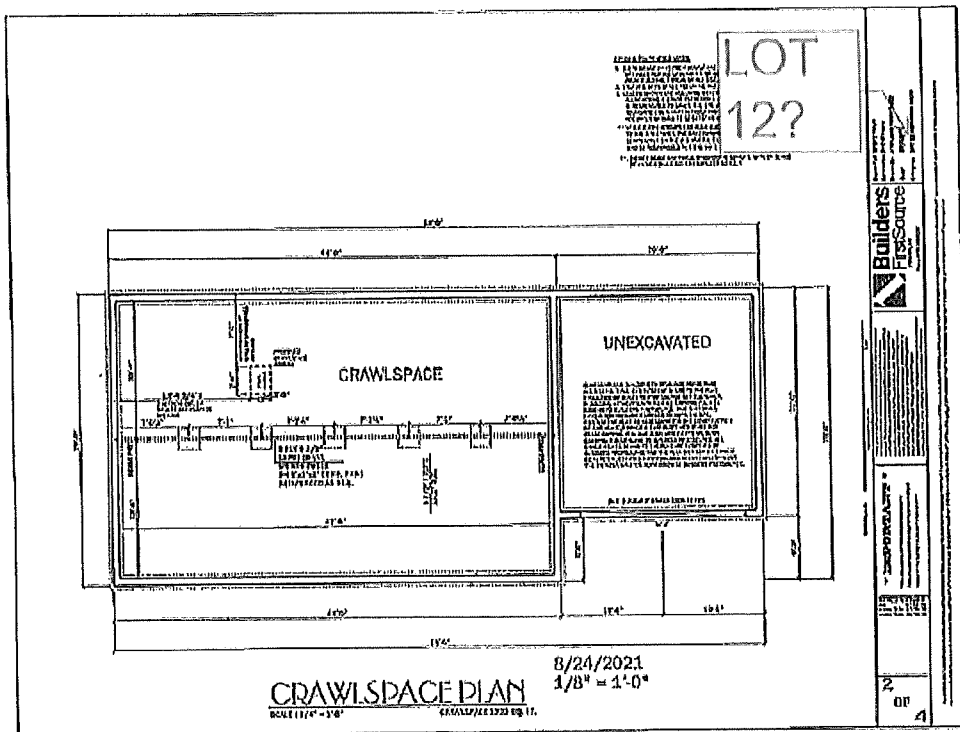
FirstSource Builders
 10000 1st Street, Suite 100
 San Diego, CA 92123
 (619) 444-1111
 www.firstsourcebuilders.com

