

HERMOSA TOWN BOARD
REGULAR MEETING
TUESDAY, JULY 20, 2021 @ 6:00pm



- 1) **ROLL CALL:**
 - A. BOT Roll Call: Flug, Henrichsen, Holsworth, King, Schumack
 - B. Acknowledgement of other Attendees
 - C. Pledge of Allegiance to be led by Holsworth

- 2) **CALL FOR CHANGES:**
 - A. Review of current agenda items
 - B. Motion to accept the agenda as presented/amended

- 3) **CONSENT CALENDAR:**
 - A. Approval of the July 8, 2021, Regular Meeting minutes

- 4) **CLAIMS:**
 - A. Review Payroll and Claims
 - B. Motion to approve the Claims as presented/amended

- 5) **LAW ENFORCEMENT/ ABATEMENTS/COMPLAINTS:**
 - A. Local Updates
 - B. SD Public Assurance Alliance LE Policies, pending

- 6) **LEGAL:**
 - A.

- 7) **ENGINEER:**
 - A. Water Rehab Project (WRT System)
 - B. N Second Street Box Replacement
 - C. Lone Coyote Subdivision (Preston Sub) Preliminary Plat Application – Permit #2021-18
 - D. Hermosa Sidewalk Project
 - E. Sewer Project (Lagoon expansion)
 - F. Water and Sewer Project
Expansion project to Lone Coyote: Survey, Preliminary Plat, Annexation
 - G. Water/Sewer Facility Plans

- 8) **PUBLIC WORKS**
 - A. Streets, Street Light Repairs, Water & Sewer Department Updates

- 9) **FINANCE OFFICE:**
 - A. Monthly Financials
 - B. Department Updates

- 10) **PLANNING & ZONING:**
 - A. Review of July 13, 2021, meeting minutes
 - B. Permit 2021-16 - Parcel 011978, Dollar General. Updated plan.
 - C. Permit 2021-19 – 225 Ferguson St.- Floodplain Development Permit-Carport
 - D. Permit 2021-22 – 830 Marie; Lot 9- Residential/Digging Permit
 - E. Permit 2021-23 – 840 Marie; Lot 10 – Residential/Digging Permit
 - F. Permit 2020-16 – 820 Marie St. Request for extension - Garage

- 11) **OLD BUSINESS:**
 - A. Annexation: Gumbo Lilly, Fairgrounds Place
 - B. Preston Family Inc, pending
Bids for water/sewer lines
 - C. Water/Sewer rate increase
Requires additional discussion
 - E. Broadband Grant Awards – Midco, pending
August 17, presentation
 - F. Town Sign, pending
Quote provided on July 20 meeting

- 12) **NEW BUSINESS:**
- 13) **ITEMS FROM CITIZENS:** No action will be taken (3-minute time limit per speaker)
- 14) **TRUSTEE INPUT:**
- 15) **EXECUTIVE SESSION:**
- A. Motion to enter Executive Session allowable by SDCL 1-25-2.1 - Personnel
 - B. Motion to exit out of Executive Session
 - C. Motions resulting from Executive Session
- 16) **ADJOURN:**
Motion by _____; second by _____ to adjourn the meeting at _____pm.

**HERMOSA TOWN BOARD
REGULAR MEETING
THURSDAY, JULY 8, 2021 @ 6:00pm
(Rescheduled from July 6, 2021)**



3A

ROLL CALL: Holsworth called the meeting to order at 6pm with the following members present: Flug, Henrichsen, Holsworth, King, and Schumack. Johnson, Daggett, Ferguson, Westergard, Boddicker & interested citizens also present. Pledge of Allegiance was led by Holsworth.

CALL FOR CHANGES: Motion made and seconded to approve agenda as amended; unanimous.

2020 AUDIT: Devin Pfaff, CPA, Casey Peterson Associates, presented the 2020 audit report in draft format. The final report will be provided once the Legislative Audit approves the report.

CONSENT CALENDAR: Motion made and seconded to approve June 15, 2021; minutes as presented; Flug, aye; Henrichsen, abstained, Holsworth, aye; King, aye; Schumack, aye; motion carried.

CLAIMS: Motion made and seconded to approve with discussion to approve June 15th Payroll and Claims; unanimous. Motion made and seconded to delay payment on one Interstate Engineering invoice until board reviews; Flug, aye; Henrichsen, nay; Holsworth, aye; King, aye; Schumack, aye; motion carried. Motion made and seconded to approve remainder of claims; vote: unanimous. American Legal, Internet renewal, \$450.00; Black Hills Electric, Monthly charges \$3,183.93; Boddicker, Gail, Mileage to Custer to pick up Poll Book; 55 miles @ .42, \$23.10; Childress, Erin, Deposit refund, \$27.83; Claycomb Engineering, Engineering services, \$784.00; Cole Chasen, Deposit refund, \$115.30; Daggett, Jim, Reimbursement for surety bond – Notary, \$50.00; Dakota Supply Group, Booster installation parts, \$313.57; DANR, Annual Environmental Fees, \$100.00; Ferguson Construction, Inspections, Pull pump in Ferguson, Booster installations, \$1,325.00; Ferguson Construction, Monthly charges, \$2,266.67; GoldenWest, Computer troubleshooting issues, \$270.00; GoldenWest, Monthly charges, \$561.50; Grimm's Pump & Supply, Parts, \$458.57; Holsworth, Deb, Reimbursement for bikes, \$460.04; Interstate Engineering, \$6,062.00; Johnson Law Office, Monthly charges, \$909.50; Main Street Designs, Hermosa Town Flag x 2, \$518.46; Metering & Technology Solutions, Meters, Kits, \$1,065.53; Mt Rushmore Telephone Co, Monthly charges, \$238.02; Payment Service Network, monthly charges, \$78.45; Pennington Co. Highway Dept, AMZ road paving, \$4,545.52; Pioneer Bank and Trust VISA, \$2,880.89; Sander Sanitation, Monthly charges, \$2,895.80; SDARWS, Annual dues, \$385.00; SD DOT, Share of costs for Project OB8017(05), \$6,010.24; Southern Black Hills Publishing, Monthly services, \$426.79; Tom's Repair, LE Compressor kit, \$1,186.01; Verizon Connect, Monthly services, \$32.38; Westergard, Brad, Monthly services, \$300.00; Payroll related: Board of Trustees, \$675.00; Finance Dept, \$3,900.00; Law Enforcement, \$808.55; Planning & Zoning, \$890.00; Custodial, Meter, Mosquito control, \$819.00; EFTPS, 941 payroll tax deposit, \$1,497.32; Health Pool of South Dakota, Monthly premium, \$841.42; SD Retirement Fund, March Retirement Funds, \$799.20. TOTAL: \$47,905.09

LAW ENFORCEMENT/ ABATEMENTS/COMPLAINTS: Daggett's report included: possible missing person at campground, rattlesnake issue, cattle on highway, car/pedestrian accident, DUI calls, domestic issue, abandoned vehicle, enforcing curfew, speeding issues within town, LE vehicle damage, LE now have body cameras. July 4th activities went very well. Citizen concerned with the lack of mosquito control on his property; trustee will investigate whether the town is responsible for spraying on personal property. There remains a concern with feral cats in the area. Weed/tall grass abatement letters to be sent. Citizen discussed a shed being built in a drainage easement and concerned with the project; trustee/board will investigate this issue. SD Public Assurance Alliance LE Policies, pending.

LEGAL: Discussion regarding draft letter to Southern Black Hills Water (SBHW) in regard to the town providing water to Lone Coyote Subdivision. Motion made to not send a letter to SBHW; motion failed. Motion made and seconded, with discussion, to send the letter with the verbiage addition requesting SBHW's definition of their service boundary plus a request to respond within 30 days; vote: Flug, aye; Henrichsen, aye; Holsworth, nay; King, aye; Schumack, aye; motion carried. Motion made and seconded to send the letter; vote: Flug, aye; Henrichsen, aye; Holsworth, nay; King, aye; Schumack, nay; motion carried. Motion made and seconded to send the letter to revise motion to request their response within 15 days (rather than 30 days); vote: Flug, aye; Henrichsen, aye; Holsworth, nay; King, aye; Schumack, aye; motion carried.

ENGINEER: Water Rehab Project (WRT System) – specs for bids for the facility plan are forthcoming. N Second Street Box Replacement: meeting scheduled for July 9, 2021. Lone Coyote Subdivision (Preston Sub) Preliminary Plat Application – Permit 2021-18: Custer County did not act on the preliminary plat as the platting depicts both Custer and Pennington Co. Plat must depict only Custer Co property. Motion made and seconded to allow ACES to schedule a meeting with town board, Preston, Renner Associates, ACES and Custer Co. Planning Board to discuss the platting procedure for this project; unanimous. Hermosa Sidewalk Project, pending. Sewer Project (Lagoon expansion); pending. Water and Sewer Project: Expansion project to Lone Coyote: Survey, Preliminary Plat, Annexation: motion made and seconded to approve the preliminary plats on the utility lots; unanimous. Motion made and seconded to contract with ACES for engineering services for the review of building permits, plats, commercial inspections or any residential inspections if needed, to include locates if needed, also to include any engineering tasks the town may require all by their representatives at their fee schedule; vote: Flug, aye; Henrichsen, nay; Holsworth, aye; King, aye; Schumack, aye; motion carried.

PUBLIC WORKS: Ferguson provided updates on streets; eight boosters have been installed – testing to be accomplished next week to ensure boosters are functioning properly; equipment for the lower pump is on order, parts have arrived for the screen and the check valve; lagoon has been sprayed and mowed.

FINANCE OFFICE: Boddicker presented monthly financial reports for review; no action. Motion made and seconded to approve \$1.00 per hour increase for Jill Dybvig; unanimous. Motion made and seconded to approve Boddicker to sign the SD Department of Health/Mosquito Grant; unanimous. Motion made and seconded to approve Henrichsen and Dybvig to attend Elected Officials Workshop on July 14, 2021; unanimous. Motion made and seconded to approve the authorization of Holsworth to sign town checks; unanimous. Motion made and seconded to take Henrichsen off the bank signature card; unanimous. Boddicker reported South Dakota Public Assurance Alliance reported no recommendations following their Loss Control Survey review. They thanked the board for their commitment to make the town a safe and efficient place to work, no action. Vulnerability Assessment and Emergency Response Plan was updated per the three-year required schedule. Emergency Management meeting – there is a need to obtain names and numbers of persons to contact in case of needing an emergency shelter. Reports the southeast emergency horn did not activate on test days; Pennington Co. Radio Technician has been contacted and plans to investigate.

PLANNING & ZONING: BOT reviewed P&Z June 22, 2021, & June 29, 2021, minutes; no action. Motion made and seconded to approve Permit 2021-06, Southern Hills RV Park, Digging/Water/Wastewater, per Staff Report; unanimous. No action required on Permit 2021-20, 237 Folsom St. Informational Permit, repair of foundation. Motion made and seconded to approve Permit 2021-21, 13 2nd St.; to add the sign onto Gabel's sign on the corner of 2nd and Main; unanimous. No action on Permit #2021-18, Lone Coyote Subdivision, Preliminary Plat Application, this is pending meeting with Custer Co. Planning. Custer County Burn Ordinance: motion made and seconded to review our present town burn ordinance to meet the needs of the town citizens: vote; Flug, aye; Henrichsen, nay; Holsworth, aye; King, aye; Schumack, aye; motion carried. Chapter 131 Fireworks Ordinance: motion made and seconded to keep the Hermosa fireworks ordinance as is currently written; vote: Flug, aye; Henrichsen, nay; Holsworth, aye; King, aye; Schumack, aye; motion carried. Motion made and seconded to remove Custer Co. Burn Ordinance, Fireworks Ordinance and Mosquito Grant from the agenda; unanimous.

OLD BUSINESS: Annexation: Gumbo Lilly, Fairgrounds Place, pending. Preston Family Inc, pending bids for installing the water/sewer lines. Water/Sewer rate increase: motion made and seconded to increase water rates and sewer rates as proposed; vote: Flug, aye, Henrichsen, nay; Holsworth, aye; King, aye; Schumack, aye; motion carried. Rate increase spreadsheet should be inserted in newsletter. G&G Subdivision, Lots 3 & 4, East Main Street update on Mylar: motion made and seconded to approve mylar. Hunsaker is responsible for filing the mylar plus he will pay for half the fees associated with the project; vote: unanimous. Broadband Grant Awards – Midco, pending August presentation. Town Sign, pending contractor presenting quote on July 20 meeting.

NEW BUSINESS: None.

ITEMS FROM CITIZENS: Citizen thanked the town attorney for his expertise and the board for following attorney recommendations.

TRUSTEE INPUT: Henrichsen, no comment. King, good meeting, Flug and Schumack – it was a very productive meeting. Holsworth, thanked the board for their positive attitude and positive direction moving Hermosa into the future.

EXECUTIVE SESSION: None.

ADJOURN: Motion made and seconded to adjourn the meeting at 9:15pm; unanimous.

Dan Holsworth, Town Board President

ATTEST:

Gail Boddicker, Finance Officer
Published once at the approximate cost of ___

Claims for Approval 7-20-2021		
A&B Business Solutions	May and June Services	\$ 1,095.58
ACES	Dollar General - \$375.00 G&G - \$1050.00	\$ 1,425.00
Action Mechanical	Office air condition repair	\$ 240.00
Black Hills Electric	Monthly charges	\$ 3,499.87
Claycomb Engineering	Engineering services, Dollar General, 225 Ferguson	\$ 1,138.00
Interstate Engineering	Weston Invoice	\$ 1,598.00
Lingo	Monthly charges	\$ 33.77
Rural Development #1	Monthly charges	\$ 1,278.00
Rural Development #2	Monthly charges	\$ 417.00
Rural Development #3	Monthly charges	\$ 222.00
TemTech	Pump at booster station	\$ 729.68
US Bank	Sewer/TIF	\$ 3,820.54
Verizon Connect	Monthly services June 2021	\$ 32.38
Vanway Trophy & Award	Thomason plaque	\$ 16.50
Westergard, Brad	Monthly services	\$ 300.00
Payroll related:		
Payroll	Board of Trustees	
Payroll	Finance Department	\$ 2,664.00
Payroll	Law Enforcement	\$ 808.55
Payroll	Planning & Zoning	
Payroll	Janitorial Meter Mosquito Control	
Gail Boddicker	Health insurance	\$ 200.00
Jim Daggett	Health insurance	\$ 200.00
EFTPS	941 payroll tax deposit	* \$ 856.93
Health Pool of South Dakota	Monthly premium	
SD Retirement Fund		
TOTAL		\$ 20,575.80

IE invoices in question

Copy 4A

Project L2103097.08 Hermosa Weston Well Rehab Closeout Invoice 43796

Billing Backup

Tuesday, June 01, 2021

Interstate Engineering, Inc.

Invoice 43796 Dated 6/1/2021

10:22:11 AM

Professional Personnel

		Hours	Rate	Amount	
ENG IV					
32 - Bengs, Ronald	4/29/2021	3.00	188.00	564.00	
Conf call w/ SD DAR (1.0), REVIEW status of Weston Items(1.0), Invoice review for Gall					
32 - Bengs, Ronald	4/30/2021	.50	188.00	94.00	
Weston Closeout Coordination w/ DENR					
32 - Bengs, Ronald	5/6/2021	1.00	188.00	188.00	
Pull previous data, pay app and CCO, review, redline revisions based on new information					
32 - Bengs, Ronald	5/10/2021	.50	188.00	94.00	
Redline pay app, cco					
32 - Bengs, Ronald	5/12/2021	.50	188.00	94.00	
Coordination w/ Deb					
32 - Bengs, Ronald	5/17/2021	.50	188.00	94.00	
Research, pull data					
32 - Bengs, Ronald	5/19/2021	1.00	188.00	188.00	
Revise final					
32 - Bengs, Ronald	5/20/2021	1.00	188.00	188.00	
Coordinate closeout with DENR					
32 - Bengs, Ronald	5/21/2021	1.00	188.00	188.00	
Review final edits to Pay app & CCO, submit to attorney to draft letter					
TECH II					
44 - Murphey, Debora	4/29/2021	.50	92.00	46.00	
Prepare Project Number Request Form; project administration					
44 - Murphey, Debora	5/13/2021	2.00	92.00	184.00	
Prepare Certificate of Acceptance, prepare Change Order No. 2 - Final; prepare Contractor's Application for Payment No. 2 and 3					
Totals		11.50		1,922.00	
Total Labor					1,922.00
				Total this Project	\$1,922.00
				Total this Report	\$1,922.00

This was the 1st invoice.

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Project L2103097.08 Hermosa Weston Well Rehab Closeout Invoice 44039

Billing Backup

Wednesday, June 30, 2021

Interstate Engineering, Inc.

Invoice 44039 Dated 6/30/2021

2:45:06 PM

Professional Personnel

		Hours	Rate	Amount	
ENG IV					
32 - Bengs, Ronald	5/24/2021	.50	188.00	94.00	
	Coordinate w/ attorney				
32 - Bengs, Ronald	5/25/2021	.50	188.00	94.00	
	Call Mitch				
32 - Bengs, Ronald	5/27/2021	1.00	188.00	188.00	
	Project review, coordination				
32 - Bengs, Ronald	5/28/2021	2.00	188.00	376.00	
	Draft letter & discuss w/ Gail. submit package to attorney				
32 - Bengs, Ronald	6/2/2021	1.00	188.00	188.00	
	Coordinate w/ Mitch, review packet				
32 - Bengs, Ronald	6/3/2021	1.00	188.00	188.00	
	Review letter from Mitch, email SDDENR, Coordinate w/ Town				
32 - Bengs, Ronald	6/7/2021	.50	188.00	94.00	
	Misc coordination				
32 - Bengs, Ronald	6/8/2021	.50	188.00	94.00	
	Project coordination				
32 - Bengs, Ronald	6/10/2021	.50	188.00	94.00	
	Call from Gail to go over Weston packet				
32 - Bengs, Ronald	6/15/2021	.50	188.00	94.00	
	Weston discussion in Exec Session				
32 - Bengs, Ronald	6/16/2021	.50	188.00	94.00	
	Coordinate w/ Gail on Weston Packet, her email has incorrect documents				
	Totals	8.50		1,598.00	
	Total Labor				1,598.00
			Total this Project		\$1,598.00
			Total this Report		\$1,598.00

This is the 2nd invoice.

TOWN OF HERIMOSA ABATEMENT SCHEDULE:

NAME:	ADDRESS:	ABATEMENT TYPE:	NOTICE #:	NOTICE	ABATED:	AMNT	Invoice #	Notes:
John Preston	24547 Hwy 79	grass weeds -Lot 11	1	7/10/2021				
Stan Neugebauer	14197 SD Hwy 40	grass weeds - Roys Drive in frontage	1	7/10/2021				
Lucas Utzman	102 Main	grass weeds	1	7/10/2021				
Kenneth Teel	805 Marie	grass weeds	1	7/10/2021				
Savanna Warren	800 Marie	grass weeds	1	7/10/2021				
John Sawyer	825 Marie	grass weeds	1	7/10/2021				
John Grady	790 Marie	grass weeds	1	7/10/2021				
Jared Thaler	785 Marie	grass weeds	1	7/10/2021				
Terrance Ohimann	775 Marie	grass weeds	1	7/10/2021				
Robin Wiczorek	750 Marie	grass weeds	1	7/10/2021				
Shadrach Young	6 West Court	grass weeds, debris	1	7/10/2021				
Gomez, Miguea	5th & Main	grass weeds debris car	1	Called Chasen				
Brandi Cook	335 Main	grass weeds, debris	1	7/12/2021				
Braidyn Buchholz	44 N. 4th St.	grass weeds	1	7/16/2021				

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TOWN OF HERMOSA
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RECON

10100 CASH/10700 CASHRSRV/10800 DPSTRSRV
June 2021

Account Summary		
Beginning Balance on 7/1/2021		\$946,208.17
+ Receipts/Deposits		\$76,454.32
- Payments (Checks and Withdrawals)		\$73,260.41
Ending Balance as of 7/1/2021		\$949,402.08

Cleared	\$949,402.08
Statement	\$949,402.08
Difference	\$0.00

Cash Balance		
Active 101-10100 GENERAL FUND		\$237,778.29
Active 101-10700 GENERAL FUND		\$0.00
Active 211-10100 BBB Gross Receipts Tax Fund		\$31,974.51
Active 272-10100 FEMA FUND/CONSTRUCTION ACCT		\$0.00
Active 301-10100 DEBT SERVICE FUND		\$177,510.63
Active 602-10100 WATER FUND		\$246,853.48
Active 602-10700 WATER FUND		\$4,259.72
Active 602-10800 WATER FUND		\$10,110.50
Active 604-10100 SEWER FUND		\$242,824.56
Active 604-10700 SEWER FUND		\$313.83
Cash Balance		\$951,625.52

Beginng Balance	\$946,208.17
+ Total Deposits	\$88,104.81
- Checks Written	\$82,687.46
Check Book Balance	\$951,625.52
Difference	\$0.00

TOWN OF HERMOSA

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Pioneer Bank & Trust
10100 CASH

Check Nbr	Vendor Name	Check Date	Outstanding	Cleared
Deposit	12-21-2020PSN	12/21/2020	(\$871.73)	
Deposit	12-21-2020PSN	12/21/2020	(\$171.74)	
Deposit	02-16-2021PSN	2/16/2021	(\$2,104.84)	
Deposit	02-17-2021PSN	2/17/2021	(\$57.41)	
Deposit	02-19-2021PSN	2/19/2021	(\$97.41)	
Deposit	20210323UB0	3/23/2021		
Deposit	20210323UB1	3/23/2021	\$475.00	
Deposit	20210323UB1	3/23/2021	(\$714.51)	
Deposit	20210323UB1	3/23/2021	\$239.51	
Deposit	03-30-2021PSN	3/31/2021	(\$97.22)	
Deposit	04-12-2021UB	4/12/2021	(\$67.73)	
Deposit	04-12-2021UB	4/12/2021	(\$1,801.98)	
Deposit	05/25/21UB	5/25/2021		(\$9.00)
Deposit	05/25/21UB	5/25/2021		(\$239.50)
Deposit	05-27-21UB	5/27/2021		(\$721.89)
Deposit	05-28-21PSN	5/28/2021		(\$66.50)
Deposit	06-01-2021UB	6/1/2021		(\$2,194.85)
Deposit	06-01-2021UB	6/1/2021		(\$80.00)
Deposit	06-01-21PSN	6/1/2021		(\$431.31)
Deposit	06-01-21PSN1	6/1/2021		(\$163.00)
Deposit	06-02-21Ps	6/2/2021		(\$66.50)
Deposit	06-02-21UB	6/2/2021		(\$9.63)
Deposit	06-02-21UB	6/2/2021		(\$1,546.03)
Deposit	06-03-21PSN1	6/3/2021		(\$66.50)
Deposit	06-03-21UB	6/3/2021		(\$1,033.92)
Deposit	06-03-21UB	6/3/2021		(\$5.00)
Deposit	06-07-21PSN	6/7/2021		(\$305.82)
Deposit	06-07-21PSN1	6/7/2021		(\$0.50)
Deposit	06-07-21PSN1	6/7/2021		(\$338.82)
Deposit	06-07-21UB	6/7/2021		(\$0.05)
Deposit	06-07-21UB	6/7/2021		(\$1,038.37)
Deposit	060821REC	6/8/2021		(\$3,861.26)
Deposit	06-09-21PSN	6/9/2021		(\$255.61)
Deposit	06-11-21PSN	6/11/2021		(\$1,523.30)
Deposit	06-11-21PSN1	6/11/2021		(\$66.50)
Deposit	06-11-21PSN1	6/11/2021		(\$26.00)
Deposit	06-11-21UB	6/11/2021		(\$1,125.09)
Deposit	06-11-21UB	6/11/2021		(\$2.27)
Deposit	06-15-21PSN	6/15/2021		(\$361.75)
Deposit	06-15-21PSN	6/15/2021		(\$100.00)
Deposit	06-15-21PSN1	6/15/2021		(\$173.00)
Deposit	06-15-21UB	6/15/2021		(\$1,081.55)
Deposit	06-15-21UB	6/15/2021		(\$47.95)
Deposit	06-06-21PSN	6/16/2021		(\$2,164.87)
Deposit	06-16-21PSN	6/16/2021		(\$66.50)
Deposit	06-16-21PSN	6/16/2021		(\$404.66)
Deposit	06-18-21PSN	6/18/2021		(\$302.33)
Deposit	06-18-21UB	6/18/2021		(\$0.10)

TOWN OF HERMOSA

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Pioneer Bank & Trust
10100 CASH

Check Nbr	Vendor Name	Check Date	Outstanding	Cleared
Deposit	06-18-21UB	6/18/2021		(\$1,151.72)
Deposit	06-21-21PSN	6/21/2021		(\$142.40)
Deposit	06-21-21UB	6/21/2021	(\$1,679.50)	
Deposit	06-21-21UB	6/21/2021	(\$119.43)	
Deposit	06-21-PSN1	6/21/2021		(\$791.07)
Deposit	06-22-21PSN	6/22/2021		(\$43.65)
Deposit	06-28-21PSN	6/28/2021		(\$486.77)
Deposit	06-28-21PSN1	6/28/2021		(\$708.14)
Deposit	06-28-21PSN1	6/28/2021		(\$0.49)
Deposit	06-28-21UB	6/28/2021	(\$2,397.00)	
Deposit	06-28-21UB	6/28/2021	(\$6.17)	
Deposit	062921REC	6/29/2021	(\$879.50)	
Deposit	06-29-21PSN	6/29/2021	(\$66.50)	
Deposit	063021REC	6/30/2021		(\$19,799.43)
Deposit	063021REC-2	6/30/2021		(\$26,308.74)
Deposit	063021REC-3	6/30/2021		(\$6,728.89)
Deposit	063021REC-4	6/30/2021		(\$366.45)
Deposit	063021REC-5	6/30/2021		(\$30.83)
Deposit	jun 21 int paid	6/30/2021		(\$15.81)
Deposit	06-30-21PSN	6/30/2021	(\$66.50)	
Deposit	06-30-21UB	6/30/2021	(\$1,165.83)	
000794E	Verizon Connect NWF, Inc.	1/20/2021	\$32.38	
000907E	A & B Business Equipment, Inc.	6/2/2021		\$544.55
000884E	Mt Rushmore Telephone	6/17/2021		
000885E	PAYMENT SERVICE NETWORK	6/17/2021		
000886E	Pioneer Bank & Trust	6/17/2021		
000887E	Pioneer Bank & Trust	6/17/2021		
000888E	Pioneer Bank & Trust	6/17/2021		
000889E	Rural Development	6/17/2021		
000890E	Rural Development	6/17/2021		
000891E	Rural Development	6/17/2021		
000892E	Sanders Sanitation	6/17/2021		
000893E	EFTPS	6/17/2021		
000894E	LINGO	6/17/2021		\$32.23
000895E	Mt Rushmore Telephone	6/17/2021		\$238.51
000896E	PAYMENT SERVICE NETWORK	6/17/2021		\$74.95
000897E	Pioneer Bank & Trust	6/17/2021		\$2,392.66
000898E	Rural Development	6/17/2021		\$1,278.00
000899E	Rural Development	6/17/2021		\$417.00
000900E	Rural Development	6/17/2021		\$222.00
000901E	Sanders Sanitation	6/17/2021		\$3,843.54
000902E	EFTPS	6/17/2021		\$981.98
000904E	BH Electric Coop	6/25/2021		\$3,183.93
000903E	EFTPS	6/29/2021		\$1,497.32
000905E	Pioneer Bank & Trust	6/30/2021		\$25.00
014082	King, Robert	4/1/2017	\$69.26	
014739	LEISING, COURTNEY	7/31/2018	\$28.00	
014897	TAYLOR, KIM	12/4/2018	\$14.00	

TOWN OF HERMOSA

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*Check Reconciliation©

CUSTOMER DEPOSIT

10800 DPSTRSRV

Check Nbr	Vendor Name	Check Date	Outstanding	Cleared
014979	REICHARDT-GUNHAMMER, DUSTIN	2/4/2019	\$16.38	
015064	Henrichsen, Vicki L	5/1/2019	\$69.26	
015186	VERIZON CONNECT NWF, INC	7/18/2019	\$37.90	
015252	PENA, RAY	9/3/2019	\$32.75	
015354	Henrichsen, Vicki L	11/29/2019	\$46.18	
015360	ALFSON, RICK	12/3/2019	\$50.00	
015544	BIRCH COMMUNICATIONS	4/7/2020	\$23.09	
015582	Henrichsen, Vicki L	4/30/2020	\$115.44	
015702	BIRCH COMMUNICATIONS	7/17/2020	\$25.32	
015777	SCHREURS, ASHLEY	9/2/2020	\$105.63	
015832	Mt Rushmore Telephone	10/8/2020	\$219.55	
015928	Karp, Mike	12/16/2020	\$16.50	
015959	Impressions Rubber Stamp, Inc.	1/8/2021	\$45.74	
016091	JONES, NORMAN	4/8/2021	\$5.67	
016095	Nelson's Oil & Gas	4/8/2021		
016101	TMDE CALIBRATION LABS, INC.	4/8/2021	\$102.00	
016139	NORTON, ROSS	5/6/2021	\$125.00	
016149	DYBVG, JILL	5/18/2021		\$156.24
016153	YESWAY	5/18/2021		\$50.50
016154	Belt, Vonda	5/28/2021		\$99.73
016155	Flug, Bernhard	5/28/2021		\$69.26
016156	Henrichsen, Vicki L	5/28/2021		\$138.52
016157	Holsworth, Danny J.	5/28/2021		\$138.52
016158	King, Robert	5/28/2021		\$138.52
016159	Kramer, Linda M.	5/28/2021		\$77.22
016160	Schumack, Terri V	5/28/2021		\$138.52
016161	Boddicker, Gail L.	5/28/2021		\$1,130.55
016162	Daggett, Jimmy L.	5/28/2021		\$681.68
016163	Swier-Dybvig, Jill	5/28/2021		\$883.18
016164	WESTERGARD, BRADLEY	5/28/2021		\$300.00
016165	Ferguson, Chuck	5/28/2021		\$2,266.67
016166	ALEXANDER, ASHLEY	6/3/2021	\$34.91	
016167	CURRENT ELEC	6/3/2021		\$96.90
016168	Dakota Supply Group	6/3/2021		\$10,862.53
016169	DOOR SECURITY PRODUCTS, INC	6/3/2021		\$96.94
016170	GABEL, TOM	6/3/2021		\$200.00
016171	HAAS, JENNIE	6/3/2021		\$48.79
016172	Health Pool of South Dakota	6/3/2021		\$841.42
016173	Henrichsen, Vicki	6/3/2021		\$82.00
016174	Holsworth, Dan & Deb	6/3/2021	\$15.40	
016175	McLeod's Printing & Office Sup	6/3/2021		\$3.90
016176	SD Retirement System	6/3/2021		\$634.62
016177	SDML	6/3/2021		\$25.00
016178	Southern Hills Publishing Inc.	6/3/2021		\$430.48
016179	VERIZON CONNECT NWF	6/3/2021		\$32.38
016186	WESTERGARD, BRADLEY	6/15/2021		\$300.00
016187	Boddicker, Gail L.	6/15/2021		\$1,291.97
016188	Daggett, Jimmy L.	6/15/2021		\$856.38

TOWN OF HERMOSA

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*Check Reconciliation©

Pioneer Bank & Trust
10100 CASH

Check Nbr	Vendor Name	Check Date	Outstanding	Cleared
016189	Kellogg, Colette	6/15/2021		\$238.80
016190	Pillen, Kathy	6/15/2021		\$232.63
016191	Swier-Dybvig, Jill	6/15/2021		\$907.42
016192	Taylor, Sandy	6/15/2021		\$232.63
016193	DAGGETT, SHAWN	6/17/2021		\$155.00
016194	Dakota Supply Group	6/17/2021		\$788.84
016195	Ferguson, Chuck	6/17/2021		\$350.00
016196	FLOWERS PLUS	6/17/2021		\$78.38
016197	Golden West Technologies	6/17/2021		\$561.50
016198	GOVOFFICE	6/17/2021		\$630.00
016199	Hawkins, Inc.	6/17/2021		\$368.87
016200	INTERSTATE ENGINEERING, INC	6/17/2021		\$9,353.60
016201	JOHNSON LAW OFFICE	6/17/2021		\$646.00
016202	SD DOT	6/17/2021		\$21,093.36
016203	Temperature Technologies Inc.	6/17/2021		\$754.53
016204	VERIZON CONNECT NWF	6/17/2021		\$64.76
016205	Belt, Vonda	6/30/2021	\$91.42	
016206	Flug, Bernhard	6/30/2021	\$138.52	
016207	Henrichsen, Vicki L	6/30/2021	\$69.26	
016208	Holsworth, Danny J.	6/30/2021	\$138.52	
016209	King, Robert	6/30/2021	\$138.52	
016210	Kramer, Linda M.	6/30/2021	\$73.99	
016211	Schumack, Terri V	6/30/2021	\$138.52	
016212	Waltman, Monte J.	6/30/2021	\$295.52	
016213	Boddicker, Gail L.	6/30/2021	\$1,724.44	
016214	Daggett, Jimmy L.	6/30/2021	\$681.68	
016215	Swier-Dybvig, Jill	6/30/2021	\$1,317.74	
016216	Clarke, Delmar	6/30/2021	\$138.52	
016217	Harris, Joan E.	6/30/2021	\$184.70	
016218	Henrichsen, Vicki L	6/30/2021	\$83.11	
016219	Kespert, Paul	6/30/2021	\$166.23	
016220	Schumack, Terri V	6/30/2021	\$83.11	
016221	Thomason, Brett	6/30/2021	\$27.70	
016222	Waltman, Lon	6/30/2021	\$138.52	
016223	Ferguson, Chuck	6/30/2021	\$2,266.67	
016224	WESTERGARD, BRADLEY	6/30/2021	\$300.00	
Receipts/Deposits			(\$11,650.49)	(\$76,454.32)
			Total Deposits	(\$88,104.81)
Payments/Withdrawals			\$9,427.05	\$73,260.41
Outstanding + Cleared Checks = Total Checks Written				\$82,687.46
*NM Next Month items not included in Total Checks Written and Total Deposits				

HERMOSA PLANNING & ZONING BOARD
REGULAR MEETING
July 13, 2021 @ 6:00pm



10A

ROLL CALL: Harris called the meeting to order at 6:00pm with the following members present; Harris, Kespert, Clarke, and Thomason. Liaison Schumack, BOT President Holsworth, Engineer Claycomb, Boddicker and interested citizens present. Pledge of Allegiance led by Harris.

CALL FOR CHANGES: Motion made and seconded to accept the agenda as presented; vote; all aye; motion carried.

Motion made and seconded to approve June 22, 2021, regular and June 29, 2021, special meeting minutes as presented; vote; all aye; motion carried.

OLD BUSINESS: Permit 2021-16, Parcel 011978; Dollar General. Motion made and seconded to recommend approval of Preliminary/Final Plat and Permit packet which includes: Flood Plain Development Permit, Digging/Grading Permit, Commercial Building Permit, Municipal Water and Waste Water Connection Permits, and Work in the Right of Way Permit. Motion also included: As per Flood Plain Administrator/Engineer's recommendations, Staff Report of June 21, 2021, and July 12, 2021, including obtaining a LOMR-F upon completion. Also provide copies of all easements and update wording to Public ROW and page number referenced on plat. Recommend approving/permitting parking spaces of 30 versus 73 as required by Code. Approval of DANR notice and SD DOT Permit. Board is requiring written approval letter from Wiles, Property Owner, on permits and/or supporting documentation of purchase/lease of land. Landscape Ordinance requires general site landscaping as per ordinance 92.09/92.12 and 92.14. Dollar General is responsible for all engineering fees, permits and special meeting costs, regardless of purchase/lease of land or not; vote; all aye; motion carried. Boddicker to be responsible for having Mylar signed by all appropriate entities.

NEW BUSINESS: Motion made and seconded to approve Permit 2021-19, 225 Ferguson St., Floodplain Development Permit per Staff Report recommendations; vote; all aye, motion carried. Discussion regarding Permits 2021-22, Residential Building/Digging Permits. Claycomb is concerned about the east side of Lot 9 to be sure there is a drainage easement. He requested a condition in the approval to ensure there is appropriate easement on the property. There is also a concern with the size of culverts in the area as there is a build-up of silt in the culvert from a heavy rain. The culverts were placed to take on low run-off, as opposed to a heavy rain. Claycomb said the ditches need to remain clear so the debris does not impede the culvert. Claycomb requested when the town is reviewing subdivision plans, there should be a drainage study for sizes for ditches and culverts to work properly. Claycomb has the original plans and will investigate and report if there was a mandate on the size of the culverts that should have been placed in the subdivision. Motion made and seconded to leave Permit 2021-22 as pending; motion rescinded; vote; all aye. Motion made and seconded to approve Permit 2021-22 based on conditions that ACES researches and provides information on the drainage plan, the culverts, and figures out the easement issue, to provide this information before the 7-20, 2021, BOT meeting; vote; all aye, motion carried. ACES should investigate Lots 9 and 10 and prepare for the future growth in the subdivision. Motion made and seconded to approve Permit 2021-23 based on the same recommendations as Permit 2021-22 plus the details of whether the foundation will be a crawl space or a basement; vote; all aye, motion carried. Building permit should be revised to indicate the type of Foundation; ie, crawl space, slab, etc. Motion made and seconded to approve the extension for one year for Permit 2020-16, 820 Marie St., Garage; vote; all aye, motion carried.

REVIEW BOT MINUTES: None at time of meeting.

ORDINANCE REVIEW & WORK ITEMS: Zoning Ordinance for ADU's – Harris working on ordinance. P&Z board disagrees with excessive rules requested by the BOT. Pending.

TRUSTEE INPUT: Holsworth provided an update on Emergency Management and Hermosa Neighborhood Watch

CITIZEN INPUT: None.

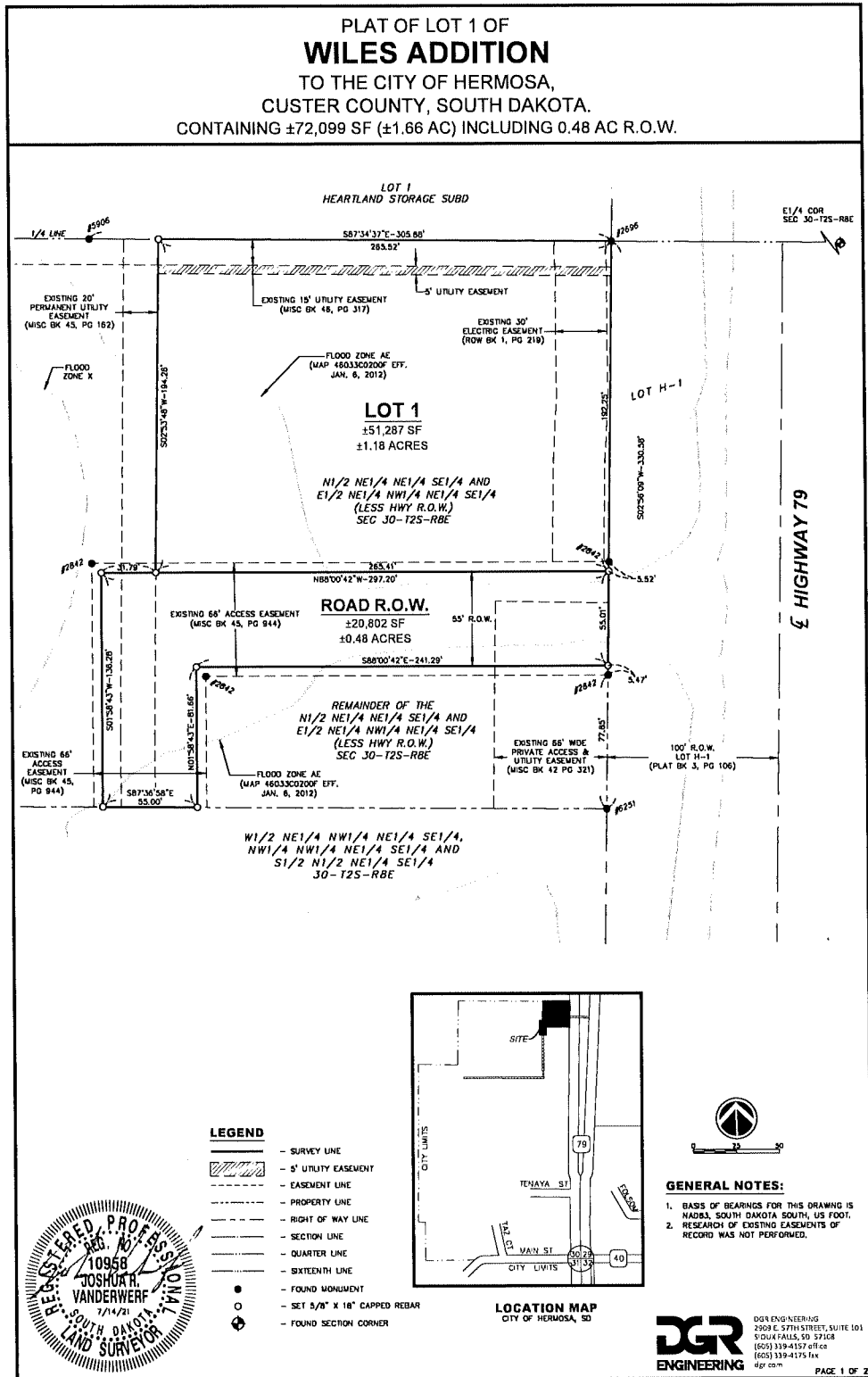
ADJOURN: Motion made, seconded to adjourn the meeting at 7:30 pm

Joan Harris, Planning & Zoning Board President

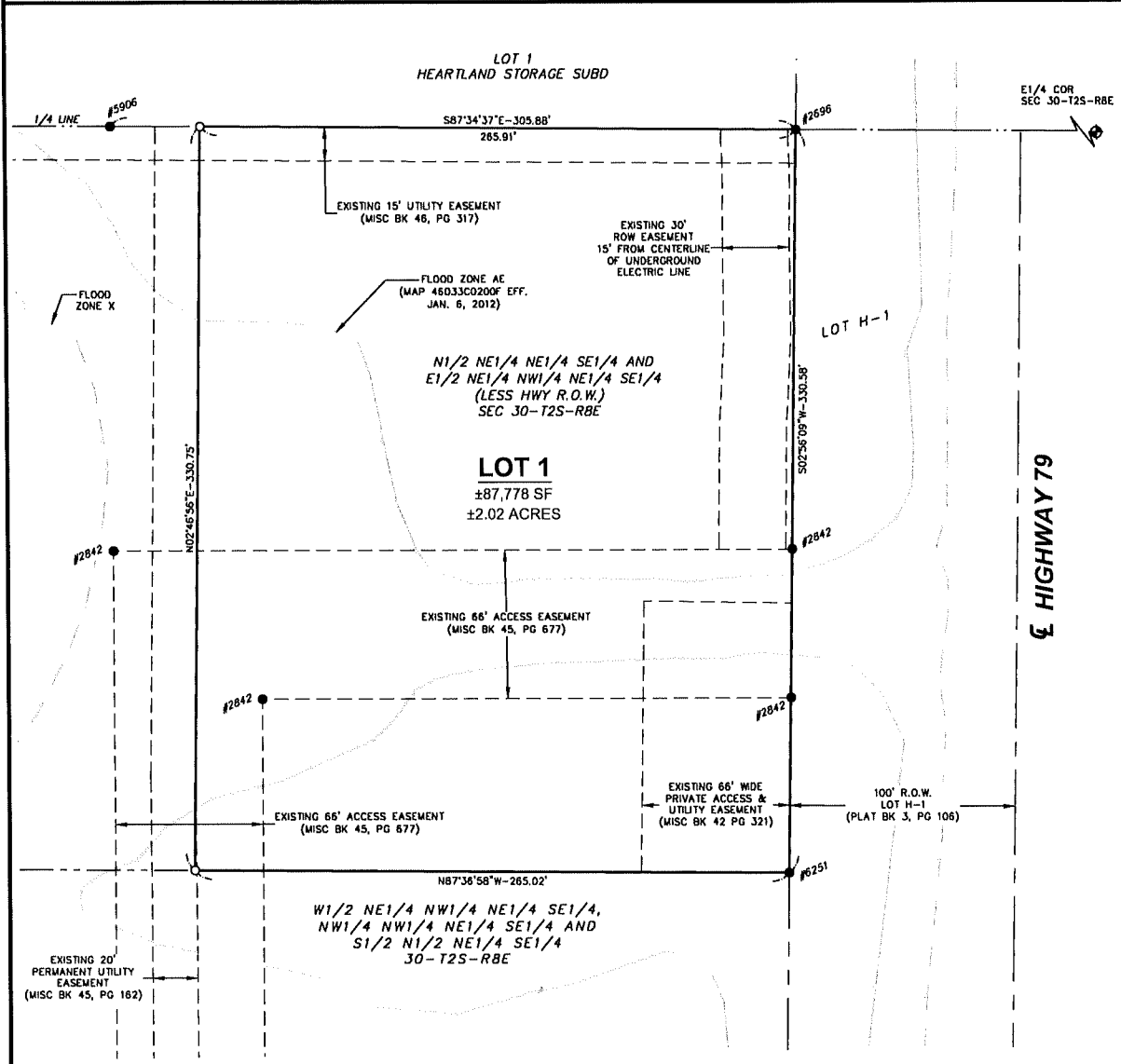
Gail Boddicker, Finance Officer

There may be a quorum of Board of Trustees present at Planning & Zoning Meetings

Beginning of Dollar General Details



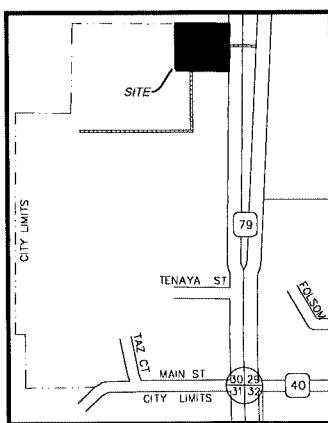
PLAT OF LOT 1 OF
WILES ADDITION
 TO THE CITY OF HERMOSA,
 CUSTER COUNTY, SOUTH DAKOTA.
 CONTAINING ±87,778 SF (±2.02 AC)



EXISTING 20' PERMANENT UTILITY EASEMENT (MISC BK 45, PG 162)



- LEGEND**
- - - - - EASEMENT LINE
 - — — — — PROPERTY LINE
 - - - - - RIGHT OF WAY LINE
 - — — — — SECTION LINE
 - — — — — QUARTER LINE
 - — — — — SIXTEENTH LINE
 - FOUND MONUMENT
 - SET 5/8" X 18" CAPPED REBAR
 - ⊕ FOUND SECTION CORNER



LOCATION MAP
 SECTION CITY OF HERMOSA, SD



- GENERAL NOTES:**
1. BASIS OF BEARINGS FOR THIS DRAWING IS NAD83, SOUTH DAKOTA SOUTH, US FOOT.
 2. RESEARCH OF EXISTING EASEMENTS OF RECORD WAS NOT PERFORMED.