HERMOSA HILLS
 LOT 1
 8/24/2021

1 OF 4

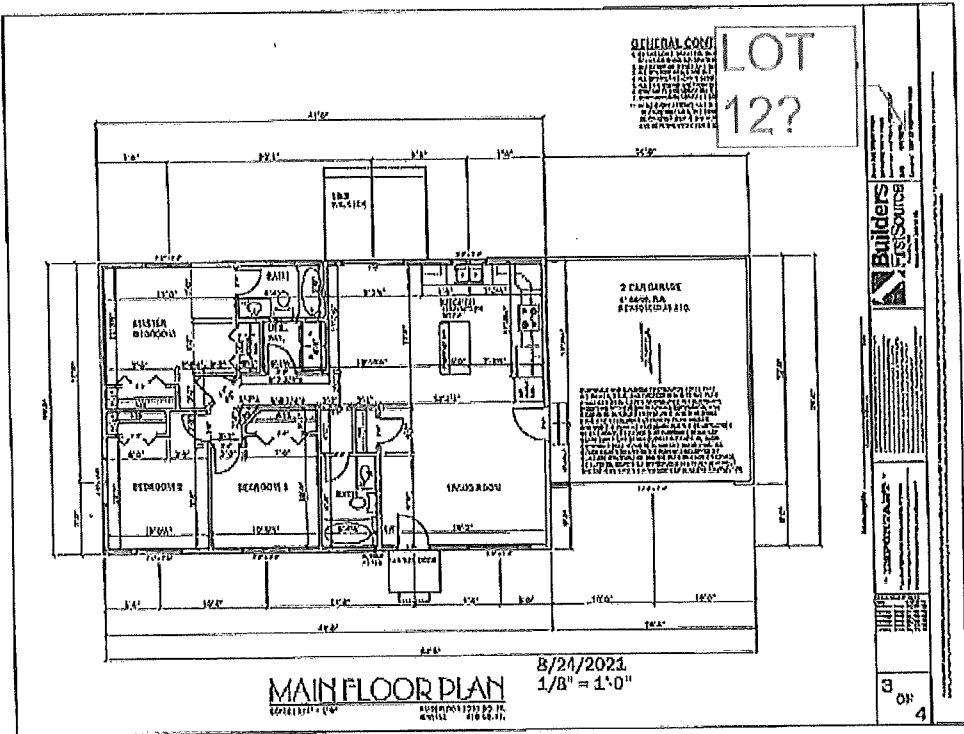
Lot 17
Plans are Reversed

Should be lot 7



Reversed floor plan

Should be lot 7



Reversed floor plan

PLOT PLAN

HERMOSA HILLS ADDITION

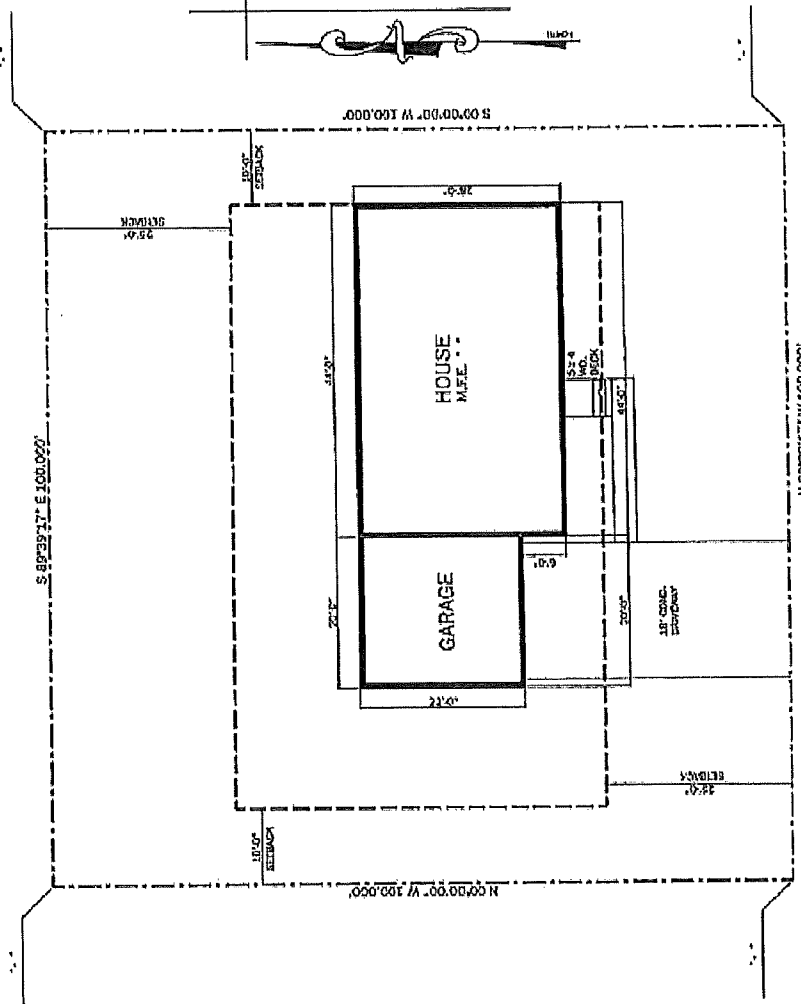
Lot 7
CUSTER COUNTY
SOUTH DAKOTA

SCALE: 1" = 20'

WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE PLANS TO AVOID MISTAKES, THE DRAFTSMAN CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS AND BE RESPONSIBLE FOR THE SAME.

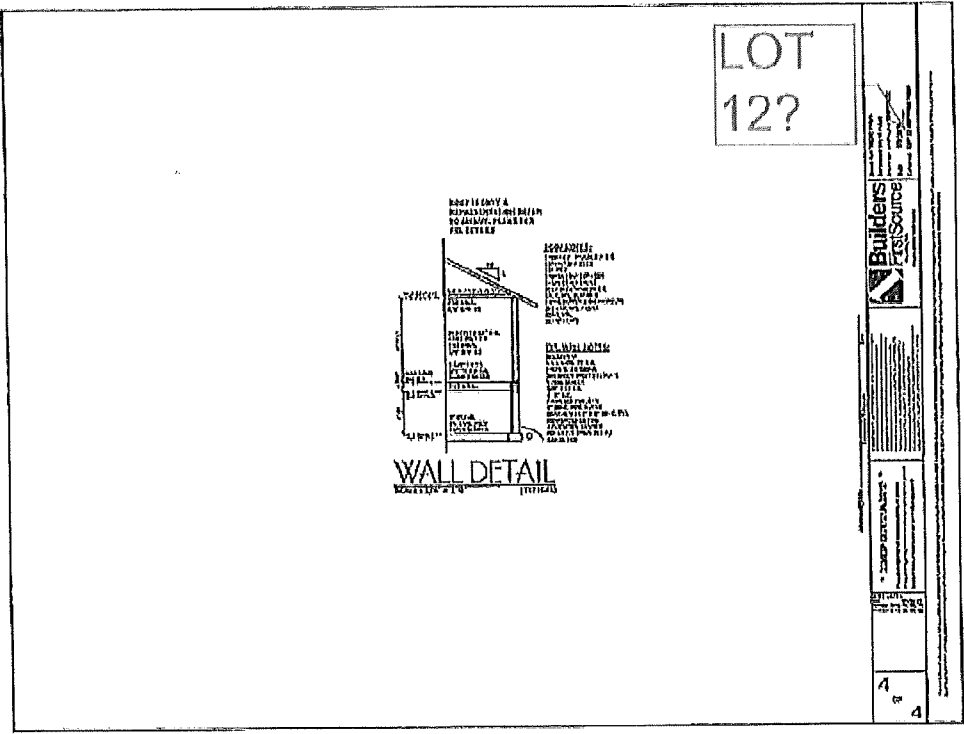
09/07/22
09/08/22

VERIFY W/ G.C. OR OWNER ON LOCATION OF HOUSE ON SITE. GENERAL CONTRACTOR TO VERIFY ALL SETBACKS PRIOR TO START OF PROJECT. BUILDERS FIRST SOURCE SITE PLAN IS INTENDED FOR PERMITS ONLY. IT IS RECOMMENDED THAT THE HOUSE BE PLACED ON THE LOT BY A REGISTERED LAND SURVEY