DGR ENGINEERING
 DGR ENGINEERING
 2509 E. 57TH STREET, SUITE 101
 SIOUX FALLS, SD 57108
 (605) 339-4157 office
 (605) 339-4175 fax
 dgr.com

PLAT OF LOT 1 OF
WILES ADDITION
 TO THE CITY OF HERMOSA,
 CUSTER COUNTY, SOUTH DAKOTA.
 CONTAINING ±87,778 SF (±2.02 AC)

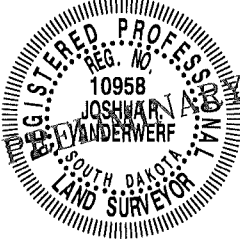
SURVEYOR'S CERTIFICATE

I, JOSHUA R. VANDERWERF, A REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA DO HEREBY CERTIFY THAT ON OR BEFORE MAY 10, 2021, I HAVE SURVEYED A PORTION OF THE N1/2 NE1/4 NE1/4 SE1/4 AND THE E1/2 NE1/4 NW1/4 NE1/4 SE1/4, OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 8 EAST, OF THE BLACK HILLS MERIDIAN, CUSTER COUNTY, SOUTH DAKOTA.

THE SAME SHALL HEREAFTER BE KNOWN AND DESCRIBED AS LOT 1 OF WILES ADDITION TO THE CITY OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA.

I FURTHER CERTIFY THAT THE ABOVE PLAT CORRECTLY REPRESENTS THE SAME TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT THIS SURVEY WAS PERFORMED AT THE REQUEST AND UNDER THE DIRECTION OF THE OWNERS FOR THE PURPOSE OF TRANSFER.

DATED THIS 18TH DAY OF MAY, 2021.



 JOSHUA R. VANDERWERF LS REG. NO. 10958

OWNER'S CERTIFICATE

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL LAND INCLUDED IN THE ABOVE PLAT AND THAT SAID PLAT HAS BEEN MADE AT OUR REQUEST AND IN ACCORDANCE WITH OUR INSTRUCTIONS FOR THE PURPOSE OF TRANSFER, AND THAT THE DEVELOPMENT OF THIS LAND SHALL CONFORM TO ALL EXISTING APPLICABLE ZONING, SUBDIVISION AND EROSION AND SEDIMENT CONTROL REGULATIONS.

WE HEREBY DEDICATE TO THE PUBLIC FOR PUBLIC USE FOREVER, THE STREETS, ROADS, ALLEYS AND PARKS AND PUBLIC GROUNDS, IF ANY, AS SHOWN ON SAID PLAT, INCLUDING ALL SEWERS, CULVERTS, BRIDGES, WATER DISTRIBUTION LINES, SIDEWALKS AND OTHER IMPROVEMENTS ON OR UNDER THE STREETS, ROADS, ALLEYS, PARKS AND PUBLIC GROUNDS, WHETHER SUCH IMPROVEMENTS ARE SHOWN OR NOT. WE ALSO HEREBY GRANT EASEMENTS TO RUN WITH THE LAND FOR WATER, DRAINAGE, SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER PUBLIC UTILITY LINES OR SERVICES UNDER, ON OR OVER THOSE STRIPS OF LAND DESIGNATED HEREON AS EASEMENTS.

WE FURTHER GRANT AND CERTIFY THIS MUTUAL ACCESS EASEMENT IS FOR ACCESS TO THE ADJUTING PROPERTY, THE OWNER, THEIR LESSEES AND ASSIGNEES SHALL MAINTAIN THE EASEMENT AREA. THEY SHALL AT THEIR OWN EXPENSE KEEP THE EASEMENT AREA IN GOOD REPAIR AND MAINTENANCE AND CLEAR OF SNOW AND OTHER OBSTRUCTIONS. NO IMPROVEMENTS OF ANY KIND MAY BE ERRECTED WITHIN THE EASEMENT AREA WHICH MIGHT INTERFERE IN ANY WAY WITH THE PROPER MAINTENANCE, USE, REPAIR, RECONSTRUCTION AND PATROLLING OF THE MUTUAL ACCESS EASEMENT. THIS COVENANT SHALL RUN WITH THE LAND.

DATED THIS _____ DAY OF _____, 2021

 WILES REAL ESTATE, LLC

STATE OF SOUTH DAKOTA)
)SS
 COUNTY OF _____)

ON THIS _____ DAY OF _____, 2021, BEFORE ME THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED WILES REAL ESTATE, LLC, WHO ACKNOWLEDGED THEMSELVES TO BE THE OWNERS, AND AS SAID OWNERS EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED.

IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL.

 NOTARY PUBLIC STATE OF SOUTH DAKOTA
 MY COMMISSION EXPIRES: _____

RESOLUTION OF BOARD OF TRUSTEES

WHEREAS THERE HAS BEEN PRESENTED TO THE BOARD OF TRUSTEES OF THE TOWN, SOUTH DAKOTA, THE WITHIN PLAT OF THE ABOVE DESCRIBED LANDS, AND IT APPEARING TO THIS BOARD THAT:

- A. THE SYSTEM OF STREETS CONFORMS TO THE SYSTEM OF STREETS OF EXISTING PLATS AND SECTION LINES OF THE TOWN;
- B. ADEQUATE PROVISION IS MADE FOR ACCESS TO ADJACENT UNPLATTED LANDS BY PUBLIC DEDICATION OR SECTION LINE WHEN PHYSICALLY ACCESSIBLE;
- C. ALL PROVISIONS OF THE TOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH;
- D. ALL TAXES AND SPECIAL ASSESSMENTS UPON THE PROPERTY HAVE BEEN FULLY PAID; AND
- E. THE PLAT AND SURVEY HAVE BEEN LAWFULLY EXECUTED,

NOW THEREFORE, BE RESOLVED THAT THE PLAT IS HEREBY APPROVED IN ALL RESPECTS.

DATED THIS _____ DAY OF _____, 2021.

 CHAIRPERSON OF THE BOARD

 MUNICIPAL FINANCE OFFICER
 HERMOSA, SOUTH DAKOTA

STATE OF SOUTH DAKOTA)
)SS
 COUNTY OF CUSTER)

I, THE UNDERSIGNED, THE DULY APPOINTED QUALIFIED AND ACTING MUNICIPAL FINANCE OFFICER OF THE CITY OF HERMOSA, SOUTH DAKOTA HEREBY CERTIFY THAT THE ABOVE RESOLUTION IS A TRUE AND CORRECT COPY OF THE RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF HERMOSA, SOUTH DAKOTA AT A MEETING HELD ON THE _____ DAY OF _____, 2021.

WITNESS MY HAND AS MUNICIPAL FINANCE OFFICER AND THE OFFICIAL SEAL OF THE CITY OF HERMOSA, SOUTH DAKOTA.

 MUNICIPAL FINANCE OFFICER
 HERMOSA, SOUTH DAKOTA

CERTIFICATE OF HIGHWAY AUTHORITY

I, _____ AGENT FOR THE HERMOSA STREET AUTHORITY, DO CERTIFY THAT THIS PLAT HAS BEEN APPROVED BY ME OR MY AUTHORIZED AGENT APPROVED THIS _____ DAY OF _____, 2021.

 AUTHORIZED STREET AUTHORITY
 CITY OF HERMOSA

TREASURER'S CERTIFICATE

I, THE UNDERSIGNED, COUNTY TREASURER FOR CUSTER COUNTY, SOUTH DAKOTA, DO HEREBY CERTIFY THAT ALL TAXES WHICH ARE LIENS UPON ANY LAND INCLUDED IN THE ABOVE AND FOREGOING PLAT AS SHOWN BY THE RECORDS OF MY OFFICE HAVE BEEN PAID IN FULL.

DATED THIS _____ DAY OF _____, 2021.

 TREASURER
 CUSTER COUNTY, SOUTH DAKOTA

DIRECTOR OF EQUALIZATION

I, THE UNDERSIGNED, COUNTY DIRECTOR OF EQUALIZATION FOR CUSTER COUNTY, SOUTH DAKOTA DO HEREBY CERTIFY THAT A COPY OF THE ABOVE PLAT HAS BEEN FILED AT MY OFFICE.

DATED THIS _____ DAY OF _____, 2021.

 DIRECTOR OF EQUALIZATION
 CUSTER COUNTY, SOUTH DAKOTA

REGISTER OF DEEDS

FILED FOR RECORD THIS _____ DAY OF _____, 2021, AT _____ M.

AND RECORDED IN BOOK _____ OF PLATS ON PAGE _____

 REGISTER OF DEEDS
 CUSTER COUNTY, SOUTH DAKOTA

P:\0671\16\571016\WMS\PLATS AND EASEMENTS\21016 - PLATING



PREPARED BY:
 JOSHUA VANDERWERF, LS
 DGR ENGINEERING
 2909 EAST 57TH STREET, SUITE 101
 SIOUX FALLS, SD 57108-4506
 TELEPHONE: (605) 339-4157

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094, E-mail: townhrmsa@custercountysd.com

SUBDIVISION PLAT APPLICATION

Sketch Plan _____ Preliminary Plan _____ Final Plat X

Date: 5-21-21

Permit # 2021-16

Receipt # _____	Cash _____	Check # <u>3073</u>	Amount <u>75.00</u>
-----------------	------------	---------------------	---------------------

Applicant:

Name: Wiles Rea Estate, LLC
Address: 24547 SD Hwy 79
City, State, Zip: Hermosa, SD 57744
Phone & Email: 605-255-5500
Sign & Date: 5-21-21

Other Owners:

Name: _____
Address: _____
City, State, Zip: _____
Phone & Email: _____
Sign & Date: _____

Agent:

Name: _____
Address: _____
City, State, Zip: _____
Phone & Email: _____
Sign & Date: _____

Name: _____
Address: _____
City, State, Zip: _____
Phone & Email: _____
Sign & Date: _____

Surveyor/Engineer:

Name: Joshua Vanderwerf / DGR Engineering
Address: 2909 E. 57th Street
City, State, Zip: Sioux Falls, SD 57108
Phone & Email: 605-339-4157
Registration Number: 10958
Sign & Date: 5-21-21

Name: _____
Address: _____
City, State, Zip: _____
Phone & Email: _____
Sign & Date: _____

Current Legal Description:

Subdivision/H.E.S./M.S. Title: N1/2 NE1/4 NE1/4 SE1/4 and the E1/2 NW1/4 NE1/4 SE1/4 of Section 30, T2S, R8E BHM, Custer County
Secondary Title/Description: _____
Aliquot Location: _____ Total Acres: 2.02
Township: 2 South Range: 8 East Section(s): 30 Book: _____ Page: _____

Proposed Legal Description:

Primary Title (Subdivision Name): Wiles Addition
Secondary Title: (Description): Lot 1

Does this plat continue to divide an existing subdivision? Yes _____ No X FIRM Panel _____

Will this subdivision require construction of roads or installation of other improvements? _____

What is the intended land use within the subdivision? Residential _____ Commercial X Industrial _____ Mixed Use _____ (Specify on attached plat copy)

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT.

Original Parcel # D19178 Office Use Only

<p>PLANNING AND ZONING COMMISSION</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>Name: _____ Title: _____ Signature: _____ Date: _____ Application Fee: \$75.00 Register of Deeds Fee: \$60.00 Date Paid: _____ Balance Due: _____</p>	<p>HERMOSA BOARD OF TRUSTEES</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>Name: _____ Title: _____ Signature: _____ Date: _____ Date Permit Issued: _____</p>
---	--

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
E-mail: townhrmsa@custercountysd.com
hermosasd.com

FLOOD PLAIN DEVELOPMENT PERMIT APPLICATION INFORMATION

DATE 5-19-21

AES No.:

PERMIT # 2021-16

Receipt # _____	Cash _____	Check # _____	Application Fee <u>\$100.00</u>
-----------------	------------	---------------	---------------------------------

OWNER Hermosa 23124, LLC TELEPHONE 918-749-1880

ADDRESS 3114 E. 81st St. Tulsa, OK 74137

EMAIL Jmabry@rupehelmer.com

CONTRACTOR Rupe Helmer Group, LLC

ADDRESS 3114 E. 81st St. Tulsa, OK 74137

PROJECT LOCATION/DIRECTIONS (BOLD LEGAL) See attached legal description

PROJECT DESCRIPTION

<input type="checkbox"/> Single Family Residential	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Channelization
<input type="checkbox"/> Multi-Family Residential	<input type="checkbox"/> Substantial (>50%) Improvements	<input type="checkbox"/> Fill
<input type="checkbox"/> Manufactured (Mobile) Home	<input type="checkbox"/> Improvements(<50%)	<input type="checkbox"/> Bridge/Culvert
<input checked="" type="checkbox"/> Nonresidential	<input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Levee

Other/Explanations _____

Project Valuation: \$953,523.00

Market Value of Structure: _____

FLOOD HAZARD DATA

Watercourse Name Unnamed tributary of Billover Creek

The project is proposed in the Floodway Zone AE Floodway Fringe _____

Base (100-year flood elevations(s)) at project site 3338

Elevation required for Lowest Floor 3339 NGVD/Floodproofing _____ NGVD

Source Documents: Reports/Maps Firm Map No. 46033C0200F dated 01/06/2012, revised to reflect LOMR effective 11/13/2014.

Parcel # 011918

FOR OFFICE USE ONLY

(Lot #, Subdivision, City/Town, State)

COMPLETE IF APPLICABLE TO THIS PROJECT

Does this project involve the placement of an external fuel storage tank? No
Compliance of FEMA regulation CFR44 60.3, (a) (3) requires that all liquid storage tanks be properly anchored.

Does this project involve the placement of a manufactured/mobile home? No
Compliance of FEMA regulation CFR44 60.3, (b) (8) requires that all manufactured/mobile homes be properly anchored.

SM
Initial

In accepting this permit, the applicant understands that all conditions of the permit must be met, all other regulatory permits have been obtained, an elevation certificate will be provided once project is completed, and agrees to allow on-site inspections, as needed during or after construction, to determine compliance with this permit.

SM
Initial

The applicant also acknowledges that he/she is aware of the risks associated with the above development within the Flood Plain and has evaluated that risk.

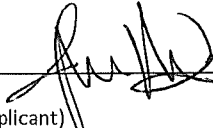
SM
Initial

The applicant acknowledges that Flood Insurance is available to anyone in an eligible community, which Hermosa is eligible, whether in the Flood Plain or Not.

SM
Initial

It's the Applicants responsibility is to provide copies of the approved documents to all architect(s), engineer(s), general contractor(s) and any other interested parties as are appropriate for each job.

Accepted this 18 day of May year 2021.



(Applicant)

PROPOSAL REVIEW CHECKLIST

- Site development plan is complete and depicts flood hazard.
- Engineering data is provided for proposed map and floodway revision.
- Floodway Certification and data document no increase in flood heights.
- Subdivision proposal minimizes flood damage and protects utilities.
- Lowest floor elevation is 1' above the BFE.
- Manufactured homes meet elevation and anchoring requirements.
- A Floodproofing Certificate certifies floodproofing designs.

Other: _____

PERMIT ACTION

_____ PERMIT APPROVED WITH CONDITIONS: The information submitted for the proposed project was reviewed and is in compliance with approved floodplain management standards (site development plans are on file). (Building Site Plan)

_____ PERMIT DENIED: The proposed project does not meet approved floodplain management standards (explanation is on file).

_____ VARIANCE GRANTED: A variance was granted from the base (100-year) flood elevations established by FEMA consistent with variance requirements of NFIP regulations Part 60.6 (variance action documentation is on file).

Recommendation by Authorized Staff:

Floodplain Administrator's Signature

Date

Comments: See Conditions of Approval – page 4 of 4

COMPLIANCE DOCUMENTATION

_____ MAP REVISION DATA: Certified documentation by a registered professional engineer of as-built conditions for floodplain alterations were received and submitted to FEMA for a flood insurance map revision.

_____ FILL CERTIFICATE: A community official certified the elevation, compaction, slope, and slope protection for all fill placed in the floodplain consistent with NFIP regulations Pare 65.5 for map revisions.

_____ ELEVATION AND FLOODPROOFING CERTIFICATES: The as-built elevation of the building's lowest floor was certified as _____ NGVD; or the building's floodproofings level was certified as _____ NGVD by a registered professional engineer or licensed surveyor and is on file.

_____ CERTIFICATE OF OCCUPANCY OR COMPLIANCE ISSUED ON _____

Date

APPROVAL CONDITIONS

(Lot #, Subdivision, City/Town, State)

NOTES:

1. Lowest Floor must be 1-foot above the BFE per local ordinance.
2. An elevation certificate will be required following construction to verify compliance.
3. All fill must be placed in accordance with FEMA requirements and cannot be placed to raise natural grade above BFE.
4. (Stick Built) Recommend that the enclosed AREA meet FEMA defined crawl space requirements. (See Tech Bulletin 11-01, Fig. 3)
5. (Stick Built) Enclosed space below the BFE must be vented in accordance with FEMA requirements.
6. No Mechanical Equipment is allowed below BFE.
7. Lowest floor of attached garage must be above the BFE or will require venting as an enclosed space.
8. Detached Garage is an accessory building and cannot be used for living space and the use cannot be converted at a later time.
9. (Modular) Skirting on modular must meet FEMA definitions of Breakaway Skirting or the enclosed space under the modular must meet FEMA requirements of an Enclosed Area, (Vented).
10. (Modular) Must be Anchored in accordance with FEMA requirements

It is the Owner's and Builder's responsibility to insure ALL FEMA requirements are understood and complied with before beginning construction in the flood plain.

The BFE is calculated but may change if FEMA reviews – this document provides no guarantee that the calculated BFE will match FEMA's determined BFE.

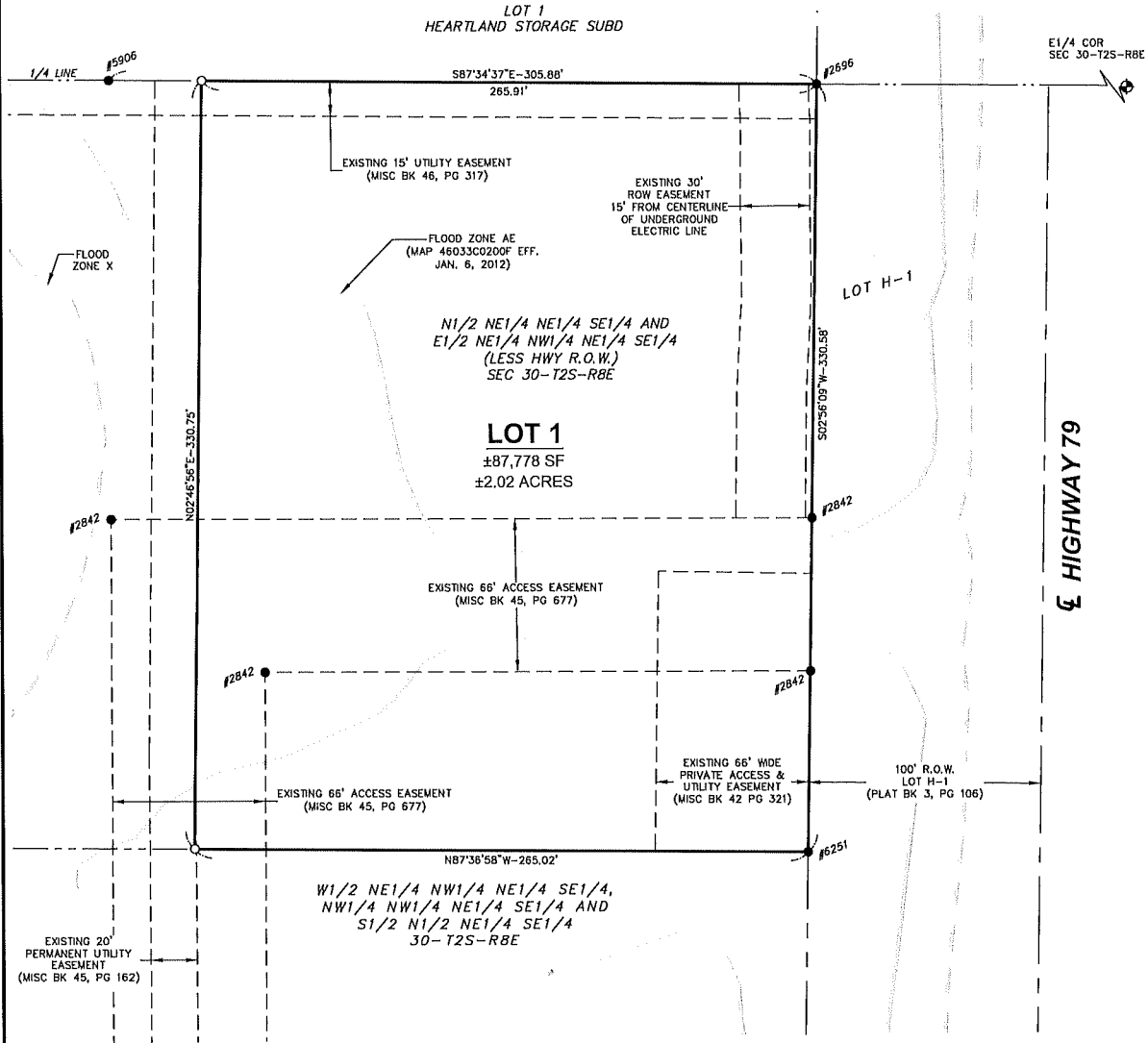
Flood Insurance can be purchased on this structure and should be evaluated by the Owner.



Alternate ID r/a
 Class Commercial
 Acreage 4.67

Owner Address WILES REAL ESTATE, LLC
 PO BOX 341
 HERMOSA, SD 57744-0341

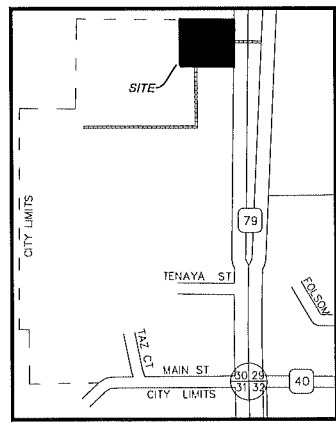
PLAT OF LOT 1 OF
WILES ADDITION
 TO THE CITY OF HERMOSA,
 CUSTER COUNTY, SOUTH DAKOTA.
 CONTAINING ±87,778 SF (±2.02 AC)



EXISTING 20' PERMANENT UTILITY EASEMENT (MISC BK 45, PG 162)



- LEGEND**
- - - - - EASEMENT LINE
 - PROPERTY LINE
 - RIGHT OF WAY LINE
 - SECTION LINE
 - QUARTER LINE
 - SIXTEENTH LINE
 - FOUND MONUMENT
 - SET 5/8" X 18" CAPPED REBAR
 - ⊕ FOUND SECTION CORNER



LOCATION MAP
 SECTION CITY OF HERMOSA, SD



- GENERAL NOTES:**
1. BASIS OF BEARINGS FOR THIS DRAWING IS NAD83, SOUTH DAKOTA SOUTH, US FOOT.
 2. RESEARCH OF EXISTING EASEMENTS OF RECORD WAS NOT PERFORMED.

DGR ENGINEERING
 2909 E. 57TH STREET, SUITE 101
 SIOUX FALLS, SD 57108
 (605) 339-4157 office
 (605) 339-4175 fax
 dgr.com

PLAT OF LOT 1 OF
WILES ADDITION
 TO THE CITY OF HERMOSA,
 CUSTER COUNTY, SOUTH DAKOTA.
 CONTAINING ±87,778 SF (±2.02 AC)

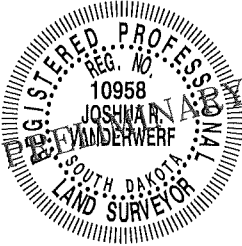
SURVEYOR'S CERTIFICATE

I, JOSHUA R. VANDERWERF, A REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA DO HEREBY CERTIFY THAT ON OR BEFORE MAY 10, 2021, I HAVE SURVEYED A PORTION OF THE N1/2 NE1/4 NE1/4 SE1/4 AND THE E1/2 NE1/4 NW1/4 NE1/4 SE1/4, OF SECTION 30, TOWNSHIP 2 SOUTH, RANGE 8 EAST, OF THE BLACK HILLS MERIDIAN, CUSTER COUNTY, SOUTH DAKOTA.

THE SAME SHALL HEREAFTER BE KNOWN AND DESCRIBED AS LOT 1 OF WILES ADDITION TO THE CITY OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA.

I FURTHER CERTIFY THAT THE ABOVE PLAT CORRECTLY REPRESENTS THE SAME TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT THIS SURVEY WAS PERFORMED AT THE REQUEST AND UNDER THE DIRECTION OF THE OWNERS FOR THE PURPOSE OF TRANSFER.

DATED THIS 18TH DAY OF MAY, 2021.



JOSHUA R. VANDERWERF LS REG. NO. 10958

OWNER'S CERTIFICATE

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL LAND INCLUDED IN THE ABOVE PLAT AND THAT SAID PLAT HAS BEEN MADE AT OUR REQUEST AND IN ACCORDANCE WITH OUR INSTRUCTIONS FOR THE PURPOSE OF TRANSFER AND THAT THE DEVELOPMENT OF THIS LAND SHALL CONFORM TO ALL EXISTING APPLICABLE ZONING, SUBDIVISION AND EROSION AND SEDIMENT CONTROL REGULATIONS.

WE HEREBY DEDICATE TO THE PUBLIC FOR PUBLIC USE FOREVER, THE STREETS, ROADS, ALLEYS AND PARKS AND PUBLIC GROUNDS, IF ANY, AS SHOWN ON SAID PLAT, INCLUDING ALL SEWERS, CULVERTS, BRIDGES, WATER DISTRIBUTION LINES, SIDEWALKS AND OTHER IMPROVEMENTS ON OR UNDER THE STREETS, ROADS, ALLEYS, PARKS AND PUBLIC GROUNDS, WHETHER SUCH IMPROVEMENTS ARE SHOWN OR NOT. WE ALSO HEREBY GRANT EASEMENTS TO RUN WITH THE LAND FOR WATER, DRAINAGE, SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER PUBLIC UTILITY LINES OR SERVICES UNDER, ON OR OVER THOSE STRIPS OF LAND DESIGNATED HEREON AS EASEMENTS.

WE FURTHER GRANT AND CERTIFY THIS MUTUAL ACCESS EASEMENT IS FOR ACCESS TO THE ADJUTING PROPERTY, THE OWNER, THEIR LESSEES AND ASSIGNEES SHALL MAINTAIN THE EASEMENT AREA. THEY SHALL AT THEIR OWN EXPENSE KEEP THE EASEMENT AREA IN GOOD REPAIR AND MAINTENANCE AND CLEAR OF SNOW AND OTHER OBSTRUCTIONS. NO IMPROVEMENTS OF ANY KIND MAY BE ERRECTED WITHIN THE EASEMENT AREA WHICH MIGHT INTERFERE IN ANY WAY WITH THE PROPER MAINTENANCE, USE, REPAIR, RECONSTRUCTION AND PATROLLING OF THE MUTUAL ACCESS EASEMENT. THIS COVENANT SHALL RUN WITH THE LAND.

DATED THIS _____ DAY OF _____, 2021

WILES REAL ESTATE, LLC

STATE OF SOUTH DAKOTA)
)ss
 COUNTY OF _____)

ON THIS _____ DAY OF _____, 2021, BEFORE ME THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED WILES REAL ESTATE, LLC, WHO ACKNOWLEDGED THEMSELVES TO BE THE OWNERS, AND AS SAID OWNERS EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED.

IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC STATE OF SOUTH DAKOTA
 MY COMMISSION EXPIRES:

RESOLUTION OF BOARD OF TRUSTEES

WHEREAS THERE HAS BEEN PRESENTED TO THE BOARD OF TRUSTEES OF THE TOWN, SOUTH DAKOTA, THE WITHIN PLAT OF THE ABOVE DESCRIBED LANDS, AND IT APPEARING TO THIS BOARD THAT:

- A. THE SYSTEM OF STREETS CONFORMS TO THE SYSTEM OF STREETS OF EXISTING PLATS AND SECTION LINES OF THE TOWN;
- B. ADEQUATE PROVISION IS MADE FOR ACCESS TO ADJACENT UNPLATTED LANDS BY PUBLIC DEDICATION OR SECTION LINE WHEN PHYSICALLY ACCESSIBLE;
- C. ALL PROVISIONS OF THE TOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH;
- D. ALL TAXES AND SPECIAL ASSESSMENTS UPON THE PROPERTY HAVE BEEN FULLY PAID;
- E. THE PLAT AND SURVEY HAVE BEEN LAWFULLY EXECUTED,

NOW THEREFORE, BE RESOLVED THAT THE PLAT IS HEREBY APPROVED IN ALL RESPECTS.

DATED THIS _____ DAY OF _____, 2021.

 MAYOR OF HERMOSA, SOUTH DAKOTA

 MUNICIPAL FINANCE OFFICER
 HERMOSA, SOUTH DAKOTA

STATE OF SOUTH DAKOTA)
)ss
 COUNTY OF CUSTER)

I, THE UNDERSIGNED, THE DULY APPOINTED QUALIFIED AND ACTING MUNICIPAL FINANCE OFFICER OF THE CITY OF HERMOSA, SOUTH DAKOTA HEREBY CERTIFY THAT THE ABOVE RESOLUTION IS A TRUE AND CORRECT COPY OF THE RESOLUTION ADOPTED BY THE CITY COUNCIL OF THE CITY OF HERMOSA, SOUTH DAKOTA AT A MEETING HELD ON THE _____ DAY OF _____, 2021.

WITNESS MY HAND AS MUNICIPAL FINANCE OFFICER AND THE OFFICIAL SEAL OF THE CITY OF HERMOSA, SOUTH DAKOTA.

 MUNICIPAL FINANCE OFFICER
 HERMOSA, SOUTH DAKOTA

CERTIFICATE OF HIGHWAY AUTHORITY

I, _____, AGENT FOR THE HERMOSA STREET AUTHORITY, DO CERTIFY THAT THIS PLAT HAS BEEN APPROVED BY ME OR MY AUTHORIZED AGENT APPROVED THIS _____ DAY OF _____, 2021.

 AUTHORIZED STREET AUTHORITY
 CITY OF HERMOSA

TREASURER'S CERTIFICATE

I, THE UNDERSIGNED, COUNTY TREASURER FOR CUSTER COUNTY, SOUTH DAKOTA, DO HEREBY CERTIFY THAT ALL TAXES WHICH ARE LEVIED UPON ANY LAND INCLUDED IN THE ABOVE AND FOREGOING PLAT AS SHOWN BY THE RECORDS OF MY OFFICE HAVE BEEN PAID IN FULL.

DATED THIS _____ DAY OF _____, 2021.

 TREASURER
 CUSTER COUNTY, SOUTH DAKOTA

DIRECTOR OF EQUALIZATION

I, THE UNDERSIGNED, COUNTY DIRECTOR OF EQUALIZATION FOR CUSTER COUNTY, SOUTH DAKOTA DO HEREBY CERTIFY THAT A COPY OF THE ABOVE PLAT HAS BEEN FILED AT MY OFFICE.

DATED THIS _____ DAY OF _____, 2021.

 DIRECTOR OF EQUALIZATION
 CUSTER COUNTY, SOUTH DAKOTA

REGISTER OF DEEDS

FILED FOR RECORD THIS _____ DAY OF _____, 2021, AT _____ M.

AND RECORDED IN BOOK _____ OF PLATS ON PAGE _____

 REGISTER OF DEEDS
 CUSTER COUNTY, SOUTH DAKOTA

PLATS 01/01/2018 TO 06/30/2018 - PLATTING



PREPARED BY:
 JOSHUA VANDERWERF, LS
 DGR ENGINEERING
 2909 EAST 57TH STREET, SUITE 101
 SIOUX FALLS, SD 57108-4506
 TELEPHONE: (605) 339-4157

**CLAYCOMB ENGINEERING
815 2nd Street
PO Box 57
FAIRBURN, SD 57738**

(605)255-4049
elclaycomb@gmail.com

June 21, 2021

TOWN OF HERMOSA

FLOODPLAIN ADMINISTRATOR STAFF REPORT: Floodplain Development Permit for construction of Dollar General Store.

Physical Conditions

The site for the proposed Dollar General Store is in the flood hazard AE Zone of Rock N R Drainage on the current Flood Insurance Rate Map. A copy of a map from the County GIS shows the proposed limits and the existing AE Flood Hazard Zone. The existing ground elevation ranges from slightly above to about 3 feet below the Base Flood Elevation (BFE) of 3338 NAVD88. The hazard zone is essentially a backwater area controlled by the amount of flow that can pass through the culverts beneath Highway 79. There is essentially no velocity of flow and therefore very little probability of scour of fill placed to raise the building pad above the BFE.

Proposed Construction

The site plan calls for placement of fill beneath the building to raise the building pad to elevation 3339 which is 1 foot above the BFE. The finished floor elevation of the building will be 3340, which is 2 feet above the BFE.

Hydraulic Analysis of the Proposed Construction

The engineer for the project has submitted calculations showing that the fill placed beneath the building will be offset by excavation to create a detention pond. The purpose of the detention pond is to improve the quality of stormwater runoff from the site and hold the developed runoff to the pre-development level.

Ordinance Provisions

The Flood Damage Prevention Ordinance requires that the finished floor of a building be at least 1 foot above the BFE. The proposed Finished Floor Elevation is 2 feet above the BFE.

Staff Report, Dollar Gener Store
June 21, 2021

Letter of Map Revision-Fill (LOMR-F)

The project will also include a subdivision to split off the parcel that will be purchased for the Dollar General. The Flood Damage Prevention Ordinance includes provisions for subdivisions. The grading on the Dollar General site will modify the AE Zone limits as shown on the attached copy of the site plan for the Dollar General. This will be adequate to allow the Town to issue building and grading permits, but will not legally move the AE Zone to coincide with the grading. The developer will need to submit the necessary forms, data, and fees to FEMA to obtain a Letter of Map Revision-Fill to legally move the Zone Boundary. I have added a requirement that the developer obtain the Letter of Map Revision-Fill. A LOMR-F can only be obtained based on as-built conditions. Therefor construction should be allowed to continue with the provision that the LOMR-F be submitted upon completion

General Comments about the Application

The construction plans submitted along with the Floodplain Development Permit Application are very complete. I have added the provision that the applicant is responsible for review costs which was not on the form submitted by the applicant. I have also struck out the statement in the Approval Conditions, page 4 of 4, that fill cannot be placed to raise natural grade above BFE. This statement is not part of the Flood Damage Prevention Ordinance, but has been on the printed form for as long as I have worked with the Town.

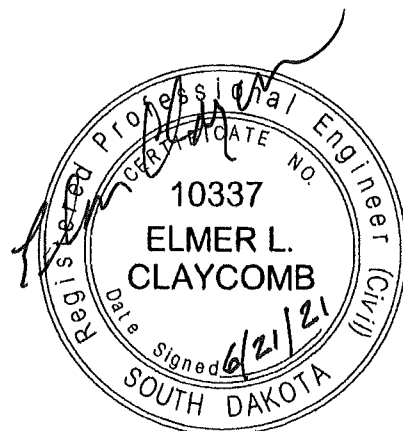
Recommendations

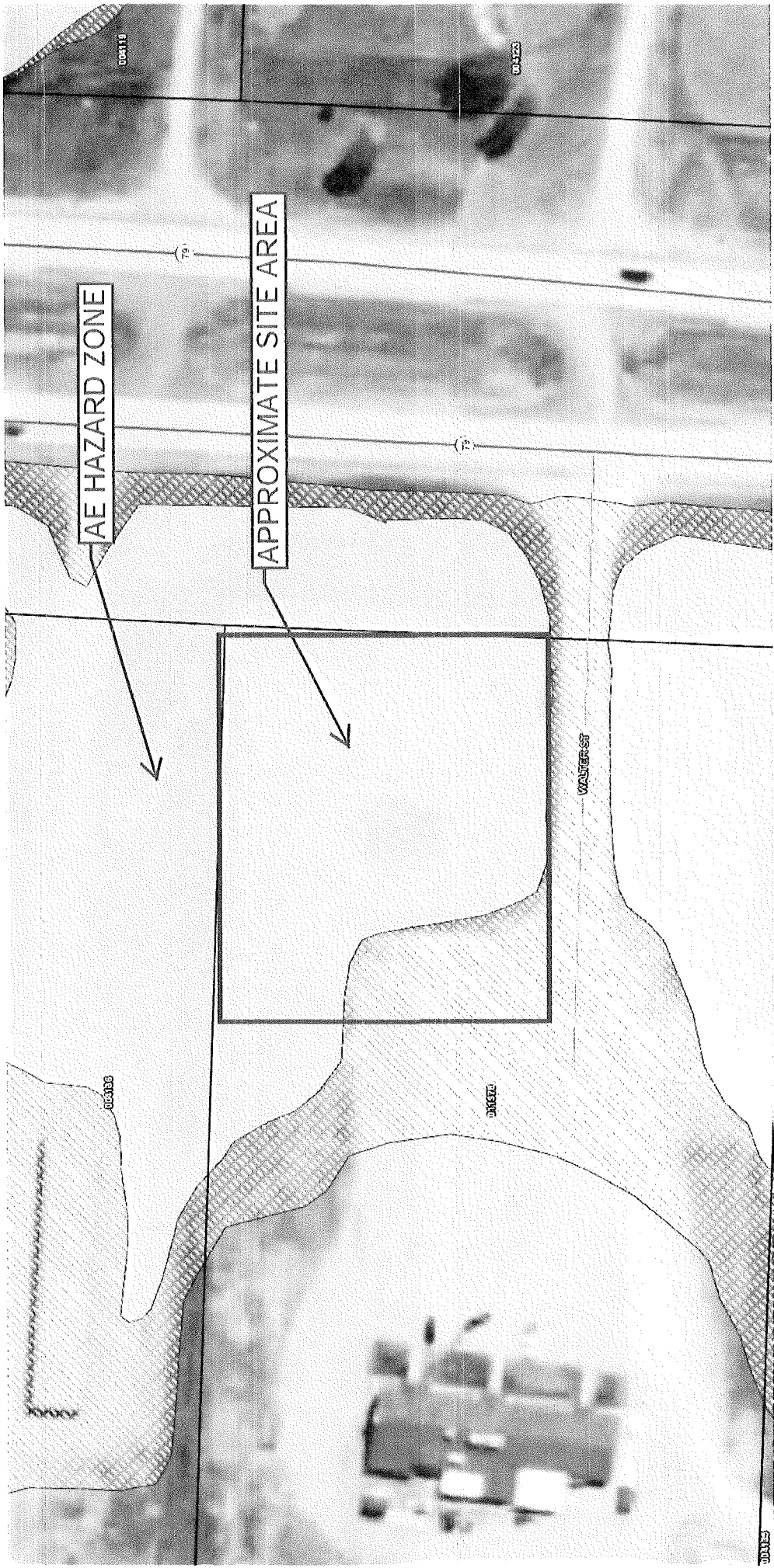
The Floodplain Development Permit is recommended for approval with the condition that the applicant obtain a LOMR-F.

Elmer Claycomb, P.E.
Floodplain Administrator

Attachments:

- Beacon Map Showing Location of Project
- Dollar General site plan showing existing AE Zone and the zone after grading
- Approved Permit Application





AE HAZARD ZONE

APPROXIMATE SITE AREA

WATER

DITCH

00007

000119

00123

00006

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
E-mail: townhrmsa@custercountysd.com
hermosasd.com

FLOOD PLAIN DEVELOPMENT PERMIT APPLICATION INFORMATION

DATE 5-19-21

AES No.:
PERMIT # 2021-16

Receipt #	Cash	Check #	Application Fee \$100.00
-----------	------	---------	--------------------------

Please be advised all permits are reviewed by the town engineer; those expenses will be included with the permit fees and applicant will be responsible for those expenses.

OWNER Hermosa 23124, LLC TELEPHONE 918-749-1880

ADDRESS 3114 E. 81st St. Tulsa, OK 74137

EMAIL Jmabry@rupehelmer.com

CONTRACTOR Rupe Helmer Group, LLC

ADDRESS 3114 E. 81st St. Tulsa, OK 74137

PROJECT LOCATION/DIRECTIONS (BOLD LEGAL) See attached legal description

PROJECT DESCRIPTION

<input type="checkbox"/> Single Family Residential	<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Channelization
<input type="checkbox"/> Multi-Family Residential	<input type="checkbox"/> Substantial (>50%) Improvements	<input type="checkbox"/> Fill
<input type="checkbox"/> Manufactured (Mobile) Home	<input type="checkbox"/> Improvements(<50%)	<input type="checkbox"/> Bridge/Culvert
<input checked="" type="checkbox"/> Nonresidential	<input type="checkbox"/> Rehabilitation	<input type="checkbox"/> Levee

Other/Explanations _____

Project Valuation: \$953,523.00 Market Value of Structure: _____

FLOOD HAZARD DATA

Watercourse Name: Unnamed tributary of Billover Creek **ROCK N R TRIBUTARY**

The project is proposed in the Floodway Zone AE Floodway Fringe _____

Base (100-year flood elevations(s)) at project site 3338 **NAVD88**

Elevation required for Lowest Floor 3339 **NAVD88** /Floodproofing _____ NGVD

Source Documents: Reports/Maps Firm Map No. 46033C0200F dated 01/06/2012, revised to reflect LOMR effective 11/13/2014.

Parcel # 011918
FOR OFFICE USE ONLY

(Lot #, Subdivision, City/Town, State)

COMPLETE IF APPLICABLE TO THIS PROJECT

Does this project involve the placement of an external fuel storage tank? No
Compliance of FEMA regulation CFR44 60.3, (a) (3) requires that all liquid storage tanks be properly anchored.

Does this project involve the placement of a manufactured/mobile home? No
Compliance of FEMA regulation CFR44 60.3, (b) (8) requires that all manufactured/mobile homes be properly anchored.

SM
Initial

In accepting this permit, the applicant understands that all conditions of the permit must be met, all other regulatory permits have been obtained, an elevation certificate will be provided once project is completed, and agrees to allow on-site inspections, as needed during or after construction, to determine compliance with this permit.

SM
Initial

The applicant also acknowledges that he/she is aware of the risks associated with the above development within the Flood Plain and has evaluated that risk.

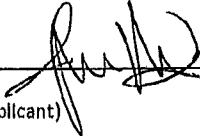
SM
Initial

The applicant acknowledges that Flood Insurance is available to anyone in an eligible community, which Hermosa is eligible, whether in the Flood Plain or Not.

SM
Initial

It's the Applicant's responsibility to provide copies of the approved documents to all architect(s), engineer(s), general contractor(s) and any other interested parties as are appropriate for each job.

Accepted this 18 day of May year 2021.


(Applicant)

PROPOSAL REVIEW CHECKLIST

- Site development plan is complete and depicts flood hazard.
- Engineering data is provided for proposed map and floodway revision.
- Floodway Certification and data document no increase in flood heights.
- Subdivision proposal minimizes flood damage and protects utilities.
- Lowest floor elevation is 1' above the BFE.
- Manufactured homes meet elevation and anchoring requirements.
- A Floodproofing Certificate certifies floodproofing designs.

Other: _____

PERMIT ACTION

- PERMIT APPROVED WITH CONDITIONS: The information submitted for the proposed project was reviewed and is in compliance with approved floodplain management standards (site development plans are on file). (Building Site Plan)
- _____ PERMIT DENIED: The proposed project does not meet approved floodplain management standards (explanation is on file).
- _____ VARIANCE GRANTED: A variance was granted from the base (100-year) flood elevations established by FEMA consistent with variance requirements of NFIP regulations Part 60.6 (variance action documentation is on file).

Recommendation by Authorized Staff:


Floodplain Administrator's Signature

6/21/21
Date

Comments: See Conditions of Approval – page 4 of 4

COMPLIANCE DOCUMENTATION

_____ MAP REVISION DATA: Certified documentation by a registered professional engineer of as-built conditions for floodplain alterations were received and submitted to FEMA for a flood insurance map revision.

_____ FILL CERTIFICATE: A community official certified the elevation, compaction, slope, and slope protection for all fill placed in the floodplain consistent with NFIP regulations Part 65.5 for map revisions.