MARIE STREET

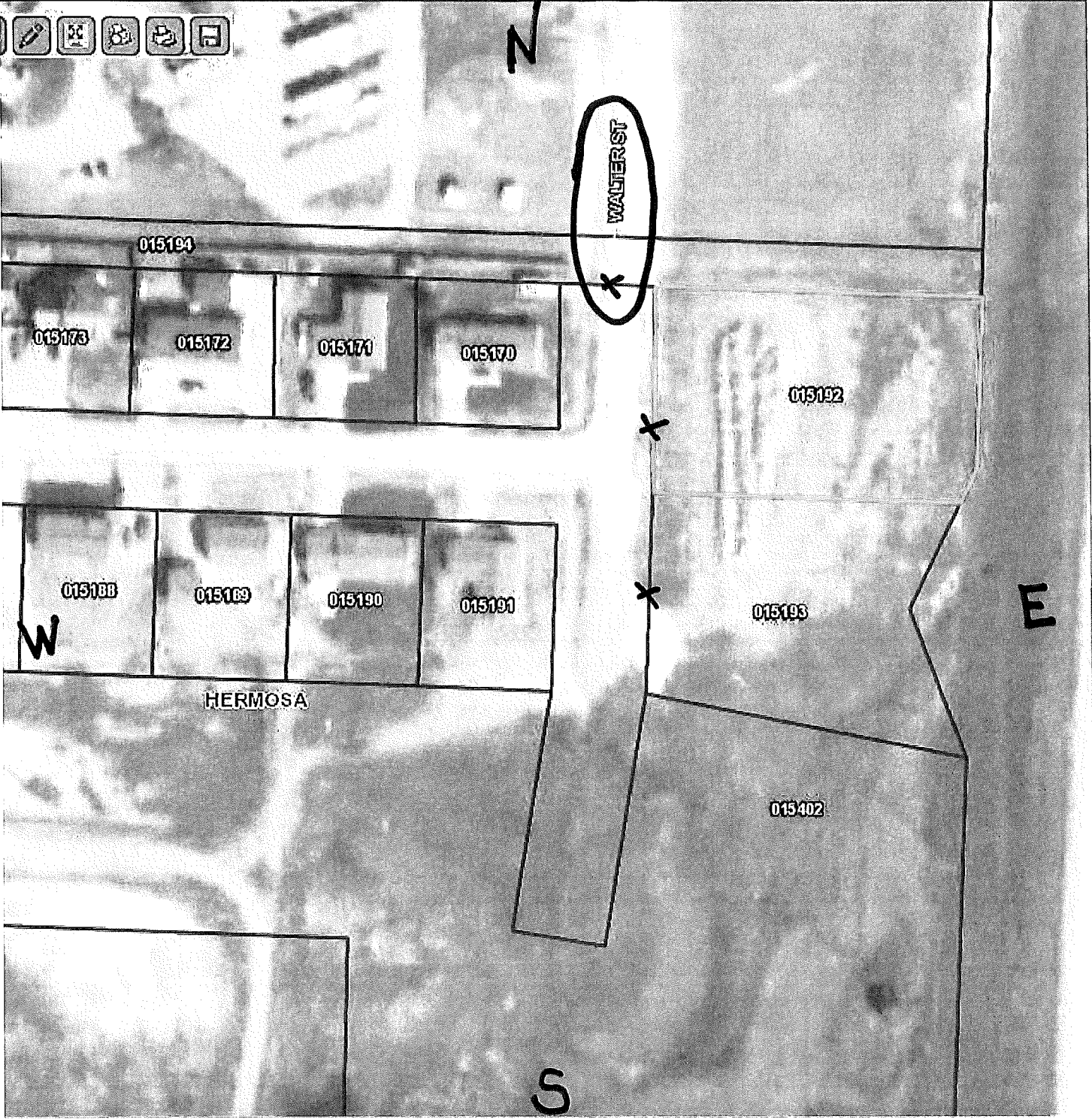
Should be lot 7



LOT
12?

Builders
FirstSource

2
4



Alternate IDn/a
Class Residential
Acreage 0.74

Owner Address HERMOSA HILLS, LLC
PO BOX 52
HERMOSA, SD 57744-0052

Address for Lot 23 - Parcel 015192
Lot 24 - Parcel 015193

Talked to Troy from Custer County. He recommends -

Troy 605-673-8141

Lot 23 — 510 Walter St.
Lot 24 — 500 Walter St.

Lot ...
Hermosa Hills Subd.

Garfield

Lot 10 840 Marie 1321 14	Lot 9 830 Marie 1311 13	Lot 8 820 Marie 1301 12	Lot 7 810 Marie 1291 11	Lot 6 800 Marie 841: 1110 1281	Lot 5 790 Marie 1281 9 Grady	Lot 4 780 Marie 841: 1118 1271	Lot 3 770 Marie 1271 157 Schwenn Pulis	Lot 2 760 Marie 1261 116 Pulis	Lot 1 - 750 Marie 1251 115 Pulis
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MARIE STREET

These 2 lots were connected. No street between them.

Lot 23 740 Marie 1241 114

Lot 24 745 Marie 1451 27

Lot 11 865 Marie 1331 15	Lot 12 855 Marie 1391 16	Lot 13 845 Marie 1351 17	Lot 14 835 Marie 1361 18	Lot 15 825 Marie Pulis 1371 19	Lot 16 815 Marie 1381 20 Pulis	Lot 17 805 Marie 1391 21	Lot 18 795 Marie 1401 22 Brown	Lot 19 785 Marie 1411 23 Thaler	Lot 20 775 Marie 1421 24 Schwenn Pulis	Lot 21 765 Marie 1431 25 Pulis	Lot 22 755 Marie 1441 26 Pulis
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Neugebauer Brothers Dev
1493 SO Hwy 40
57144

605-255-4688

H2° Acct:
Book/Stop

Sept. 23, 22

P&Z Board,

I would like to be Considered
To The Open Set. on the
P&Z Board.

Bobbie Claski

September 17, 2022

Town of Hermosa
 Attn: Chuck Ferguson
 PO Box 298
 Hermosa, SD 57744

RE: 2022-2023 Tank Maintenance Project

Thank you for considering Midco Diving & Marine Services, Inc. – a proud member and supporter of South Dakota Association of Rural Water Systems (SDARWS). We are pleased to provide the following proposal to perform the scope of work outlined below.