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_____ CERTIFICATE OF OCCUPANCY OR COMPLIANCE ISSUED ON _____

Date

APPROVAL CONDITIONS

(Lot #, Subdivision, City/Town, State)

NOTES:

1. Lowest Floor must be 1-foot above the BFE per local ordinance.
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6. No Mechanical Equipment is allowed below BFE.
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8. Detached Garage is an accessory building and cannot be used for living space and the use cannot be converted at a later time.
9. (Modular) Skirting on modular must meet FEMA definitions of Breakaway Skirting or the enclosed space under the modular must meet FEMA requirements of an Enclosed Area, (Vented).
10. (Modular) Must be Anchored in accordance with FEMA requirements

Applicant shall obtain a Letter of Map Revision-Fill from FEMA

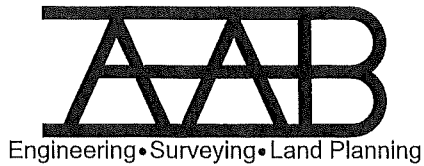
It is the Owner's and Builder's responsibility to insure ALL FEMA requirements are understood and complied with before beginning construction in the flood plain.

The BFE is calculated but may change if FEMA reviews -- this document provides no guarantee that the calculated BFE will match FEMA's determined BFE.

Flood Insurance can be purchased on this structure and should be evaluated by the Owner.

HERMOSA, SD LEGAL DESCRIPTION:

N1/2 NE1/4 NE1/4 SE/4 AND THE E1/2 NE1/4 NW1/4 NE1/4 SE1/4 OF SECTION 30, TOWNSHIP 02 SOUTH, RANGE 08 EAST, OF THE BLACK HILLS MERIDIAN, TOWN OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA, LESS LOT H-1 AS SHOWN ON PLAT FILED AT BOOK 3 OF PLATS, PAGE 106.



AAB Engineering, LLC
PO Box 2136
Sand Springs, OK 74063
Office: 918.514.4283
Fax: 918.514.4288

May 18, 2021

City of Hermosa

Re: Dollar General Parking requirements

Due to a limited site area and existing floodplain, Hermosa 23124, LLC requests to reduce the parking from 73 spaces required by code to 30 spaces for the construction of a Dollar General on Highway 79 approximately 0.35 miles north of the intersection of Tenaya Street and Highway 79. Dollar General is a historically low volume use that focuses on convenience instead of parking lot turnover. According to the ITE Trip Generation Manual, there's only 79 PM Peak Hour trips which equates to 39 PM peak hour vehicles. Statistically, these vehicles will not occupy the lot at any given time so 73 parking spaces as required by code is excessive for this user even when accounting for employee vehicles. Dollar General has determined 30 spaces are adequate and will meet the needs of staff as well as demands peak shopping.

Respectfully,

A handwritten signature in black ink, appearing to read 'Alan Betchan', written over a horizontal line.

Alan Betchan, P.E.
AAB Engineering, LLC

HERMOSA, SD LEGAL DESCRIPTION:

N1/2 NE1/4 NE1/4 SE/4 AND THE E1/2 NE1/4 NW1/4 NE1/4 SE1/4 OF SECTION 30, TOWNSHIP 02 SOUTH, RANGE 08 EAST, OF THE BLACK HILLS MERIDIAN, TOWN OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA, LESS LOT H-1 AS SHOWN ON PLAT FILED AT BOOK 3 OF PLATS, PAGE 106.

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
E-mail: townhrmsa@custercountysd.com

DIGGING/GRADING PERMIT

DATE 5-19-21

PERMIT # 2021-116

Receipt #	Cash	Check #	Amount <u>35.00</u>
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All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not presume to give authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other local law or ordinance regulating construction or the performance of construction in the Town of Hermosa.

Sketch and/or describe work: (use separate sheet, or attach grading plan)

Will grading operation be located in the floodplain? Yes No

If yes, have ordinance requirements been met? Yes No

Will drainage patterns be altered? Yes No

Will grading operation take place in a geologically hazardous area? Yes No

If yes, have proper precautions been taken? Yes No

Quantity of Grading or Excavation: 2,294 Cubic Yards Area to be disturbed by proposed work: 1.74 acres

Identify types of erosion control to be applied: Silt fence, straw wattles, earth berms and drainage swales

Source/Destination of materials: _____

Provide traffic control per Manual on Uniform Traffic Control Devices.

Hard route: _____

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached? Yes No N/A

This permit will expire one year from date of issuance.

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Name Hermosa 23124, LLC

Lot Address Highway 79, North of Highway 40

Mailing Address 3114 E. 81st St. Tulsa, OK 74137

Email Jmabry@rupehelmer.com

Legal Description See attached legal description

Telephone # 918-749-1880 Cellphone # _____

Relationship to Property: Owner Contractor Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

Signature [Signature] Date 5/19/21

Parcel # 011975
OFFICE USE ONLY

<p>PLANNING AND ZONING COMMISSION</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____</p> <p>TITLE: _____</p> <p>SIGNATURE: _____</p> <p>DATE: _____</p> <p>APPLICATION FEE: \$35.00 DATE PAID: _____</p>	<p>HERMOSA BOARD OF TRUSTEES</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____</p> <p>TITLE: _____</p> <p>SIGNATURE: _____</p> <p>DATE: _____</p> <p>DATE PERMIT ISSUED: _____</p>
---	--

HERMOSA, SD LEGAL DESCRIPTION:

N1/2 NE1/4 NE1/4 SE/4 AND THE E1/2 NE1/4 NW1/4 NE1/4 SE1/4 OF SECTION 30, TOWNSHIP 02 SOUTH, RANGE 08 EAST, OF THE BLACK HILLS MERIDIAN, TOWN OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA, LESS LOT H-1 AS SHOWN ON PLAT FILED AT BOOK 3 OF PLATS, PAGE 106.



DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES
NOTICE OF INTENT (NOI)

to Obtain Coverage Under the SWD General Permit for
Stormwater Discharges Associated with Construction Activities

Submit form to: SD Department of Environment and Natural Resources
Surface Water Quality Program
523 East Capitol Avenue
Pierre, South Dakota 57501
stormwater@state.sd.us
Telephone: 1-800-SDSTORM

ALL QUESTIONS MUST BE ANSWERED COMPLETELY FOR THIS FORM TO BE VALID

I. Site Owner Contact Information:

Company Name: Hermosa 23124, LLC
Primary Contact Person: John Mabry
Mailing Address: 3114 E. 81st St.
City: Tulsa State: OK Zip Code: 74137
Phone Number: 918-749-1880 Email Address: Jmabry@rupehelmer.com
Type of Ownership: Private Federal State Other (Municipal, County, etc.)
(any type not listed previously)

II. Contractor Information:

Will any contractors be responsible for erosion and sediment control practices: Yes No
(A contractor authorization form must be submitted for each contractor that will have day to day responsibility for erosion and sediment control practices. If these contractors have not been identified at the time this NOI is submitted, the contractor authorization form may be submitted after they have been identified, but before they begin construction work.)

III. Engineering Firm Contact Information (if applicable):

Contact Person: AAB Engineering, LLC - Alan Betchan, PE
Contact's Email Address: Alan@aabeng.com

IV. Construction Project Information:

Project Name: Dollar General Store #23124
Physical Project Address or Description of Construction Site Location: Highway 79, approximately 2,450FT North of Highway 40
City: Hermosa State: SD Zip Code: 57744
On-Site Contact Person: Jesse Stockley
Contact's Email Address: Jstockley@rupehelmer.com
Contact's Mailing Address: 3114 E. 81st St.
City: Tulsa State: OK Zip Code: 74137
Phone Number: 918-749-1880 County of Construction Site: Custer
Latitude: 43° 50' 48" N Longitude: 103° 12' 01" W Source (GPS, Google, etc.): Google Earth Pro
Quarter(s): SE Section(s): 30 Township(s): 02S Range(s): 08E

FOR DENR USE ONLY

Permit Number: _____ Date Approved: _____ Approved by: _____

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
E-mail: townhrmsa@custercountysd.com

COMMERCIAL BUILDING / REMODELING PERMIT APPLICATION

(This Building Permit Is Valid For One Year-----Please See Page 2 for Exceptions)

DATE 5-19-21

PERMIT # _____

Receipt # _____ Cash _____ Check # _____ Amount 50⁰⁰

ALL PLANS TO BE PREPARED, SEALED AND SIGNED BY A REGISTERED ENGINEER OF SOUTH DAKOTA!!

Property Owner Names(s): Hermosa 23124, LLC
Mailing Address 3114 E. 81st St.
City Tulsa State OK Zip 74137
Phone # Home 918-749-1880 Work _____
Building address if different than mailing address: _____
Email: Jmabry@rupehelmer.com

LEGAL DESCRIPTION:

Subdivision name: _____ Lot# _____ Block _____ Lot size 2.02 Acres
Zoning District CO Is this property in the Flood Plain? Yes X No _____

CLASS OF WORK TO BE DONE:

New structure X Demolition _____ Remodel _____ Addition _____

Proposed Use of Building: Retail Store

Building Area (Sq. Ft.): 9,100 SQ FT Height: 18.6 FT # of Units: _____

No. of Stories: 1 No. Bathrooms: 2 Deck: _____ Deck Area (Sq. Ft.): _____

TYPE OF USE:

Commercial X Accessory _____ Other _____

CONTRACTOR INFORMATION:

Contractors must all be registered with the Town of Hermosa

General Contractor (Project POC\responsible party): Rupe Helmer Group, LLC Phone: 918-749-1880
Structural Contractor _____ Phone _____
Electrical Contractor _____ Phone _____
Plumbing Contractor _____ Phone _____
Heat/Mechanical _____ Phone _____
Excavation Contractor _____ Phone _____
Landscape Contractor _____ Phone _____

Are there any of the following on site: Hazardous materials YES / NO
Lead paint YES / NO
Asbestos YES / NO

Does the building have a Historical Designation: YES / NO

Are signs to be constructed: YES / NO

(If yes, a detailed drawing and sign permit are required)

Current utilities on site: Gas Water Electricity Municipal Sewer Septic

Proposed utilities: _____

Describe Work: Construction of a Dollar General store

TOTAL COST ESTIMATE OF IMPROVEMENTS: \$ 953,523.00

TOTAL SQUARE FOOTAGE OF PROJECT 87,776 SQ. FT.

Parcel #

011978

OFFICE USE ONLY

Construction Project Information (Continued):

Is this project on Tribal Lands? Yes No

Total area disturbed by the project (in acres): 2.02

Will this project encroach, damage, or destroy one of the historic sites identified at the following websites:

<https://www.nps.gov/subjects/nationalhistoriclandmarks/list-of-nhls-by-state.htm> Yes No

<http://history.sd.gov/Preservation/nationalregisterofhistoricplaces.aspx> Yes No

V. Stormwater Pollution Prevention Plan (SWPPP):

Has the SWPPP been developed as required? Yes No

(The plan must be developed before the NOI is submitted. DENR will not issue coverage before this has been developed.)

VI. Receiving Waters:

Please list all possible waters that may receive a discharge from this site. If discharging to a Municipal Storm Sewer System, indicate which municipality and the ultimate receiving water.

Unnamed Tributary of Billover Creek

VII. Nature of Discharge:

Please include a brief description of the construction project:

Proposed construction of a Dollar General retail store with concrete paving, curb, and gutter.

Will construction dewatering be required? Yes No If yes, please complete section IX also.

VIII. Construction Dates:

Project Start Date (MM/DD/YYYY): 08/10/2021

Estimated Completion Date (MM/DD/YYYY): 12/08/2021

IX. Dewatering Activities (Complete this section if you answered yes in VII):

Date dewatering will commence (MM/DD/YYYY): _____

Date dewatering will end (MM/DD/YYYY): _____

Total volume of dewatering (gallons): _____ Average flow rate (gallons per minute): _____

Source of water to be discharged: _____

Receiving water: _____

Brief description of water treatment processes to be employed, if any: _____

Will the dewatering discharge contain anything other than uncontaminated groundwater and stormwater: Yes No

NOTE: If there will be dewatering activities, please place points of withdrawal and discharge on a topographic map, or other map if a topographic map is unavailable. This map should extend to one (1) square mile beyond the property boundaries of the facility and each of its discharge facilities, and those wells, springs, and other surface water bodies, drinking water wells, and surface water intake structures listed in public records, or otherwise known to the applicant in the map area.

X. Other Information

List other information you feel should be brought to the attention of the SDDENR regarding coverage under this general permit. Attach additional sheets if necessary.

STATE OF SOUTH DAKOTA

BEFORE THE SECRETARY OF

THE DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES

IN THE MATTER OF THE)
APPLICATION OF)
Hermosa 23124, LLC)
STATE OF South Dakota)
COUNTY OF Custer)

CERTIFICATION OF)
APPLICANT)

I, John Mabry, the applicant in the above matter after being duly sworn upon oath hereby certify the following information in regard to this application:

I have read and understand South Dakota Codified Law Section 1-40-27 which provides:

"The secretary may reject an application for any permit filed pursuant to Titles 34A or 45, including any application by any concentrated swine feeding operation for authorization to operate under a general permit, upon making a specific finding that:

- (1) The applicant is unsuited or unqualified to perform the obligations of a permit holder based upon a finding that the applicant, any officer, director, partner, or resident general manager of the facility for which application has been made:

 - (a) Has intentionally misrepresented a material fact in applying for a permit;*
 - (b) Has been convicted of a felony or other crime involving moral turpitude;*
 - (c) Has habitually and intentionally violated environmental laws of any state or the United States which have caused significant and material environmental damage;*
 - (d) Has had any permit revoked under the environmental laws of any state or the United States; or*
 - (e) Has otherwise demonstrated through clear and convincing evidence of previous actions that the applicant lacks the necessary good character and competency to reliably carry out the obligations imposed by law upon the permit holder; or**
- (2) The application substantially duplicates an application by the same applicant denied within the past five years which denial has not been reversed by a court of competent jurisdiction. Nothing in this subdivision may be construed to prohibit an applicant from submitting a new application for a permit previously denied, if the new application represents a good faith attempt by the applicant to correct the deficiencies that served as the basis for the denial in the original application.*

All applications filed pursuant to Titles 34A and 45 shall include a certification, sworn to under oath and signed by the applicant, that he is not disqualified by reason of this section from obtaining a permit. In the absence of evidence to the contrary, that certification shall constitute a prima facie showing of the suitability and qualification of the applicant. If at any point in the application review, recommendation or hearing process, the secretary finds the applicant has intentionally made any material misrepresentation of fact in regard to this certification,

consideration of the application may be suspended and the application may be rejected as provided for under this section.

Applications rejected pursuant to this section constitute final agency action upon that application and may be appealed to circuit court as provided for under chapter 1-26."

I certify pursuant to 1-40-27, that as an applicant, officer, director, partner, or resident general manager of the activity or facility for which the application has been made that I; a) have not intentionally misrepresented a material fact in applying for a permit; b) have not been convicted of a felony or other crime of moral turpitude; c) have not habitually and intentionally violated environmental laws of any state or the United States which have caused significant and material environmental damage; (d) have not had any permit revoked under the environmental laws of any state or the United States; or e) have not otherwise demonstrated through clear and convincing evidence of previous actions that I lack the necessary good character and competency to reliably carry out the obligations imposed by law upon me. I also certify that this application does not substantially duplicate an application by the same applicant denied within the past five years which denial has not been reversed by a court of competent jurisdiction. Further;

"I declare and affirm under the penalties of perjury that this claim (petition, application, information) has been examined by me, and to the best of my knowledge and belief, is in all things true and correct."

Dated this 18 day of May, 2021.

John Mabry

Applicant (print)

[Handwritten signature of John Mabry]

Applicant (signature)

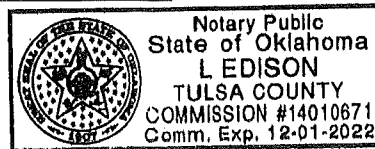
Subscribed and sworn before me this 18th day of May, 2021.

[Handwritten signature of L. Edison]

Notary Public (signature)

My commission expires: 12-1-22

(SEAL)



PLEASE ATTACH ANY ADDITIONAL INFORMATION NECESSARY TO DISCLOSE ALL FACTS AND DOCUMENTS PERTAINING TO SDCL 1-40-27 (1) (a) THROUGH (e). ALL VIOLATIONS MUST BE DISCLOSED, BUT WILL NOT AUTOMATICALLY RESULT IN THE REJECTION OF AN APPLICATION

Town of Hermosa

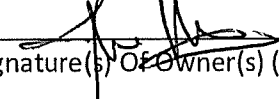
PO Box 298 • 230 Main Street • Hermosa, SD 57744
 Phone (605) 255-4291 • Fax (605) 255-4094
 E-mail: townhrmsa@custercountysd.com

Every permit issued by the Planning Administrator under the provisions of this code shall expire by limitation and become null and void if the building or work authorized by such permit is not commenced within 12 months from the date of such permit or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of one year. If so, before such work can be re-started, an extension of the permit shall be first obtained to do so, and a service charge of \$35.00 shall be required, provided no changes have been made or will be made in the original plans and specifications for such work. Provided that such suspension or abandonment has not exceeded two (2) years.

In filling this application, I hereby grant to the Hermosa Planning & Zoning commission, and the Hermosa Town Board, and their designee(s), permission to inspect any and all structures and land involved in my application for the purpose of ascertaining compliance with the ordinance of the Town of Hermosa and the State of South Dakota, which permission shall continue so long as the application or an appeal there-on is pending. It is my responsibility to ensure the presence of the Town Maintenance Supervisor during water and sewer connections.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BEFORE OCCUPYING STRUCTURE.

 Signature(s) of Owner(s) (If Owner Builder)	9 / 12 / 2021 Date
Signature(s) of Contractor/Authorized Agent	Date

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT

PLANNING AND ZONING COMMISSION <input type="checkbox"/> Approved <input type="checkbox"/> Denied	HERMOSA BOARD OF TRUSTEES <input type="checkbox"/> Approved <input type="checkbox"/> Denied
NAME: _____	NAME: _____
TITLE: _____	TITLE: _____
SIGNATURE: _____	SIGNATURE: _____
DATE: _____	DATE: _____
APPLICATION FEE: \$50.00 DATE PAID: _____	DATE PERMIT ISSUED: _____

"In accordance with Federal law and U.S. Department of Agriculture policy, this institution is prohibited from discriminating on the basis of race, color, national origin, age, disability, religion, sex, and familial status. (Not all prohibited bases apply to all programs.) To file a complaint of discrimination, write USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD)."

HERMOSA, SD LEGAL DESCRIPTION:

N1/2 NE1/4 NE1/4 SE/4 AND THE E1/2 NE1/4 NW1/4 NE1/4 SE1/4 OF SECTION 30, TOWNSHIP 02 SOUTH, RANGE 08 EAST, OF THE BLACK HILLS MERIDIAN, TOWN OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA, LESS LOT H-1 AS SHOWN ON PLAT FILED AT BOOK 3 OF PLATS, PAGE 106.

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
E-mail: twnhrmsa@custercountysd.com

MUNICIPAL WATER CONNECTION APPLICATION

DATE 5-19-21

PERMIT # 2021-16

Receipt # _____	Cash _____	Check # _____	Amount <u>\$ 50⁰⁰</u>
-----------------	------------	---------------	----------------------------------

Property Owner Hermosa 23124, LLC
Daytime Phone 918-749-1880 Evening Phone _____
Mailing Address 3114 E. 81st St. Tulsa, OK 74137
Email Jmabry@rupehelmer.com
Connection Address _____
Legal Description See attached legal description
Contractor Rupe Helmer Group, LLC
Size of Tap 1 inch Commercial Residential _____
Size and type of pipe and other supplies 1 inch; Type "L" and type "K" copper tubing.

If crossing roadway, will the connection be: Bored _____ Cut _____

Plumbing must be inspected by either the authorized agent of the Town of Hermosa or the South Dakota State Plumbing Inspector before any backfilling can be done. A 48-hour notice must be given for this inspection. A dual back-flow preventor, water meter (obtained from Town Office), and ball valve must be installed prior to water supply being activated.

APPLICATION MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMITTEE AND THE BOARD OF TRUSTEES PRIOR TO TAP BEING MADE.

By signing below, I acknowledge that I have read and understand all requirements for obtaining water service in the Town of Hermosa.

Signature of Applicant  Date 5/19/21

Parcel # 01978
OFFICE USE

<p>PLANNING AND ZONING COMMISSION</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____</p> <p>TITLE: _____</p> <p>SIGNATURE: _____</p> <p>DATE: _____</p> <p>APPLICATION FEE <u>\$50.00</u> BALANCE DUE: _____</p>	<p>HERMOSA BOARD OF TRUSTEES</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____</p> <p>TITLE: _____</p> <p>SIGNATURE: _____</p> <p>DATE: _____</p> <p>DATE PERMIT ISSUED: _____</p>
---	--

In accordance with Federal law and U.S. Department of Agriculture policy, this institution is prohibited from discriminating on the basis of race, color, national origin, age, disability, religion, sex, and familial status. (Not all prohibited bases apply to all programs.) To file a complaint of discrimination, write USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD).

HERMOSA, SD LEGAL DESCRIPTION:

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Town of Hermosa

PO Box 298 • 234 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

E-mail: townhrmsa@custercountysd.com; www.hermosasd.com

MUNICIPAL WASTE WATER CONNECTION APPLICATION

DATE 5-19-21

PERMIT # 2021-16

Receipt # _____	Cash _____	Check # _____	Amount <u>50⁰⁰</u>
-----------------	------------	---------------	-------------------------------

Property Owner Hermosa 23124, LLC

Daytime Phone 918-749-1880 Evening Phone _____

Mailing Address 3114 E. 81st St. Tulsa, OK 74137

Email Jmabry@rupehelmer.com

Connection Address _____

Legal Description See attached legal description

Contractor Rupe Helmer Group, LLC

Size of Tap 4 inches Commercial Residential _____


Size and type of pipe and other supplies 4 inches; Schedule 40 and 80 PVC or ABS Piping.

If crossing roadway, will the connection be: Bored _____ Cut _____

Plumbing must be inspected by either the authorized agent of the Town of Hermosa or the South Dakota State Plumbing Inspector before any backfilling can be done. A 48-hour notice must be given for this inspection.

APPLICATION MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMITTEE AND THE BOARD OF TRUSTEES PRIOR TO TAP BEING MADE.

By signing below, I acknowledge that I have read and understand all requirements for obtaining water service in the Town of Hermosa.