All diving operations are fully insured for “**Commercial Diving Operations**” including: General Liability, Workman’s Compensation, Hull Machinery, Protection and Indemnity, Pollution Liability, Maritime Employers Liability, Contractor’s Pollution, Automotive Liability, U.S.L.H. and Umbrella/Excess Liability/Bumbershoot. **Verifiable Certificates of Insurance with Current Limits** are available upon request.

Midco Diving & Marine Services, Inc. is in full compliance with OSHA 29 CFR 1910, Subpart T - Commercial Diving Operations regulations. OSHA specifies that the minimum acceptable dive crew size is three qualified divers. Not all firms comply with this mandate and continue to use two-person dive crews or unqualified personnel; please be aware of these safety concerns when evaluating our proposal.

Current diver and equipment certifications will be available on site for review:

- Diver training – from accredited commercial dive school (each dive team member)**
- Current First Aid/CPR training (each dive team member)**
- Annual medical examination determining diver is fit to perform assigned tasks (each dive team member)**
- Air purity test for breathing air source(s) – tested every 6 months**
- Breathing gas supply hoses – tested at least annually to 1.5 times their working pressure**
- Depth gauges – calibrated every 6 months**

TANK DESCRIPTION(S)

Tank	Capacity	Dimensions	Type
Tank 1 Big Tank	315K Gallons	56’ High x 31’ Diameter	Steel Welded/Standpipe
Tank 2	130K Gallons	56’ High x 31’ Diameter	Steel Welded/Standpipe

Inspection

A diver inspection with a live video recording, will be transferred to a flash drive or DVD documenting our findings in each tank(s). Inspection procedures include, but are not limited to:

- Inlet / Outlet
- Overflow
- Roof and Roof Hatch
- Walls and Floors
- Baffles / Support Walls
- Interior Ladders
- Roof Vents
- Exterior Ladder & Rails
- Sumps
- Internal Plumbing
- Joints and Seams
- Interior Coatings
- Exterior Coatings
- Telemetry
- Sediment Depths

Cleaning

Midco will remove up to three inches (3”) of accumulated material from the storage tank floor using underwater vacuum procedures as needed. Material(s) that cannot be removed by normal vacuum procedures or material(s) in excess of three inches (3”) will be removed for an **additional charge** with an estimated price given on site. Material(s) such as sand, gravel and concrete are considered debris and will be removed by hand at an **additional charge**. All discharged materials, including water, are the responsibility of the Client, Owner or Owners Representative unless prior arrangements are made.

Potable Water Operations – All Midco divers and associated in tank equipment are fully disinfected in accordance with ANSI/AWWA Standard C652-19. All system entries will be conducted in accordance with applicable OSHA regulations pertaining to Diving & Confined Space; including 1910.401 – 1910.441. Specialty equipment may include but is not limited to; appropriate OSHA climbing and personal fall protection, AWWA and ADCI approved commercial diving equipment as it relates to in-service potable water operations.



800.479.1558 (P)
 800.238.0217 (F)
 www.midcodiving.com
 info@midcodiving.com
 PO Box 513, Rapid City, SD. 57709 – 605.791.3030



MIDCO

DIVING & MARINE SERVICES

Cleaning & Inspection Pricing (Including Inspection Video)	\$6,646.00
Additional Services	
<input type="checkbox"/> EPA or State Report	\$225.00 Each
<input type="checkbox"/> Full Written Report with EPA or State Report	\$350.00 Each
<input type="checkbox"/> No Report(s) Requested	
<i>Pricing above does not include Local, State or Franchise Taxes – if any.</i>	

This proposal, when executed by both parties, shall constitute a binding agreement between the parties. The persons signing on behalf of the Client, Owner or Owners Representative and Midco hereby represents and certifies that they are fully empowered to bind the respective parties to this contract. Any contract that is not fulfilled will be subject to a cancellation fee. **Terms are net 10 days from completed on site work**; interest accrues at 1.5% monthly on any unpaid balance. Any fees required to obtain a city business license or any additional permits will be added to the final invoice at the current city rate plus appropriate markup. Please note the above pricing **does not include**; contract review, comprehensive dive plans, additional insurance requirements, third party vendor verification site requirements and/or any repair work unless stated with the above pricing. This proposal is valid for thirty (30) days from receipt.

- To Expedite your project please be aware of the following:**
- The tank(s) must be full to overflow and in-service prior to the crews' arrival.
 - Access into the reservoirs must be sufficient for safe diver entry and exit. A minimum hatch size of 24", no hatch obstructions, and unobstructed road access to the tank.
 - Working with our scheduling department to complete the project in a timely and proficient manner, which may require weekend and/or holiday access.
 - It will be the responsibility of the Client, Owner, or Owner Representative to notify antenna operator and/or owners prior to crews' arrival for proper lockout of all antennas, RF devices (Radio Frequency Antennas) and EME sources (Electromagnetic Energy) that may interfere with Midco team safety and access to the water reservoirs.

This quote has been prepared exclusively for your firm using information you provided. Incorrect or inaccurate information used for estimate purposes that delays progress may influence your final price. Interruptions in the work progression, not in control of Midco Diving & Marine Services, Inc., such as, weather or other delays may also affect your final pricing. If Midco Diving & Marine Services, Inc is unable to complete the work as described above due to lack of weekend and/or holiday access, tank access, water levels, safety issues, etc. a nominal trip charge and/or standby fee will be added. The contents of this quotation are considered confidential and are not to be divulged to third parties. Please note, it is the Client, Owner or Owner Representative's responsibility to test and maintain for water quality.

All Midco Diving quotes are subject to availability of personnel and equipment. Upon approval, please sign return by fax, email or mail to Midco Diving & Marine Services, Inc.

Town of Hermosa
PO Box 298
Hermosa, SD 57744

Midco Diving & Marine Services, Inc.
PO Box 513
Rapid City, SD. 57709
P: (800) 479-1558
F: (800) 238-0217

I have read, understand and agree to the terms of this proposal:

By: _____
Title: _____
Date: _____

By: *Kelly Doak*
Title: Regional Account Manager
Date: September 17, 2022



800.479.1558 (P)
800.238.0217 (F)
www.midcodiving.com
info@midcodiving.com
PO Box 513, Rapid City, SD. 57709 – 605.791.3030



12A

TOWN OF HERMOSA
*Check Reconciliation©
RECON

10100 CASH/10700 CASHRSRV/10800 DPSTRSRV
September 2022

Account Summary		
Beginning Balance on 9/1/2022		\$686,609.04
+ Receipts/Deposits		\$106,200.22
- Payments (Checks and Withdrawals)		\$44,010.64
Ending Balance as of	9/30/2022	\$748,798.62

Cleared	\$748,798.62
Statement	\$748,798.62
Difference	\$0.00

Cash Balance		
Active	101-10100 GENERAL FUND	\$316,077.01
Active	101-10700 GENERAL FUND	\$0.00
Active	211-10100 BBB Gross Receipts Tax Fund	\$56,976.71
Active	272-10100 FEMA FUND/CONSTRUCTION ACCT	\$429.11
Active	301-10100 DEBT SERVICE FUND	\$77,044.49
Active	602-10100 WATER FUND	\$127,672.46
Active	602-10700 WATER FUND	\$10,461.71
Active	602-10800 WATER FUND	\$8,335.50
Active	604-10100 SEWER FUND	\$133,773.44
Active	604-10700 SEWER FUND	\$313.83
	Cash Balance	\$731,084.26

Begining Balance	\$686,609.04
+ Total Deposits	\$108,873.94
- Checks Written	\$64,398.72
Check Book Balance	\$731,084.26
Difference	\$0.00

TOWN OF HERMOSA

*Check Reconciliation©

Pioneer Bank & Trust
10100 CASH

Check Nbr	Vendor Name	Check Date	Amount	Cleared This Month	Amount Not Cleared	Partially Cleared Last Month
Deposit	01-20-22CS	1/20/2022	(\$399.88)	-	(\$399.88)	-
Deposit	02-15-22UB	2/15/2022	(\$1,572.45)	-	(\$1,572.45)	-
Deposit	03-22-22PSN	3/22/2022	(\$216.77)	-	(\$216.77)	-
Deposit	07-19-22PSN	7/19/2022	(\$89.80)	-	(\$89.80)	-
Deposit	07-28-22PSNa	7/28/2022	(\$182.02)	-	(\$182.02)	-
Deposit	07-28-22PSN1a	7/28/2022	(\$123.00)	-	(\$123.00)	-
Deposit	08-29-22PSN	8/29/2022	(\$381.80)	(\$381.80)	-	-
Deposit	08-29-22P	8/29/2022	(\$103.00)	(\$103.00)	-	-
Deposit	08-30-22PSN	8/30/2022	(\$550.20)	(\$550.20)	-	-
Deposit	08-31-22PSN	8/31/2022	(\$90.02)	(\$90.02)	-	-
Deposit	09-01-22PSN	9/1/2022	(\$103.55)	(\$103.55)	-	-
Deposit	09-01-22UB	9/1/2022	(\$1,330.78)	(\$1,330.78)	-	-
Deposit	09-01-22UB	9/1/2022	(\$38.76)	(\$38.76)	-	-
Deposit	09-02-22PSN	9/2/2022	(\$473.00)	(\$473.00)	-	-
Deposit	09-02-22PSN	9/2/2022	(\$10.60)	(\$10.60)	-	-
Deposit	09-02-22UB	9/2/2022	(\$690.70)	(\$690.70)	-	-
Deposit	09-02-22UB	9/2/2022	(\$64.36)	(\$64.36)	-	-
Deposit	PSN090622GB	9/6/2022	(\$414.29)	(\$414.29)	-	-
Deposit	090622PSN1GB	9/6/2022	(\$144.54)	(\$144.54)	-	-
Deposit	091222REC	9/12/2022	(\$7,884.04)	(\$7,884.04)	-	-
Deposit	PSN0900822gb	9/12/2022	(\$348.19)	(\$348.19)	-	-
Deposit	PSN0900822gb	9/12/2022	(\$112.40)	(\$112.40)	-	-
Deposit	2psn9822gb	9/12/2022	(\$337.72)	(\$337.72)	-	-
Deposit	20220912E01	9/12/2022	(\$2,232.94)	(\$2,232.94)	-	-
Deposit	20220912E00	9/12/2022	(\$667.47)	(\$667.47)	-	-
Deposit	20220909E01	9/12/2022	(\$187.30)	(\$187.30)	-	-
Deposit	20220202E00	9/12/2022	(\$109.21)	(\$109.21)	-	-
Deposit	09-12-22UB	9/12/2022	(\$108.57)	(\$108.57)	-	-
Deposit	09-12-22UB	9/12/2022	(\$2,571.10)	(\$2,571.10)	-	-
Deposit	09-13-22CS	9/13/2022	(\$1,182.67)	(\$1,182.67)	-	-
Deposit	09-13-22UB	9/13/2022	(\$210.11)	(\$210.11)	-	-
Deposit	09-13-22UB	9/13/2022	(\$902.08)	(\$902.08)	-	-
Deposit	CLFRF NEU 09 2022	9/13/2022	(\$38,429.76)	(\$38,429.76)	-	-
Deposit	09-16-22PSN	9/16/2022	(\$986.33)	(\$986.33)	-	-
Deposit	09-16-22PSN1	9/16/2022	(\$4,431.07)	(\$4,431.07)	-	-
Deposit	09-16-22PSN1	9/16/2022	(\$0.60)	(\$0.60)	-	-
Deposit	09-16-22UB	9/19/2022	(\$54.19)	(\$54.19)	-	-
Deposit	09-16-22UB	9/19/2022	(\$1,961.64)	(\$1,961.64)	-	-
Deposit	09-19-22PSN	9/19/2022	(\$906.63)	(\$906.63)	-	-
Deposit	09-19-22UB	9/19/2022	(\$3,118.81)	(\$3,118.81)	-	-
Deposit	09-19-22UB	9/19/2022	(\$33.17)	(\$33.17)	-	-
Deposit	091922REC	9/19/2022	(\$4,127.42)	(\$4,127.42)	-	-
Deposit	09-20-22PSN	9/20/2022	(\$861.24)	(\$861.24)	-	-
Deposit	09-20-22PSN1	9/20/2022	(\$86.58)	(\$86.58)	-	-
Deposit	09-20-22UB	9/20/2022	(\$877.87)	(\$877.87)	-	-
Deposit	09-20-22UB	9/20/2022	(\$81.82)	(\$81.82)	-	-
Deposit	09-21-22PSN	9/21/2022	(\$203.25)	(\$203.25)	-	-
Deposit	09-21-22PSN1	9/21/2022	(\$146.01)	(\$146.01)	-	-
Deposit	09-22-22PSN1	9/22/2022	(\$130.50)	(\$130.50)	-	-