Signature of Applicant _____

5/19/21
Date _____

Parcel #
D11918
OFFICE USE ONLY

<p>PLANNING AND ZONING COMMISSION</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____</p> <p>TITLE: _____</p> <p>SIGNATURE: _____</p> <p>DATE: _____</p> <p>APPLICATION FEE \$50.00 BALANCE DUE: _____</p>	<p>HERMOSA BOARD OF TRUSTEES</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____</p> <p>TITLE: _____</p> <p>SIGNATURE: _____</p> <p>DATE: _____</p> <p>DATE PERMIT ISSUED: _____</p>
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APPLICATION FOR PERMIT TO WORK IN RIGHT OF WAY

Town of Hermosa, Public Works Department

DRIVEWAY APPROACH

Date 5-19-21

Residential Commercial New Replacement

Driveway will serve a single property Driveway will be shared w/adjacent property

Is the property currently accessed by one or more approaches? No Yes (current number) 1

Access requested onto a local or residential street (Street Name) _____

Access requested onto a collector or arterial street (Street Name) Highway 79

If access is requested onto a collector or arterial street, this application must be accompanied by 1) a site plan & vicinity map drawn to scale, meeting standards for a commercial building permit, and 2) an application for an Access Permit to be issued by the Engineering Division.

Distance from:

Nearest property side lot line: 90 FT Nearest adjacent approach: 300 FT

Nearest intersection (corner lot only): _____ Nearest approach opposite side of street: 140 FT

Sight obstructions (describe) _____

Setback distance (property line to garage): _____ No. of garage stalls (side-by-side): _____

Elevation at curb: _____ Garage finished floor elevation: _____

Approach width: 36 FT Driveway length (curb to garage): _____

SIDEWALK

Date _____

Residential Commercial New Replacement

Boulevard Width (curb to property line) & surfacing type: _____

Is sidewalk on adjoining properties at curbside or at property line? _____

Sidewalk at curbside (5 ft. min. width) Sidewalk at property line (4 ft. min. width)

Proposed Width: _____ Total Length: _____ Height above curb: _____

OTHER

Date _____

Description: _____

CONDITIONS OF PERMIT: _____

EXPIRATION

The permit issued for the work in this application shall expire by limitation and become null and void if the work is not commenced within 30 days from the date of issue, or if the work is suspended or abandoned for a period of 15 days after it has commenced. The permit shall become null and void if the work is not completed within 90 days from the date of issue.

PERMIT TO WORK IN THE RIGHT-OF-WAY

Town of Hermosa
PO Box 298, Hermosa, SD 57744
(605) 255-4291

APPROACH SIDEWALK OTHER

PERMIT NUMBER: _____

RECEIPT NUMBER: _____

RECEIVED BY: _____

ID NO: _____

PIN NO: _____

APPLICATION DATE: _____

DATE ISSUED: _____

PROPERTY INFORMATION CONTRACTOR INFORMATION

LÓT ADDRESS _____
OWNER NAME Hermosa 23124, LLC
& ADDRESS 3114 E. 81st St.
Tulsa, OK 74137 TEL 918-749-1880

Rupe Helmer Group, LLC
3114 E. 81st St. Tulsa, OK 74137
918-749-1880

LEGAL DESC See attached legal description

ZONED CO ACRES 2.02

SETBACKS _____
EASEMENTS _____

ACCESS FROM State Highway 79

PERMIT TYPE _____

OF BLDGS 1 # OF UNITS _____ # SQ FT 9100

PLAN # _____ SIDEWALKS? No
APPEAL # _____ DRAINAGE
APPEAL # _____ BASIN CODE _____

TYPE OF CONSTRUCTION Type II-B
OCCUPANCY GROUP/DIV Group M & Group S-1

COMMENTS _____

PVT SEWAGE? X WATER SRC City of Hermosa
FLOOD PLAIN? X FLOOD CODE 460230 MAP # 46033C0200F
FLOOD INS? X EFF YEAR 01/06/2012

FEE INFORMATION

ESTIMATED COST/ICBO VALUE \$953,523.00

APPLICANT INFORMATION

NAME Hermosa 23124, LLC
ADDRESS 3114 E. 81st St.
CITY/STATE Tulsa, OK 74137 TEL 918-749-1880

RELATIONSHIP TO PROPERTY:
 OWNER CONTRACTOR OWNERS REPRESENTATIVE

READ REVERSE BEFORE SIGNING


SIGNATURE OF APPLICANT

5/10/21
DATE

Responsible Party for Payment of All Fees

ISSUED BY _____

DATE _____

HERMOSA, SD LEGAL DESCRIPTION:

N1/2 NE1/4 NE1/4 SE/4 AND THE E1/2 NE1/4 NW1/4 NE1/4 SE1/4 OF SECTION 30, TOWNSHIP 02 SOUTH, RANGE 08 EAST, OF THE BLACK HILLS MERIDIAN, TOWN OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA, LESS LOT H-1 AS SHOWN ON PLAT FILED AT BOOK 3 OF PLATS, PAGE 106.

DOT-166

**Application for Highway Access Permit
South Dakota Department of Transportation**

Permit Application (to be completed by applicant).	<p>Instructions: Please contact the local South Dakota Department of Transportation office to determine what supporting documents must accompany this application. Please submit a separate application and supporting documentation for each access requested. Attach additional sheets as necessary. Please print or type. Owner and applicant agree to comply with special and standard conditions if access permitted.</p>			
	<p>Property Owner: Name(s): <u>Hermosa 23124, LLC</u> Mailing Address: <u>3114 E. 81st St.</u> City, State, Zip: <u>Tulsa, OK 74137</u> Daytime Phone: <u>918-749-1880</u></p>	<p>Applicant (if different from Owner): Name(s): <u>AAB Engineering, LLC</u> Mailing Address: <u>PO Box 2136</u> City, State, Zip: <u>Sand Springs, OK 74063</u> Daytime Phone: <u>918-514-4283</u></p>		
	<p>Property to be Served by Approach: County: <u>Custer</u> Section: <u>30</u> Township: <u>02S</u> Range: <u>08E</u> Or Subdivision: _____ Block/Lot: _____ Street Address: _____ City: _____</p>	<p>State Highway to be Accessed by Approach: State Highway Number: <u>79</u> Access would be <u>1,790</u> feet <u>north</u> south, east or west from <u>Tenya Street and Highway 79</u> (nearest cross street).</p>		
	<p>Land Use of Property to be Served (check one): <input type="checkbox"/> Agricultural: acres served _____ <input checked="" type="checkbox"/> Business: type <u>Retail Store</u> total square footage of buildings: <u>9100</u> number of employees <u>15</u> <input type="checkbox"/> Residential: number of single-family dwellings _____, or number of multi-family dwellings _____ <input type="checkbox"/> Other: describe _____</p>	<p>Type of Permit Requested (check one) <input type="checkbox"/> New approach <input type="checkbox"/> Change in use <input type="checkbox"/> Temporary access <input checked="" type="checkbox"/> Improve existing access <input type="checkbox"/> Relocate existing access <input type="checkbox"/> Remove existing access</p>		
	<p>Requested Approach Width (check one) 24' <input type="checkbox"/> 30' <input type="checkbox"/> 36' <input checked="" type="checkbox"/> 40' <input type="checkbox"/></p>			
	<p>Local Government Reviews:</p>			
	<p>County: _____ Comments: _____ Concurrence signature: _____ Date: _____</p>	<p>Municipality: <u>Hermosa</u> Comments: _____ Concurrence signature: _____ Date: _____</p>		
	<p>Estimated Date of Construction: <u>08/10/2021-12/08/2021</u></p>			
	<p>I, the undersigned, request permission to construct or modify an access approach subject to the rules and regulations set forth in SDCL 70:09.</p>			
	<p>Signature of Applicant: _____ Date: <u>5/18/21</u></p>			
<p>Signature of Owner (if different than applicant): _____ Date: <u>5/18/21</u></p>				
Permit Decision (to be completed by SDDOT).	<p>Supporting Materials Required: (Required) (Received)</p> <table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:50%; border-right: 1px dashed black;"> <input type="checkbox"/> Access Approach Design <input type="checkbox"/> Vicinity Map <input type="checkbox"/> Traffic Volumes <input type="checkbox"/> Three Copies of Site Plan <input type="checkbox"/> Traffic Control Plan <input type="checkbox"/> Proof of Liability Insurance <input type="checkbox"/> Detailed Development Plan <input type="checkbox"/> Drainage Plan <input type="checkbox"/> Traffic Impact Study <input type="checkbox"/> Revegetation Plan <input type="checkbox"/> Other _____ </td> <td style="width:50%; border-right: 1px dashed black;"> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> </td> </tr> </table>	<input type="checkbox"/> Access Approach Design <input type="checkbox"/> Vicinity Map <input type="checkbox"/> Traffic Volumes <input type="checkbox"/> Three Copies of Site Plan <input type="checkbox"/> Traffic Control Plan <input type="checkbox"/> Proof of Liability Insurance <input type="checkbox"/> Detailed Development Plan <input type="checkbox"/> Drainage Plan <input type="checkbox"/> Traffic Impact Study <input type="checkbox"/> Revegetation Plan <input type="checkbox"/> Other _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<p>Received by SDDOT: Date: <u> / / </u></p>
	<input type="checkbox"/> Access Approach Design <input type="checkbox"/> Vicinity Map <input type="checkbox"/> Traffic Volumes <input type="checkbox"/> Three Copies of Site Plan <input type="checkbox"/> Traffic Control Plan <input type="checkbox"/> Proof of Liability Insurance <input type="checkbox"/> Detailed Development Plan <input type="checkbox"/> Drainage Plan <input type="checkbox"/> Traffic Impact Study <input type="checkbox"/> Revegetation Plan <input type="checkbox"/> Other _____	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>		
	<p>Decision: (to be made after Application Review)</p> <p><input type="checkbox"/> Access Approved <input type="checkbox"/> Access Approved with Variance: _____ <input type="checkbox"/> Access Denied</p>			
	<p>Terms and Conditions of Approval (or Reason for Denial)</p> <p>Access Must be Constructed By: <u> / / </u></p>			
<p>SDDOT Area Engineer Signature: _____ Date: <u> / / </u></p>	<p>SDDOT Area: Area Office _____ Contact Person _____ Contact Phone _____ Permit Number _____</p>			

SDDOT Highway Access Permit Application Review Sheet (to be completed by SDDOT)			
Highway Access Classification: (check one) <input type="checkbox"/> Expressway <input type="checkbox"/> Free Flow Urban <input type="checkbox"/> Intermediate Urban <input type="checkbox"/> Urban Developed <input type="checkbox"/> Urban Fringe <input type="checkbox"/> Rural			
		Highway _____ MRM + Displacement ____ + ____ Left <input type="checkbox"/> Right <input type="checkbox"/> Average Daily Traffic _____ Accidents (three years) _____	
Highway Alignment to Left of Access (as seen when standing on access)		Highway Alignment to Right of Access (as seen when standing on access)	
<input type="checkbox"/> Straight <input type="checkbox"/> Turns left <input type="checkbox"/> Turns right <input type="checkbox"/> Flat <input type="checkbox"/> Slopes up <input type="checkbox"/> Slopes down	Stopping Sight Distance: _____ ft. Entering Sight Distance: _____ ft. Posted Speed Limit: _____ mph <input type="checkbox"/> 0-3% grade <input type="checkbox"/> 3-5% grade <input type="checkbox"/> >5% grade	<input type="checkbox"/> Straight <input type="checkbox"/> Turns left <input type="checkbox"/> Turns right <input type="checkbox"/> Flat <input type="checkbox"/> Slopes up <input type="checkbox"/> Slopes down	Stopping Sight Distance: _____ ft. Entering Sight Distance: _____ ft. Posted Speed Limit _____ mph <input type="checkbox"/> 0-3% grade <input type="checkbox"/> 3-5 % grade <input type="checkbox"/> >5% grade
Significant Design and Potential Impact Considerations (check all that apply and explain checked items):			
<input type="checkbox"/> Sidewalks or Bike Paths <input type="checkbox"/> Curb & Gutter <input type="checkbox"/> On-Street Parking <input type="checkbox"/> Shoulder Width <input type="checkbox"/> Historical Resources	<input type="checkbox"/> Surface Drainage <input type="checkbox"/> Drainage Structures <input type="checkbox"/> Major Structures <input type="checkbox"/> Guard Rail <input type="checkbox"/> Above-Ground Utilities <input type="checkbox"/> Railroad Tracks	<input type="checkbox"/> Distance to Nearby Streets, Both Directions <input type="checkbox"/> Distance to Nearby Driveways, Both Directions <input type="checkbox"/> Others Streets with Access or Available Access <input type="checkbox"/> Traffic Control Devices or Relocation Needed <input type="checkbox"/> Median Crossovers	
Explain impact on design:			
SDDOT Region Traffic Engineer Review (optional): Comments:		SDDOT Access Management Review (optional): Comments:	
Signature: _____ date: ___/___/___		Signature: _____ date: ___/___/___	
APPROACH DESIGN SKETCH			List Attachments: <input type="checkbox"/> Driveway details <input type="checkbox"/> Culvert details <input type="checkbox"/> Mailbox details <input type="checkbox"/> Fencing details <input type="checkbox"/> Cattle guard <input type="checkbox"/> Sidewalk details <input type="checkbox"/> Median crossovers <input type="checkbox"/> Recreation paths <input type="checkbox"/> Rail crossings <input type="checkbox"/> Auxiliary lanes <input type="checkbox"/> Storm sewer <input type="checkbox"/> Pavement <input type="checkbox"/> Curb & gutter <input type="checkbox"/> Traffic Control <input type="checkbox"/> Sign/signal/markings <input type="checkbox"/> Other
SDDOT Review Performed by:			Date: ___/___/___

State Highway Access Approach Permit Standard Conditions

When this permit was issued, the Department made its decision based in part on information submitted by the applicant, what alternative access to other public roads and streets was available, the operation of the highway and safety and design standards. Changes in access approach use or design not approved by the Department may cause the revocation or suspension of the permit. The permittee is responsible for the costs of construction, maintenance, and removal (if necessary) of the approach.

PERMIT EXPIRATION

A permit shall be considered expired if the access is not under construction within one year of the permit issue date or before the expiration of any authorized extension. When the permittee is unable to commence construction within one year after the permit issue date, the permittee may request a one-year extension from the Department. Only one extension may be granted. Any request for an extension must be in writing and submitted to the Department before the permit expires. The request should state the reasons why the extension is necessary, when construction is anticipated, and include a copy of page 1 (face of permit) of the access permit. Extension approvals shall be in writing. Any person wishing to reestablish an access permit that has expired may begin again with the application procedures.

CONSTRUCTION

1. The construction of the access and its appurtenances as required by the terms and conditions of the permit shall be completed at the expense of the permittee. All materials used in the construction of the access within the highway right-of-way or on permanent easements, become public property. Any materials removed from the highway right-of-way will be disposed of only as directed by the Department. Only clean fill material may be used for construction. Rubble and organic materials are prohibited. Permittee is responsible for salvaging and replacing topsoil, erosion control and revegetation of access.
2. The permittee shall notify the Area Office at least two working days prior to any construction within state highway right-of-way. Construction of the access shall not proceed until the access permit is issued. The access shall be completed in an expeditious and safe manner and shall be finished within 45 days from the initiation of construction within the highway right-of-way. One construction time extension may be requested from the Area Engineer. The permittee shall also notify the Area Office two days prior to substantial completion of the access construction.
3. A utility permit shall be obtained for any utility work within highway right-of-way. Where necessary to remove, relocate, or repair any traffic control device or public or private utility for the construction of a permitted access, the relocation, removal or repair shall be accomplished by the permittee without cost to the Department, and at the direction of the Department or utility company. Any damage to the state highway or other public right-of-way beyond that which is allowed in the permit shall be repaired immediately. The permittee is responsible for the repair of any utility damaged in the course of access construction, reconstruction or repair. Utilities are responsible for salvaging and replacing topsoil and must have an approved erosion control and revegetation plan. A final inspection must be held with the utility at the completion of the work.
4. The Department and the local government may inspect the access during construction and upon completion of the access to determine that all terms and conditions of the permit are met. Inspectors are authorized to enforce the conditions of the permit during and after construction and to halt any activities within state right-of-way that do not comply with the provisions of the permit, that conflict with concurrent highway construction or maintenance work, that endanger highway property, natural or cultural resources protected by law, or the health and safety of workers or the public.
5. Prior to using the access, the permittee is required to complete the construction according to the terms and conditions of the permit. Failure by the permittee to abide by all permit terms and conditions shall be sufficient cause for the Department to initiate action to suspend or revoke the permit and close the access. If in the determination of the Department the failure to comply with or complete the construction requirements of the permit create a highway safety hazard, such shall be sufficient cause for the summary suspension of the permit. If the permittee wishes to use the access prior to completion, arrangements must be approved by the Department and included in the permit. The Department may order a halt to any unauthorized use of the access pursuant to statutory and regulatory powers. Reconstruction or improvement of the access may be required when the permittee has failed to meet required specifications of design or materials.
6. The permittee shall provide construction traffic control devices at all times during access construction, in conformance with the Manual on Uniform Traffic Control Devices as required by state statute.

7. In the event it becomes necessary to remove any right-of-way fence, the posts on either side of the access shall be securely braced with an approved end post before the fence is cut to prevent any slacking of the remaining fence.
8. The permittee shall ensure that a copy of the permit is available for review at the construction site at all times. The permit may require the contractor to notify the individual or office specified on the permit at any specified phases in construction to allow the field inspector to inspect various aspects of the construction such as concrete forms, subbase, base course compaction, and materials specifications. Minor changes and additions may be ordered by the Department or local authority field inspector to meet unanticipated site conditions.
9. Each access shall be constructed in a manner that shall not cause water to enter onto the roadway or shoulder, and shall not interfere with the existing drainage system on the right-of-way or any adopted municipal system and drainage plan.
10. By accepting the permit, permittee agrees to save, indemnify, and hold harmless to the extent allowed by law, the Department, its officers, and employees from suits, actions, claims of any type or character brought because of injuries or damage sustained by any person resulting from the permittee's use of the access permit during construction of the access.

CHANGES IN ACCESS USE AND PERMIT VIOLATIONS

1. It is the responsibility of the property owner and permittee to ensure that the use of the access to the property is not in violation of the permit terms and conditions. The terms and conditions of any permit are binding upon all assigns, successors-in-interest, heirs and occupants. If any significant changes are made or will be made in the use of the property that will affect access operation, traffic volume and or vehicle type, the permittee or property owner shall contact the Department to determine if a new access permit and modification to the access are required.
2. When an access is constructed or used inconsistent with the terms and conditions in violation of the permit, the Department may summarily suspend an access permit and immediately order closure of the access.

MAINTENANCE

The permittee shall be responsible for the repair and maintenance of the access beyond the edge of the roadway including:

- (1) surfacing,
- (2) curb and gutter,
- (3) cattle guard and gate,
- (4) vegetation control,
- (5) removal or clearance of snow or ice upon the access even though deposited on the access in the course of department snow removal operations,
- (6) repair and replacement of any access-related culverts of 36 inch diameter or smaller within the right-of-way in unincorporated areas,
- (7) obtaining department approval for all culvert repairs, drainage repairs, resurfacing, and changes in access design or configuration, and
- (8) all other maintenance required for continued safe and satisfactory operation of the access point.

The department shall perform no maintenance of access points, except:

- (1) modification of access point as necessary to meet adjacent highway reconstruction, as determined by the department,
- (2) access surface maintenance only when the department performs similar type maintenance on the highway at the access,
- (3) maintenance of new approaches required for construction under §31-24-1 and §31-24-2.
- (4) culvert cleaning in unincorporated areas, and
- (5) repair and replacement of culverts larger than 36" diameter in unincorporated areas.

In the event that the permittee fails to maintain an access point, the department may declare the negligently maintained access point a public nuisance, and upon notice to the permittee, may correct maintenance deficiencies at cost to the owner.

Access Approach Construction Inspection Form South Dakota Department of Transportation

To: (person who will conduct field inspection)	After completion, return form to person/office:
address	
address	
Address/zip	

The assigned field inspector is to complete this form for each newly completed access and return the form as noted in the upper right. This form is to confirm installation of an access. If during construction, the inspector should determine problems, such as poor traffic control, materials, or failure to adhere to the permit, they are to order the problems corrected, work may be shut down if necessary, and/or area office contacted for direction. All construction shall be completed within 45 days unless extension granted in writing by Area Engineer.

Permittee name and phone:

Access location:	Permit number:
Local jurisdiction:	Permit issue date:
SDDOT Area:	Permit construction began: _____ Permit construction ended: _____ Permit extension granted: _____

This access has been constructed in reasonable conformance with the issued access permit:
 Inspector signature _____ Date _____

This access has NOT been constructed in reasonable conformance with the issued access permit:
 Inspector signature _____ Date _____

Items not in conformance or inspector comments:

CLAYCOMB ENGINEERING
815 2nd Street
PO Box 57
FAIRBURN, SD 57738

(605)255-4049
elclaycomb@gmail.com

July 12, 2021

TOWN OF HERMOSA

STAFF REPORT: 7/13/21 submittals for construction of Dollar General Store.

A copy of the Subdivision Plat and Revised Site Plans submitted by Hermosa 23124, LLC for the proposed Dollar General Store are attached. The revision to the Site Plans primarily involves moving the building south 12.74 feet to provide more clearance from utility easements. Review comments on the first Site Plan were submitted to the Town dated 6/29/21.

Specific comments about the revised Site Plan are as follows:

1. The building has been moved south 12.74 feet.
2. A 5' utility easement has been added along the north side of the building.
3. The retaining wall along the north side of the building has been eliminated.
4. The arrows marking turn lanes are no longer indicated.
5. The reference to the existing access easement gives the wrong page number.
6. No Landscape Plan has been submitted as required by the Town Code. The Site Plan does not illustrate the landscaping required by the Code.

Architectural, Structural, Electrical, Mechanical and Plumbing plans have also been submitted but have not been reviewed.

Wiles Addition Plat

A copy of the Wiles Addition Plat with review comments as attached.

1. The Plat leaves a small parcel south and east of the Road ROW.
2. Copies of the easement listed on the Plat should be provided to verify that they are correctly shown on the Plat.
3. The easements along the east side do not coincide with the easements shown on the Heartland Storage Subdivision.
4. The reference to the existing access easement lists the wrong page number.
5. The Plat shows the 66' access easement extending to the south of the new Road ROW. The map with the easement recorded shows the easement extending to the south, but the language does not dedicate any easement to the south of the Wiles Real Estate property.

6. The Owner's Certificate refers to an access easement. There should no longer be an access easement. It should be vacated with the plat. The Plat should clearly state that it is a Public Road ROW.

Elmer Claycomb, P.E.
Floodplain Administrator

Attachments:

Revised Sheet C-1 with comments

Wiles Addition Plat with comments



PLAT OF LOT 1 OF
WILES ADDITION
 TO THE CITY OF HERMOSA,
 CUSTER COUNTY, SOUTH DAKOTA.
 CONTAINING ±72,099 SF (±1.66 AC) INCLUDING 0.48 AC R.O.W.

EASEMENTS DO NOT COINCIDE
 WITH THOSE SHOWN ON
 HARTLAND STORAGE SUB.