TOWN OF HERMOSA

*Check Reconciliation©

Pioneer Bank & Trust
10100 CASH

Check Nbr	Vendor Name	Check Date	Amount	Cleared This Month	Amount Not Cleared	Partially Cleared Last Month
Deposit	09-22-22PSN	9/22/2022	(\$147.24)	(\$147.24)	-	-
Deposit	09-23-22PSN	9/23/2022	(\$100.00)	(\$100.00)	-	-
Deposit	09-26-22PsN	9/26/2022	(\$519.50)	(\$519.50)	-	-
Deposit	09-27-22UB	9/27/2022	(\$628.83)	(\$628.83)	-	-
Deposit	09-27-22UB	9/27/2022	(\$11.61)	(\$11.61)	-	-
Deposit	092822REC	9/28/2022	(\$293.00)	(\$293.00)	-	-
Deposit]	9/28/2022	(\$1,339.25)	(\$1,339.25)	-	-
Deposit	092822REC-2	9/28/2022	(\$1,116.21)	(\$1,116.21)	-	-
Deposit	09-29-22PSN	9/29/2022	(\$89.80)	-	(\$89.80)	-
Deposit	09-29-22UB	9/29/2022	(\$1,937.92)	(\$1,937.92)	-	-
Deposit	09-29-22UB	9/29/2022	(\$2.20)	(\$2.20)	-	-
Deposit	09-30-22UB	9/30/2022	(\$302.29)	(\$302.29)	-	-
Deposit	100322REC	9/30/2022	(\$22,100.96)	(\$22,100.96)	-	-
Deposit	Sept 2022 Int	9/30/2022	(\$14.92)	(\$14.92)	-	-
001133E	Pioneer Bank & Trust	9/7/2022	\$105.85	\$105.85	-	-
001135E	Pioneer Bank & Trust	9/7/2022	\$25.00	\$25.00	-	-
001136E	A & B Business Equipment, Inc.	9/7/2022	\$577.80	\$577.80	-	-
001137E	BH Electric Coop	9/7/2022	\$3,548.31	\$3,548.31	-	-
001138E	Rural Development	9/7/2022	\$1,278.00	\$1,278.00	-	-
001139E	Rural Development	9/7/2022	\$417.00	\$417.00	-	-
001140E	Rural Development	9/7/2022	\$222.00	\$222.00	-	-
001141E	Sanders Sanitation	9/7/2022	\$4,140.14	\$4,140.14	-	-
001142E	Mt Rushmore Telephone	9/19/2022	\$242.91	\$242.91	-	-
001143E	PAYMENT SERVICE NETWORK	9/19/2022	\$135.45	\$135.45	-	-
001144E	EFTPS	9/19/2022	\$671.63	\$671.63	-	-
001145E	SD Dept of Revenue	9/19/2022	\$585.77	\$585.77	-	-
001146E	EFTPS	9/28/2022	\$965.85	\$965.85	-	-
001147E	LINGO	9/28/2022	\$71.57	\$71.57	-	-
014739	LEISING, COURTNEY	7/31/2018	\$28.00	-	\$28.00	-
014897	TAYLOR, KIM	12/4/2018	\$14.00	-	\$14.00	-
014979	REICHARDT-GUNHAMMER, DUSTIN	2/4/2019	\$16.38	-	\$16.38	-
015186	VERIZON CONNECT NWF, INC	7/18/2019	\$37.90	-	\$37.90	-
015252	PENA, RAY	9/3/2019	\$32.75	-	\$32.75	-
015360	ALFSON, RICK	12/3/2019	\$50.00	-	\$50.00	-
015544	BIRCH COMMUNICATIONS	4/7/2020	\$23.09	-	\$23.09	-
015702	BIRCH COMMUNICATIONS	7/17/2020	\$25.32	-	\$25.32	-
015777	SCHREURS, ASHLEY	9/2/2020	\$105.63	-	\$105.63	-
015832	Mt Rushmore Telephone	10/8/2020	\$219.55	-	\$219.55	-
015928	Karp, Mike	12/16/2020	\$16.50	-	\$16.50	-
015959	Impressions Rubber Stamp, Inc.	1/8/2021	\$45.74	-	\$45.74	-
016091	JONES, NORMAN	4/8/2021	\$5.67	-	\$5.67	-
016166	ALEXANDER, ASHLEY	6/3/2021	\$34.91	-	\$34.91	-
016174	Holsworth, Dan & Deb	6/3/2021	\$15.40	-	\$15.40	-
016266	CHILDRESS, ERIN	7/22/2021	\$27.83	-	\$27.83	-
016282	A & B Business Equipment, Inc.	8/3/2021	\$586.75	-	\$586.75	-
016387	MAYCLIN, MARK AND CLEONE	10/5/2021	\$67.37	-	\$67.37	-
016427	ALLEN, TYLER	11/3/2021	\$5.02	-	\$5.02	-
016531	MAUDE, LEANN	1/6/2022	\$25.00	-	\$25.00	-
016695	South Dakota Municipal League	5/4/2022	\$156.00	-	\$156.00	-