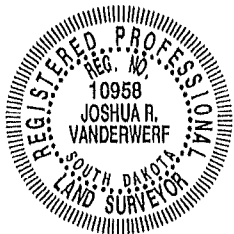
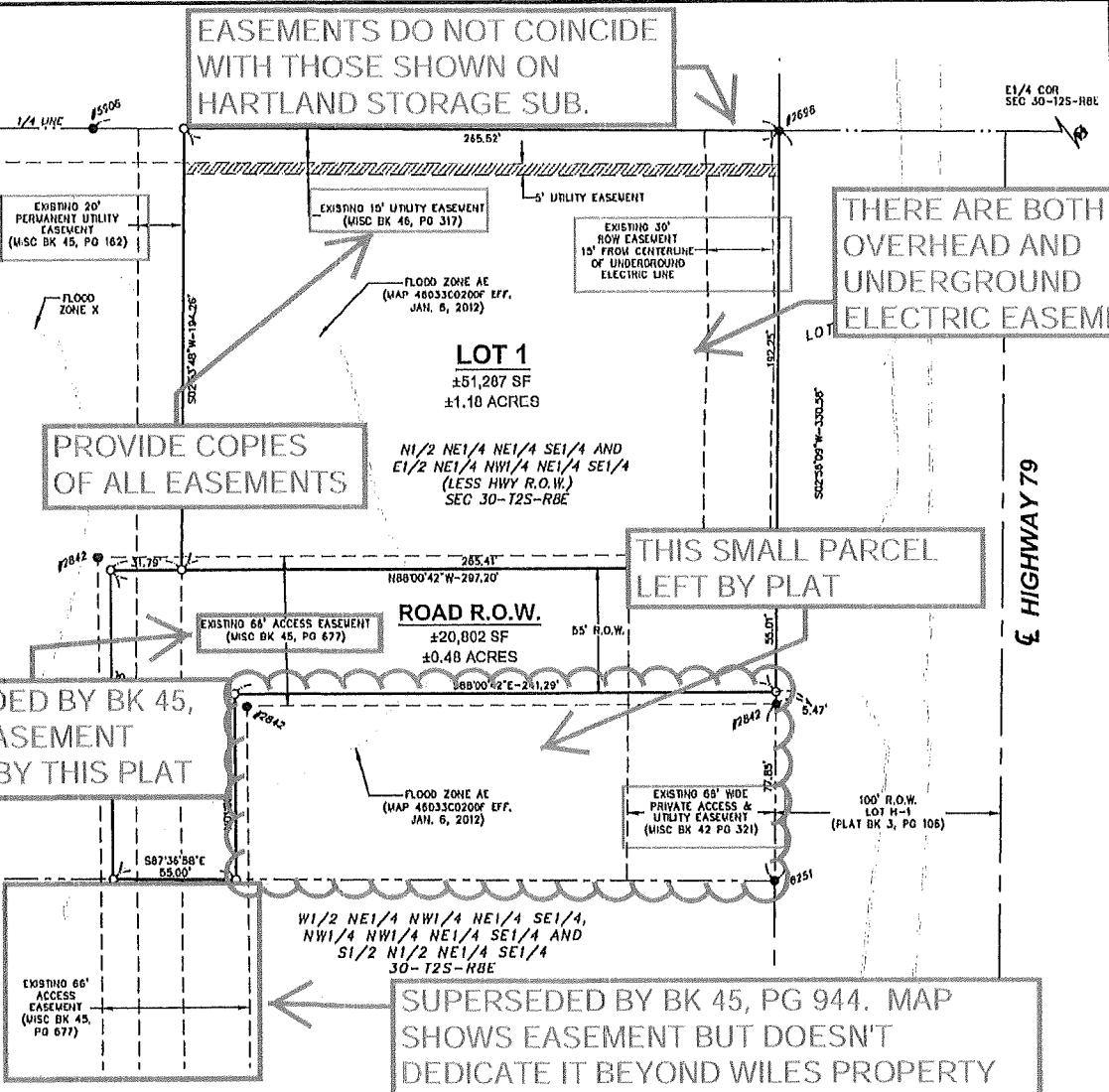
THERE ARE BOTH
 OVERHEAD AND
 UNDERGROUND
 ELECTRIC EASEMENTS ?

PROVIDE COPIES
 OF ALL EASEMENTS

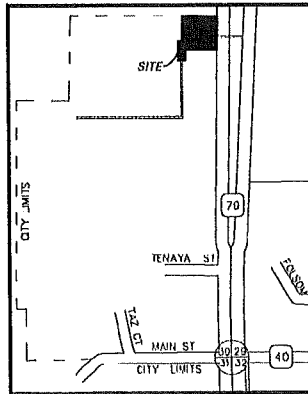
THIS SMALL PARCEL
 LEFT BY PLAT

SUPERSEDED BY BK 45,
 PG 944. EASEMENT
 VACATED BY THIS PLAT

SUPERSEDED BY BK 45, PG 944. MAP
 SHOWS EASEMENT BUT DOESN'T
 DEDICATE IT BEYOND WILES PROPERTY



- LEGEND**
- SURVEY LINE
 - 5' UTILITY EASEMENT
 - EASEMENT LINE
 - PROPERTY LINE
 - RIGHT OF WAY LINE
 - SECTION LINE
 - QUARTER LINE
 - SIXTEENTH LINE
 - FOUND MONUMENT
 - SET 5/8" X 10" CAPPED REBAR
 - ◆ FOUND SECTION CORNER



- GENERAL NOTES:**
1. BASIS OF BEARINGS FOR THIS DRAWING IS NAD83, SOUTH DAKOTA SOUTH, US FOOT.
 2. RESEARCH OF EXISTING EASEMENTS OF RECORD WAS NOT PERFORMED.

DGR ENGINEERING
 DGR ENGINEERING
 2209 E. 57TH STREET, SUITE 104
 SIOUX FALLS, SD 57108
 (605) 339-4157 office
 (605) 339-4175 fax
 dgr.com

**PLAT OF LOT 1 OF
WILES ADDITION
TO THE CITY OF HERMOSA,
CUSTER COUNTY, SOUTH DAKOTA,
CONTAINING ±72,099 SF (±1.66 AC) INCLUDING 0.48 AC R.O.W.**

SURVEYOR'S CERTIFICATE

I, JOSHUA R. VANDERWERF, A REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA DO HEREBY CERTIFY THAT ON OR BEFORE MAY 10, 2021, I HAVE SURVEYED A PORTION OF THE N1/2 NE1/4 NE1/4 SE1/4 AND THE E1/2 NE1/4 NW1/4 NE1/4 SE1/4, OF SECTION 20, TOWNSHIP 2 SOUTH, RANGE 8 EAST, OF THE BLACK HILLS MERIDIAN, CUSTER COUNTY, SOUTH DAKOTA.

THE SAME SHALL HEREAFTER BE KNOWN AND DESCRIBED AS LOT 1 OF WILES ADDITION TO THE CITY OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA.

I FURTHER CERTIFY THAT THE ABOVE PLAT CORRECTLY REPRESENTS THE SAME TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT THIS SURVEY WAS PERFORMED AT THE REQUEST AND UNDER THE DIRECTION OF THE OWNERS FOR THE PURPOSE OF TRANSFER.

DATED THIS 7TH DAY OF JULY, 2021.



JOSHUA R. VANDERWERF LS REG. NO. 10958

OWNER'S CERTIFICATE

WE, THE UNDERSIGNED, DO HEREBY CERTIFY THAT WE ARE THE OWNERS OF ALL LAND INCLUDED IN THE ABOVE PLAT AND THAT SAID PLAT HAS BEEN MADE AT OUR REQUEST AND IN ACCORDANCE WITH OUR INSTRUCTIONS FOR THE PURPOSE OF TRANSFER, AND THAT THE DEVELOPMENT OF THIS LAND SHALL CONFORM TO ALL EXISTING APPLICABLE ZONING, SUBDIVISION AND EROSION AND SEDIMENT CONTROL REGULATIONS.

WE HEREBY DEDICATE TO THE PUBLIC FOR PUBLIC USE FOREVER, THE STREETS, ROADS, ALLEYS AND PARKS, AND PUBLIC GROUNDS, IF ANY, AS SHOWN ON SAID PLAT, INCLUDING ALL SEWERS, CULVERTS, BRIDGES, WATER DISTRIBUTION LINES, SIDEWALKS AND OTHER IMPROVEMENTS ON OR UNDER THE STREETS, ROADS, ALLEYS, PARKS AND PUBLIC GROUNDS, WHETHER SUCH IMPROVEMENTS ARE SHOWN OR NOT. WE ALSO HEREBY GRANT EASEMENTS TO RUN WITH THE LAND FOR WATER, DRAINAGE, SEWER, GAS, ELECTRIC, TELEPHONE OR OTHER PUBLIC UTILITY LINES OR SERVICES UNDER, ON OR OVER THOSE STRIPS OF LAND DESIGNATED HEREON AS EASEMENTS.

WE FURTHER GRANT AND CERTIFY THIS MUTUAL ACCESS EASEMENT IS FOR ACCESS TO THE ADJUTING PROPERTY. THE OWNER, THEIR LESSEES AND ASSIGNEES SHALL MAINTAIN THE EASEMENT AREA. THEY SHALL AT THEIR OWN EXPENSE KEEP THE EASEMENT AREA IN GOOD REPAIR AND MAINTENANCE AND CLEAR OF SNOW AND OTHER OBSTRUCTIONS. NO IMPROVEMENTS OF ANY KIND MAY BE ERRECTED WITHIN THE EASEMENT AREA WHICH MIGHT INTERFERE IN ANY WAY WITH THE PROPER MAINTENANCE, USE, REPAIR, RECONSTRUCTION AND PATROLLING OF THE MUTUAL ACCESS EASEMENT. THIS COVENANT SHALL RUN WITH THE LAND.

DATED THIS _____ DAY OF _____, 2021

WILES REAL ESTATE, LLC

STATE OF SOUTH DAKOTA)
) SS
COUNTY OF _____)

ON THIS _____ DAY OF _____, 2021, BEFORE ME THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, PERSONALLY APPEARED WILES REAL ESTATE, LLC, WHO ACKNOWLEDGED THEMSELVES TO BE THE OWNERS, AND AS SAID OWNERS EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED.

IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL...

NOTARY PUBLIC: STATE OF SOUTH DAKOTA
MY COMMISSION EXPIRES:

RESOLUTION OF BOARD OF TRUSTEES

WHEREAS THERE HAS BEEN PRESENTED TO THE BOARD OF TRUSTEES OF THE TOWN, SOUTH DAKOTA, THE WITHIN PLAT OF THE ABOVE DESCRIBED LANDS, AND IT APPEARING TO THIS BOARD THAT:

- A. THE SYSTEM OF STREETS CONFORMS TO THE SYSTEM OF STREETS OF EXISTING PLATS AND SECTION LINES OF THE TOWN;
- B. ADEQUATE PROVISION IS MADE FOR ACCESS TO ADJACENT UNPLATTED LANDS BY PUBLIC (DEDICATION OR SECTION LINE WHEN PHYSICALLY ACCESSIBLE);
- C. ALL PROVISIONS OF THE TOWN SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH;
- D. ALL TAXES AND SPECIAL ASSESSMENTS UPON THE PROPERTY HAVE BEEN FULLY PAID; AND
- E. THE PLAT AND SURVEY HAVE BEEN LAWFULLY EXECUTED,

NOW THEREFORE, BE RESOLVED THAT THE PLAT IS HEREBY APPROVED IN ALL RESPECTS.

DATED THIS _____ DAY OF _____, 2021.

CHAIRPERSON OF THE BOARD

MUNICIPAL FINANCE OFFICER
HERMOSA, SOUTH DAKOTA

STATE OF SOUTH DAKOTA)
) SS
COUNTY (IF CUSTER)

NO LONGER WILL THERE BE AN ACCESS EASEMENT, WILL BE PUBLIC ROW

MUNICIPAL FINANCE OFFICER
HERMOSA, SOUTH DAKOTA

CERTIFICATE OF HIGHWAY AUTHORITY

I, _____ AGENT FOR THE HERMOSA STREET AUTHORITY, DO CERTIFY THAT THIS PLAT HAS BEEN APPROVED BY ME OR MY AUTHORIZED AGENT APPROVED THIS _____ DAY OF _____, 2021.

AUTHORIZED STREET AUTHORITY
CITY OF HERMOSA

TREASURER'S CERTIFICATE

I, THE UNDERSIGNED, COUNTY TREASURER FOR CUSTER COUNTY, SOUTH DAKOTA, DO HEREBY CERTIFY THAT ALL TAXES WHICH ARE LIENS UPON ANY LAND INCLUDED IN THE ABOVE AND FOREGOING PLAT AS SHOWN BY THE RECORDS OF MY OFFICE HAVE BEEN PAID IN FULL.

DATED THIS _____ DAY OF _____, 2021.

TREASURER
CUSTER COUNTY, SOUTH DAKOTA

DIRECTOR OF EQUALIZATION

I, THE UNDERSIGNED, COUNTY DIRECTOR OF EQUALIZATION FOR CUSTER COUNTY, SOUTH DAKOTA DO HEREBY CERTIFY THAT A COPY OF THE ABOVE PLAT HAS BEEN FILED AT MY OFFICE.

DATED THIS _____ DAY OF _____, 2021.

DIRECTOR OF EQUALIZATION
CUSTER COUNTY, SOUTH DAKOTA

REGISTER OF DEEDS

FILED FOR RECORD THIS _____ DAY OF _____, 2021, AT _____ M,
AND RECORDED IN BOOK _____ OF PLATS ON PAGE _____.

REGISTER OF DEEDS
CUSTER COUNTY, SOUTH DAKOTA



CLAYCOMB ENGINEERING
815 2nd Street
PO Box 57
FAIRBURN, SD 57738

(605)255-4049
elclaycomb@gmail.com

June 28, 2021

TOWN OF HERMOSA

STAFF REPORT: Permits for construction of Dollar General Store.

A complete copy of the applications submitted by Hermosa 23124, LLC for the proposed Dollar General Store is attached. The submittals include:

1. Floodplain Development Permit
2. Digging/Grading Permit
3. Department of Environment and Natural Resources Notice of Intent (NOI)
4. Commercial Building/Remodeling Permit
5. Variance Application – Parking
6. Municipal Water Connection Application
7. Municipal Waste Water Connection Application
8. Permit to work in Right of Way, Town of Hermosa
9. Application for Highway Access Permit

A Project Plan Set consisting of 1 Cover Sheet and 12 Civil Sheets is also attached. Architectural, Structural, Electrical, Mechanical and Plumbing plans have also been submitted but are not attached.

The submitted applications and plans are very thorough. A Staff Report for the Floodplain Development Permit was submitted and approved by the Floodplain Administrator on June 21, 2021. The Variance request was heard by the Planning and Zoning Board on June 22, 2021. The Board did not take action on the request but indicated their agreement with the reduced parking number. They felt the parking should be treated as an amendment to the general requirements along with the plat.

LANDSCAPING

The Town Code of Ordinances require that a Landscape Plan be submitted along with the building permit application for a commercial site. No Landscape Plan has been submitted. Selected Code provisions related to the Landscape Plan are given below:

§ 92.07 PARKING LOT LANDSCAPING REQUIREMENTS.

- (A) Applicability. All parking areas in excess of 40 spaces for all uses except parking areas for single-family or two-family dwellings.

§ 92.09 GENERAL SITE LANDSCAPING REQUIREMENTS.

- (A) Applicability. All commercial and industrial uses.
- (B) General requirements.

(1) Minimum landscaped area. Each site must develop a planting strip with a minimum ten foot width along all areas which front public rights-of-way.

(2) Ratio of trees and shrubs to square footage.

(a) Trees: required at the rate of one canopy tree for every 200 square feet of required planting area or one understory tree for every 150 square feet.

(b) Shrubs: shrubs are required in addition to trees and at a rate of one per every 50 square feet of planting area.

(Ord. 10.10, passed 5-19-2009)

§ 92.12 SUBMISSION OF LANDSCAPE PLANS.

(A) Landscape plans must be submitted along with the building permit site plans and may be superimposed upon the site plan as space permits.

(B) Landscape plans are considered to be an integral part of any submitted site plan and will be subject to the same approval process.

(C) The plan shall include:

(1) Project information including the total square footage of the property, the square footage of the building areas, parking and other vehicular use areas;

(2) Each project's calculations, i.e., dimensional attributes and resulting amount of planted areas; and

(3) Location, size and type of planting material, both existing and proposed.

ACCESS

The Access Road shown on the plans is currently a private access easement based on documents submitted by Dollar General. The entrance to the Dollar General Parking Lot is from the south side adjacent to an existing 66 ft. wide Access Easement as shown on the attached copy Sheet C-1 of the project plans. A copy of the Easement is attached. While the map attached to the easement illustrates an easement across both the Wiles Real Estate, LLC and the Triple J&K Properties, LLC (RV Park) parcels, only the portion within the Wiles property is included in the Access Easement Agreement. A copy of the easement map is attached with the actual area of the easement highlighted.

Dollar General has asked how to convert the access easement adjacent to their proposed parcel to a Public ROW. When I looked into this, I found that the easement across the Wiles Real Estate parcel is in favor of Triple J&K Properties (RV Park). I would think both Wiles and Triple J&K would need to sign off for the change. Also, there is the issue of access to Hermosa Hills. Is there an easement agreement from Wiles and J&K for access to Hermosa Hills? The Hermosa Hills Plat just shows "access and utility easement" across Wiles and J&K, but Wiles and J&K are not part of the plat.

The easiest way to resolve the access to Dollar General may be for the access easement adjacent to their intended parcel be included as a Public ROW in the Plat.

The following selected provisions of the Town Code apply to the access situation:

STREETS. Any public or private thoroughfare that affords the principal means of access to abutting property. This term may be used interchangeably with ROAD, ROADWAY, DRIVE or HIGHWAY. All STREETS must be within a public right-of-way, excluding private access roads.

(C) All public streets shall be constructed to town street specifications. The street construction shall be subject to inspection by both the Town Engineer and the Planning Coordinator during construction and upon completion.

§ 154.36 STREET REQUIREMENTS.

(A) The Town Engineer shall recommend to the governing body the classification of public streets as arterial, collector or local streets.

(B) All public streets and alleys within the platting jurisdiction of the town shall comply with town street specifications adopted by the governing body.

(Ord. 10.9, passed - -2005)

(E) Public land. The location and dimension of land to be dedicated or reserved for public rights-of-way, parks, open space or other public use shall be shown. No private streets shall be platted within a subdivision, and no reserve strips shall be platted except where their control is vested in the governing body.

A related problem is classifying Walter Street. It provides access to the proposed Dollar General, the Lazy R Restaurant, Southern Hills RV Park and Campground and the Hermosa Hills Addition. The Hermosa Hills Addition Plat shows Walter Street dead ending just south of the platted lots. The Plat shows continuation of Walter Street as a "Proposed 66' Wide ROW of Walter Street Shown for Reference Purposes Only". Two subsequent plats of the properties south of the Hermosa Hills Additions do not include the continuation of Walter Street but rather a 66' wide public access easement that does not align with Walter Street.

NOTE: Normally the Floodplain Administrator only reviews and approves Floodplain Development Permits. Correspondence from the Town directed me to review the entire submittal since it is in the floodplain.

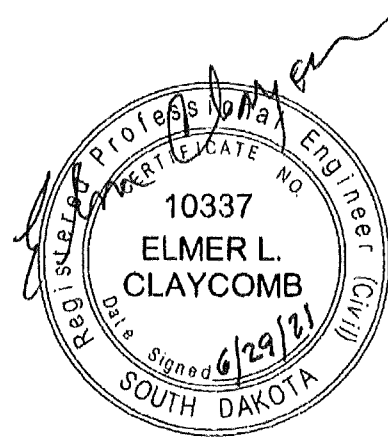
Elmer Claycomb, P.E.
Floodplain Administrator

Attachments:

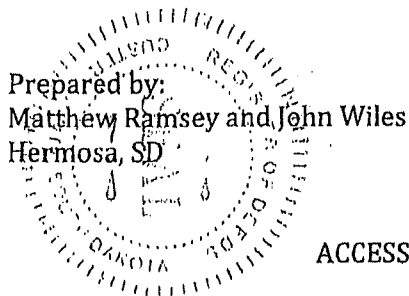
Access Easement documents

.Applications submitted by Hermosa 23124,
LLC for the proposed Dollar General Store

Project Plan Set consisting of 1 Cover Sheet
and 12 Civil Sheets



ACCESS EASEMENT AGREEMENT - 3 PAGES
MAP WITH ACTUAL EASEMENT HIGHLIGHTED
SHEET C1 OF PLAN SET WITH EASEMENT HIGHLIGHTED



Doc #67235 Recording Fee \$30.00
CUSTER COUNTY REGISTER OF DEEDS
Recorded 4/29/2015 at 12:46 PM, Book 45 MISC 677
Dennis Zellner, Register of Deeds

ACCESS EASEMENT AGREEMENT

The parties to this Agreement are Wiles Real Estate LLC - the owner of the Subservient Property described as:

E2NE4NW4NE4SE4, and N2NE4NE4SE4 Less SD Hwy ROW, Sec 30, T2S, R8E, BHM and shown in Exhibit A

and Graygun LLC of 24547 SD Hwy 79, Hermosa, SD 57744, the owner of the Dominant Property described as:

W2NE4NW4NE4SE4, NW4NW4NE4SE4, and S2N2NE4SE4 Less Highway ROW, Sec 30, T2S, R8E of the BHM and Lot S1 of Hermosa Hills Subdivision and shown in Exhibit A

A sixty-six foot wide access easement is granted to the Dominant Property across Subservient Property as shown in Exhibit A upon signing of this document.

Matthew Ramsey - 4-28-15
John Wiles 4-29-15
Crystal Wiles 4/28/15

Graygun, LLC
Owner of Dominant Property

By Matthew Roney
Its Member

Wiles Real Estate, LLC
Owner of Subservient Property
As shown as Exhibit A

By John Wiles & Cynthia Wiles
Its Members

STATE OF SD)
)SS:
COUNTY OF Custer)

ON this the 28 day of April, 2015, before me, the undersigned officer, personally appeared Matthew Roney, who acknowledged himself to be the member of Graygun, LLC, a South Dakota limited liability company, and that as such Owner of the Dominant Property, being authorized so to do, executed the forgoing instrument for the purposes therein contained, by signing the name of the company as Owner of Dominant Property.



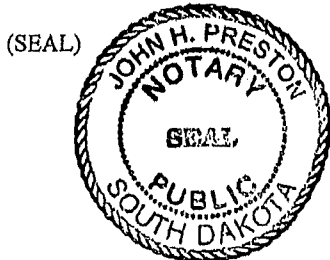
IN WITNESS WHEREOF, I hereunto set my hand and official seal.

[Signature]
Notary Public
My Commission Expires: 9/27/17

STATE OF SOUTH DAKOTA)
)SS:
COUNTY OF CUSTER)

On this the 28 day of April, 2015, before me, the undersigned officer, personally appeared John Wiles & Cynthia Wiles who acknowledged to be the members of Wiles Real Estate, LLC, a South Dakota limited liability company, and that he, as such Owner of Subservient Property, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the company by himself as Owner of Subservient Property.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.