TOWN OF HERMOSA

*Check Reconciliation©

Pioneer Bank & Trust
10100 CASH

Check Nbr	Vendor Name	Check Date	Amount	Cleared This Month	Amount Not Cleared	Partially Cleared Last Month
016722	FLUG, BERNHARD	6/8/2022	\$14.08	-	\$14.08	-
016726	IRVINE, CHUCK	6/8/2022	\$10.00	-	\$10.00	-
016729	SCHWENN, DOUG	6/8/2022	\$14.08	\$14.08	-	-
016806	COLTRANE, MARIANNE	8/4/2022	\$2.64	\$2.64	-	-
016824	Ferguson, Chuck	8/16/2022	\$105.00	\$105.00	-	-
016827	Kramer, Linda	8/16/2022	\$107.88	\$107.88	-	-
016830	Ferguson, Chuck	8/31/2022	\$2,446.34	\$2,446.34	-	-
016831	Boddicker, Gail L.	8/31/2022	\$1,724.25	\$1,724.25	-	-
016832	Swier-Dybvig, Jill	8/31/2022	\$1,495.69	\$1,495.69	-	-
016833	Henrichsen, Vicki L.	8/31/2022	\$230.87	\$230.87	-	-
016834	Holsworth, Danny J.	8/31/2022	\$230.87	\$230.87	-	-
016835	Kramer, Linda M.	8/31/2022	\$321.02	\$321.02	-	-
016836	Schumack, Terri V	8/31/2022	\$184.70	\$184.70	-	-
016837	Thomason, Brett	8/31/2022	\$161.61	\$161.61	-	-
016838	Ferguson, Chuck	9/7/2022	\$1,325.00	\$1,325.00	-	-
016839	ACES	9/7/2022	\$1,455.00	\$1,455.00	-	-
016840	BELT, VONDA	9/7/2022	\$20.48	\$20.48	-	-
016841	Claycomb Engineering	9/7/2022	\$1,544.00	\$1,544.00	-	-
016842	Custer County Sheriff	9/7/2022	\$13,333.34	\$13,333.34	-	-
016843	Health Pool of South Dakota	9/7/2022	\$882.97	\$882.97	-	-
016844	Northwest Pipe Fittings Inc	9/7/2022	\$408.43	\$408.43	-	-
016845	ODP Business Solutions	9/7/2022	\$172.59	\$172.59	-	-
016846	SD Retirement System	9/7/2022	\$849.64	\$849.64	-	-
016847	Southern Hills Publishing Inc.	9/7/2022	\$135.84	\$135.84	-	-
016848	Boddicker, Gail L.	9/15/2022	\$1,412.14	\$1,412.14	-	-
016849	Swier-Dybvig, Jill	9/15/2022	\$1,018.49	\$1,018.49	-	-
016850	Claycomb Engineering	9/22/2022	\$416.00	\$416.00	-	-
016851	FARMERS SUPPLY	9/22/2022	\$0.00	-	-	-
016852	Ferguson, Chuck	9/22/2022	\$2,446.34	-	\$2,446.34	-
016853	G. J. Holsworth & Son, Inc.	9/22/2022	\$1,500.00	-	\$1,500.00	-
016854	Golden West Technologies	9/22/2022	\$563.50	\$563.50	-	-
016855	HAGG & HAGG, LLP	9/22/2022	\$10,583.35	-	\$10,583.35	-
016856	LINGO	9/22/2022	\$0.00	-	-	-
016857	Nelson's Oil & Gas	9/22/2022	\$308.14	\$308.14	-	-
016858	Summit Signs & Supply, Inc.	9/22/2022	\$382.50	-	\$382.50	-
016859	FARMERS SUPPLY	9/22/2022	\$152.85	\$152.85	-	-
016860	Belt, Vonda	9/30/2022	\$186.09	-	\$186.09	-
016861	Henrichsen, Vicki L.	9/30/2022	\$138.52	-	\$138.52	-
016862	Holsworth, Danny J.	9/30/2022	\$138.52	-	\$138.52	-
016863	Kramer, Linda M.	9/30/2022	\$196.35	-	\$196.35	-
016864	Schumack, Terri V	9/30/2022	\$138.52	-	\$138.52	-
016865	Thomason, Brett	9/30/2022	\$69.26	-	\$69.26	-
016866	Boddicker, Gail L.	9/30/2022	\$1,186.88	-	\$1,186.88	-
016867	Swier-Dybvig, Jill	9/30/2022	\$1,018.49	-	\$1,018.49	-
016868	Harris, Joan E.	9/30/2022	\$258.58	-	\$258.58	-
016869	Henrichsen, Vicki L.	9/30/2022	\$55.41	-	\$55.41	-
016870	Holsworth, Danny J.	9/30/2022	\$27.70	-	\$27.70	-
016871	Irvine, Charles	9/30/2022	\$193.93	-	\$193.93	-
016872	Schumack, Terri V	9/30/2022	\$110.82	-	\$110.82	-

TOWN OF HERMOSA

10/03/22 9:41 AM

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*Check Reconciliation©

Pioneer Bank & Trust
10100 CASH

Check Nbr	Vendor Name	Check Date	Amount	Cleared This Month	Amount Not Cleared	Partially Cleared Last Month
016873	Thomason, Brett	9/30/2022	\$27.70	-	\$27.70	-
016874	Waltman, Lon	9/30/2022	\$166.23	-	\$166.23	-
Receipts/Deposits			(\$108,873.94)	(\$106,200.22)	(\$2,673.72)	\$0.00
Payments/Withdrawal			\$20,388.08	\$44,010.64	\$20,388.08	\$0.00
Total Deposits						(\$108,873.94)
Total Checks Written (Outstanding + Cleared)						\$64,398.72

*Next month items not included in Total Deposits & Checks Written

12c

Gail Boddicker

From: Jodi Hilsabeck <jhilsabeck@map-inc.org>
Sent: Wednesday, September 28, 2022 10:01 AM
To: Gail Boddicker
Subject: RE: Site visit

No problem Gail. I would be glad to help you as much as I can regarding grants. I'm not sure exactly what you know but will share a few resources/tidbits of knowledge and then we can go from there. There are several different avenues of funding, federal, state, and private grants then additionally most corporations have giving programs. The trick about grants is that most can be found by searching without paying any fees so be cautious as there are several entities out there trying to make money to get you to pay for databases.

For federal grants the best places to look are:

USDA: <https://www.rd.usda.gov/newsroom/federal-funding-opportunities> Not sure if you were at the museum when one of our group mentioned Community Facilities Grants - this will be listed in this section

Grants.gov: <https://grants.gov> (This system is down until Sept 29)

State:

South Dakota Community Foundation: <https://www.sdcommunityfoundation.org/grants> There are several categories listed even a Community Savings Account - this is a great place to start if you haven't already Homeland Security:

<https://dps.sd.gov/safety-enforcement/homeland-security/grants>

South Dakota department of natural resources: <https://gfp.sd.gov/search/?s=grants>

South Dakota Arts Council: <https://artscouncil.sd.gov/grants/index.aspx>

South Dakota Department of Transportation: <https://dot.sd.gov/>

Private:

These are typically large family grants. Even if the grant is located in a larger population area (ex: Rapid City or Custer) and you see a grant of this nature available I would encourage you to call and inquire about if they would fund a project in Hermosa. I done a quick search and here are some names I came up with some of them may be familiar. There are many more - typically they have a website that you can read to see what types of projects they will and will not fund. Again using name below in a google search will hopefully send you in the right direction.

C.H. Robinson Worldwide Foundation

John T. Vucurevich Foundation

Waitt Foundation

L.A. Amudson Ohana Foundation

Brenden Mann Foundation

Engelsma Family Foundation

Clarkson Family Foundation

The Hatterscheidt Foundation

Gwendolyn L. Stearns Foundation

Black Hills Corporation Foundation

Tennyson Family Foundation

Durnill Charitable Trust

Tikkun Inc.

Corporations:

As I mentioned previously most corporations have some type of giving. The best way to find them is to search for the company name and community giving. For example, enter "Walmart community giving" in your search bar. The

other way to look at this is every time you pass someplace in Rapid City or Custer make a list then search to see if they have a community giving grant. Banks, insurance companies, casino's, utility companies, and famous athletes from the area are additionally great sources of potential funding. I don't recall the name of the truck stop out at the highway but if they have not been contributors in the past it would be worth the ask.

Last - I'm not sure if you have a county economic development group or if there are just ones in Rapid City and Custer. They would additionally be great a resource. Also if you can work to get a foundation set up in which you can establish a bequest program for those from the area who pass, they can leave their money or a portion to support the area. In addition, I have seen this also work for individuals to delegate a portion of their retirement fund. I have seen these programs assist small rural communities that typically don't have a lot of funding.

I hope this didn't overwhelm you - my best advice is to look at a specific area you would like to get funding and start from there (ex museum or something for the community). I think you will find that it will snowball in a positive direction. If you get a few grants you are interested in please let me know I am more than willing to go over them with you and share what I know about completing the applications. Please reach out with any questions you have!

Thanks again!

Jodi Hilsabeck
Internal Program Manager
PO Box 57
Glenwood, IA 51534
816-244-9966
jhilsabeck@map-inc.org

-----Original Message-----

From: Gail Boddicker <gail@hermosasd.com>
Sent: Tuesday, September 27, 2022 4:36 PM
To: Jodi Hilsabeck <jhilsabeck@map-inc.org>
Cc: Christopher Jewett <cjewett@map-inc.org>; LeAnn Kerzman <lkerzman@map-inc.org>
Subject: RE: Site visit

Jodi,
I just realized I had not returned a message to you from this email!

I wanted to thank you for coming to Hermosa. We all were really pleased with how the day turned out and hope you all felt the same.

I emailed LeAnn regarding our issue with meter readings - still doing them manually and hoping to move toward electronic process. There was discussion about grants and I'm reaching out to ask for guidance on where I might be able to start searching for some help.

Thanks again for coming to Hermosa.

Gail Boddicker
Town of Hermosa
605-255-4291

-----Original Message-----

From: Jodi Hilsabeck <jhilsabeck@map-inc.org>
Sent: Tuesday, September 20, 2022 4:11 PM

To: Gail Boddicker <gail@hermosasd.com>

Cc: Christopher Jewett <cjewett@map-inc.org>; LeAnn Kerzman <lkerzman@map-inc.org>

Subject: Site visit

An amazing day!!! Thank you all for the effort you put into our tour and the hospitality you provided. I have heard amazing reviews. We appreciate you allowing us to visit. I will speak with LeAnn to share with her an overview from today. We will follow up on the items that were discussed. Thanks again!

Jodi Hilsabeck

OCT. 5, 2022

Hermosa

FYI

UPDATED

WALK TO SCHOOL



The family that walks
together,
has fun together!

Take that extra hour vacation
time and join us at the Hermosa
Post Office at

7:30 am. October 5, 2022.

For The 13th ANNUAL,
Walk-To-School-Day.

WEDNESDAY OCTOBER 5 - 7:30 AM • HERMOSA POST-OFFICE