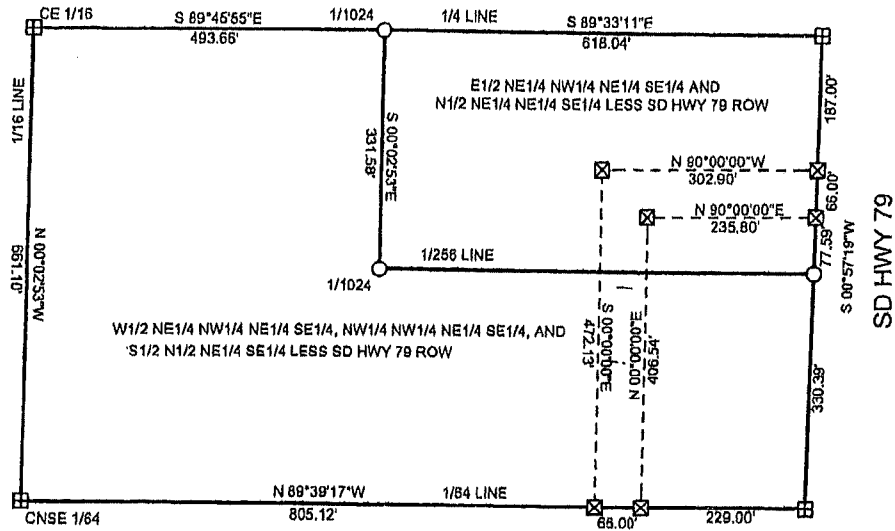
[Signature]
Notary Public
My Commission Expires: 9/27/17

EXHIBIT "A"

A SURVEY SHOWING AN ACCESS EASEMENT LOCATED IN E1/2 NE1/4 NW1/4 NE1/4 SE1/4, N1/2 NE1/4 NE1/4 SE1/4 LESS SD HWY 79 ROW, S1/2 N1/2 NE1/4 SE1/4 LESS SD HWY 79 ROW, NW1/4 NW1/4 NE1/4 SE1/4, AND W1/2 NE1/4 NW1/4 NE1/4 SE1/4, SECTION 30, T2S, R8E, BHM, TOWN OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA



5 FEB, 2015
SCALE 1" = 200'



Crystal Wilco 4/28/15
John Wal 4/28/15
Matthew Runy 4-28-15

LEGEND

- Set rebar w/plastic cap marked "ANDERSEN PLS 2842"
- Found rebar w/plastic cap marked "HILTON PLS 2696"
- Found rebar w/plastic cap marked "HANSON PLS 6251"

Easement ROW line - - - - -

BASIS OF BEARING

GPS OBSERVATION TAKEN 8 07°32'46" E 1278.47'
FROM THE CNSE 1/64 TO SECTION 30

CERTIFICATION OF SURVEYOR
I, Keith Andersen, SDRLS No. 2842 do hereby certify that this drawing represents a survey made by me or under my direct personal supervision in accordance with the laws of the State of South Dakota and accepted surveying practice, and that the same is, to the best of my knowledge and belief, true and correct.

Keith Andersen, SDRLS No. 2842

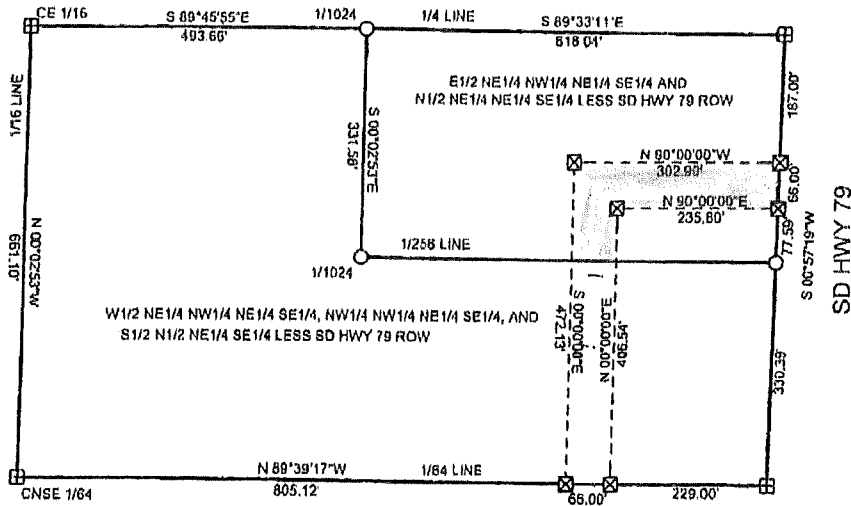
		Prepared by ANDERSEN ENGINEERS <i>Land Surveyors, Professional Engineering, & Environmental Scientists</i>	
		P.O. Box 446 Edgemont, SD 57735 (605)-682-8500 andersenengineers@swtc.net	
Drawn by DR	Date 3/5/2016	Scale 1"=200'	
Approved by KA	Date 3/5/2016		
Sheet 1 of 1		File Name: HERMOSA_HILLS_EASMENT	

EXHIBIT "A"

A SURVEY SHOWING AN ACCESS EASEMENT LOCATED IN E 1/2 NE 1/4 NW 1/4 NE 1/4 SE 1/4, N 1/2 NE 1/4 NE 1/4 SE 1/4 LESS SD HWY 79 ROW, S 1/2 N 1/2 NE 1/4 SE 1/4 LESS SD HWY 79 ROW, NW 1/4 NW 1/4 NE 1/4 SE 1/4, AND W 1/2 NE 1/4 NW 1/4 NE 1/4 SE 1/4, SECTION 30, T2S, R8E, BHM, TOWN OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA



5 FEB, 2015
SCALE 1" = 200'



Capital Wiles 4/28/15
John Wal 4/28/15
Matthew Rung 4-28-15

LEGEND

- Set rebar w/plastic cap marked "ANDERSEN PLS 2842"
- Found rebar w/plastic cap marked "HILTON PLS 2896"
- Found rebar w/plastic cap marked "HANSON PLS 6251"
- Easement ROW line - - - - -

BASIS OF BEARING

GPS OBSERVATION TAKEN S 07°32'40"E 1278.47'
FROM THE CHSE 104 TO SECTION 30

CERTIFICATION OF SURVEYOR

I, Keith Andersen, SDRLS No. 2842 do hereby certify that this drawing represents a survey made by me or under my direct personal supervision in accordance with the laws of the State of South Dakota and accepted surveying practice, and that the same is, to the best of my knowledge and belief, true and correct.

Keith Andersen, SDRLS No. 2842

Prepared by ANDERSEN ENGINEERS <small>Land Surveying, Professional Engineering, & Architecture, Inc.</small>			P.O. Box 448	
			Edgemont, SD 57735	
Drawn by DR	Date 3/5/2015	(605)-662-5500 andersen@andersenengineers.com		
Approved by KA	Date 3/3/2015	andersen@andersenengineers.com		
Scale 1"=200'	Sheet 1 of 1	File Name: HERMOSA_HILLS_EASEMENT		

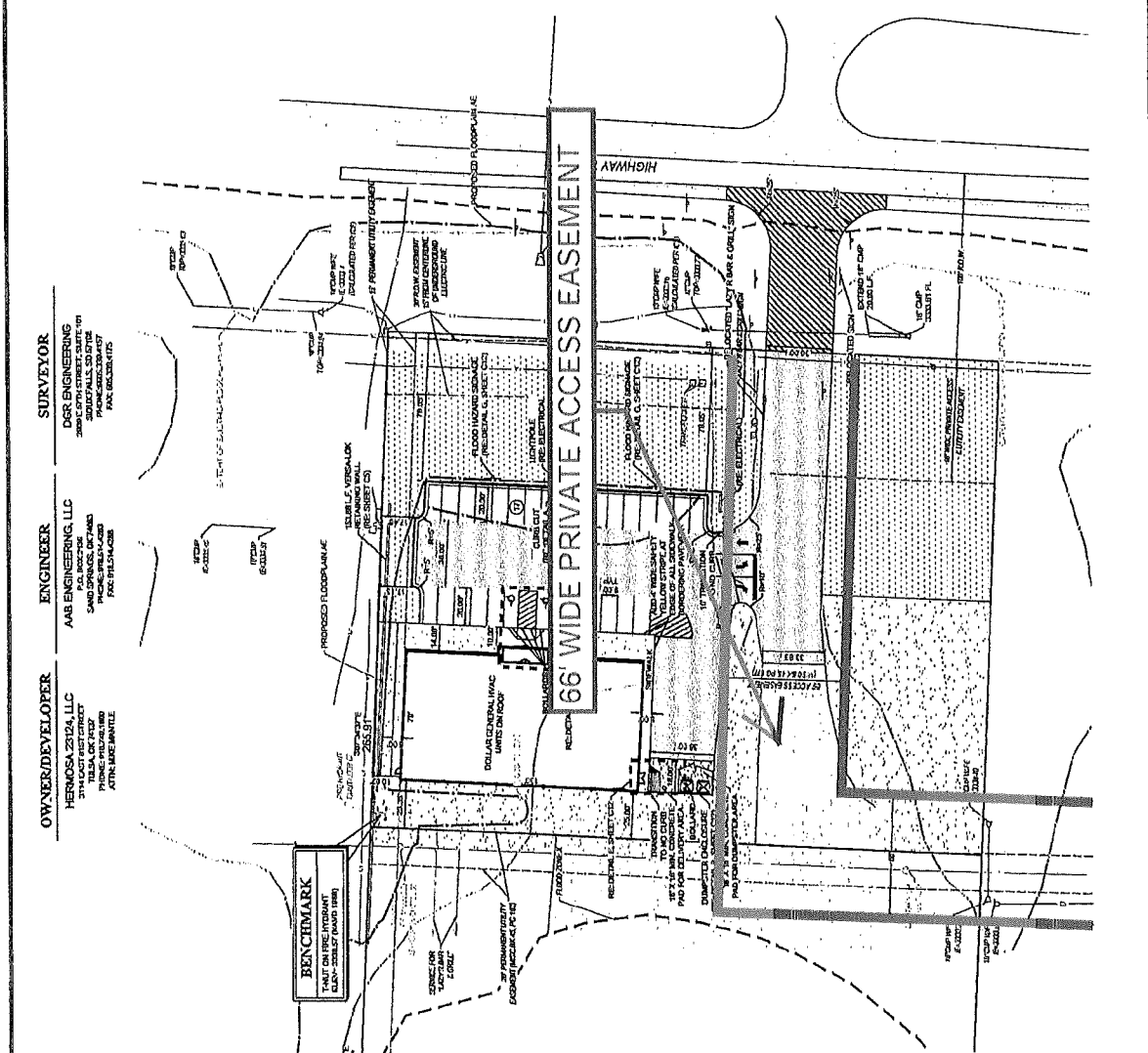
OWNER/DEVELOPER
 HERMOSA VISTA, LLC
 3150 W. 10TH STREET, SUITE 901
 TULSA, OKLAHOMA 74107
 TEL: 918.438.1100
 FAX: 918.438.1175

ENGINEER
 AAB ENGINEERING, LLC
 1000 N. WAGON WHEEL
 TULSA, OKLAHOMA 74107
 TEL: 918.438.1100
 FAX: 918.438.1175

SURVEYOR
 CSB ENGINEERING
 3150 W. 10TH STREET, SUITE 901
 TULSA, OKLAHOMA 74107
 TEL: 918.438.1100
 FAX: 918.438.1175

70'-0"X130'-0" @ 100 SF PROTOTYPE 'C'
DOLLAR GENERAL
 STORE #23124
 HERMOSA VISTA, LLC
 3150 W. 10TH STREET, SUITE 901
 TULSA, OKLAHOMA 74107
 TEL: 918.438.1100
 FAX: 918.438.1175

AAB Engineering, LLC
 Engineering • Surveying • Land Planning
 1000 N. Wagon Wheel
 Tulsa, Oklahoma 74107
 Tel: 918.438.1100
 Fax: 918.438.1175
 www.aabeng.com



SURVEY LEGEND

AC	ASBESTOS
AG	ASBESTOS LIMITS
AR	ASBESTOS REMEDIATION
AW	ACCESS MARKER
BL	BUILDING FOOTPRINT
BM	BENCHMARK
BS	BENCH MARK
CB	CONCRETE
CC	CONCRETE
CD	CONCRETE
CE	CONCRETE
CF	CONCRETE
CG	CONCRETE
CH	CONCRETE
CI	CONCRETE
CJ	CONCRETE
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XU	CONCRETE
XV	CONCRETE
XW	CONCRETE
XX	CONCRETE
XY	CONCRETE
XZ	CONCRETE
YA	CONCRETE
YB	CONCRETE
YC	CONCRETE

**APPLICATIONS SUBMITTED BY HERMOSA 23124, LLC FOR THE
PROPOSED DOLLAR GENERAL STORE
30 PAGES**

10c

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermosasd.com

FLOODPLAIN DEVELOPMENT PERMIT APPLICATION INFORMATION

AES No.:

DATE 6-15-21

PERMIT # 2021-19

Receipt # <u>980962</u>	Cash <input checked="" type="checkbox"/>	Check # _____	Application Fee <u>\$100.00</u>
-------------------------	--	---------------	---------------------------------

***Please be advised all permits are reviewed by the town engineer; those expenses will be included with the permit fees and applicant will be responsible for those expenses.

OWNER Shannon J. Schult TELEPHONE 605-915-8791

ADDRESS 225 Ferguson St BBox 297

EMAIL Shannsch12@gmail.com

CONTRACTOR me

ADDRESS 225 Ferguson St.

PROJECT LOCATION/DIRECTIONS 225 Ferguson St. North side of concrete driveway, over gravel driveway

PROJECT DESCRIPTION

- | | | |
|---|--|----------------------|
| <input checked="" type="checkbox"/> Single Family Residential | <input checked="" type="checkbox"/> New Construction | _____ Channelization |
| _____ Multi-Family Residential | _____ Substantial (>50%) Improvements | _____ Fill |
| _____ Manufactured (Mobile) Home | _____ Improvements (<50%) | _____ Bridge/Culvert |
| _____ Nonresidential | _____ Rehabilitation | _____ Levee |

Other/Explanations carport, roof with no side walls, will anchor to railroad ties and concrete driveway

Project Valuation: _____ Market Value of Structure: 1,700.00

FLOOD HAZARD DATA

Watercourse Name _____

The project is proposed in the Floodway _____ Floodway Fringe _____

Base (100-year flood elevations(s)) at project site _____

Elevation required for Lowest Floor _____ NAVD/Floodproofing _____ NAVD

Source Documents: Reports/Maps _____

Parcel # 010719
FOR OFFICE USE ONLY

(Lot #, Subdivision, City/Town, State)

COMPLETE IF APPLICABLE TO THIS PROJECT

Does this project involve the placement of an external fuel storage tank? No
Compliance of FEMA regulation CFR44 60.3, (a) (3) requires that all liquid storage tanks be properly anchored.

Does this project involve the placement of a manufactured/mobile home? No
Compliance of FEMA regulation CFR44 60.3, (b) (8) requires that all manufactured/mobile homes be properly anchored.

SS
Initial

In accepting this permit, the applicant understands that all conditions of the permit must be met, all other regulatory permits have been obtained, an elevation certificate will be provided once project is completed, and agrees to allow on-site inspections, as needed during or after construction, to determine compliance with this permit.

SS
Initial

The applicant also acknowledges that he/she is aware of the risks associated with the above development within the Flood Plain and has evaluated that risk.

SS
Initial

The applicant acknowledges that Flood Insurance is available to anyone in an eligible community, which Hermosa is eligible, whether in the Flood Plain or Not.

SS
Initial

It's the Applicants responsibility is to provide copies of the approved documents to all architect(s), engineer(s), general contractor(s) and any other interested parties as are appropriate for each job.

Accepted this 06 day of 15 year 2021.

[Signature]
(Applicant)

PROPOSAL REVIEW CHECKLIST

- Site development plan is complete and depicts flood hazard.
- Engineering data is provided for ~~provided for~~ proposed map and floodway revision.
- Floodway Certification and data document no increase in flood heights.
- Subdivision proposal minimizes flood damage and protects utilities.
- Lowest floor elevation is 1' above the BFE.
- Manufactured homes meet elevation and anchoring requirements.
- A Floodproofing Certificate certifies floodproofing designs.
- Other: _____

PERMIT ACTION

- PERMIT APPROVED WITH CONDITIONS: The information submitted for the proposed project was reviewed and is in compliance with approved floodplain management standards (site development plans are on file). (Building Site Plan)
- PERMIT DENIED: The proposed project does not meet approved floodplain management standards (explanation is on file).
- VARIANCE GRANTED: A variance was granted from the base (100-year) flood elevations established by FEMA consistent with variance requirements of NFIP regulations Part 60.6 (variance action documentation is on file).

Recommendation by Authorized Staff:

Floodplain Administrator's Signature Date

Comments: See Conditions of Approval – page 4 of 4

COMPLIANCE DOCUMENTATION

_____ MAP REVISION DATA: Certified documentation by a registered professional engineer of as-built conditions for floodplain alterations were received and submitted to FEMA for a flood insurance map revision.

_____ FILL CERTIFICATE: A community official certified the elevation, compaction, slope, and slope protection for all fill placed in the floodplain consistent with NFIP regulations Part 65.5 for map revisions.

_____ ELEVATION AND FLOODPROOFING CERTIFICATES: The as-built elevation of the building's lowest floor was certified as _____ NGVD; or the building's floodproofings level was certified as _____ NGVD by a registered professional engineer or licensed surveyor and is on file.

_____ CERTIFICATE OF OCCUPANCY OR COMPLIANCE ISSUED ON _____
Date

APPROVAL CONDITIONS

(Lot #, Subdivision, City/Town, State)

NOTES:

1. Lowest Floor must be 1-foot above the BFE per local ordinance.
2. An elevation certificate will be required following construction to verify compliance.
3. All fill must be placed in accordance with FEMA requirements and cannot be placed to raise natural grade above BFE.
- ④ No (Stick Built) Recommend that the enclosed AREA meet FEMA defined crawl space requirements. (See Tech Bulletin 11-01, Fig. 3)
- ⑤ No (Stick Built) Enclosed space below the BFE must be vented in accordance with FEMA requirements.
- ⑥ No No Mechanical Equipment is allowed below BFE.
- ⑦ No Lowest floor of attached garage **must be** above the BFE or will require venting as an enclosed space.
- ⑧ No Detached Garage is an accessory building and cannot be used for living space and the use cannot be converted at a later time.
- ⑨ No (Modular) Skirting on modular must meet FEMA definitions of Breakaway Skirting or the enclosed space under the modular must meet FEMA requirements of an Enclosed Area, (Vented).
- ⑩ No (Modular) Must be Anchored in accordance with FEMA requirements

It is the Owner's and Builder's responsibility to insure ALL FEMA requirements are understood and complied with before beginning construction in the flood plain.

The BFE is calculated but may change if FEMA reviews – this document provides no guarantee that the calculated BFE will match FEMA's determined BFE.

Flood Insurance can be purchased on this structure and should be evaluated by the Owner.

E WHITNEY ST

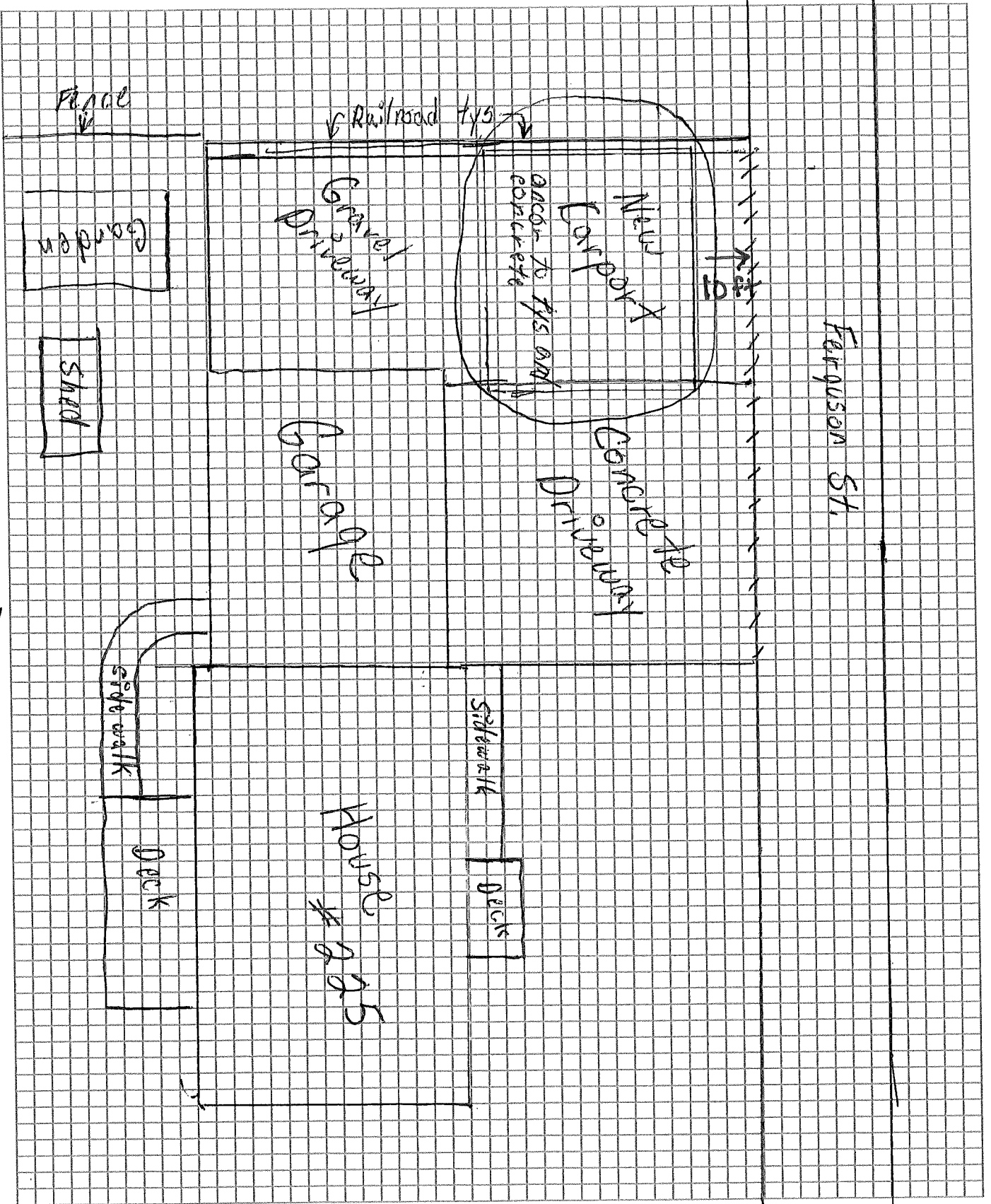


010749

N

E

Ferguson St.



W

S

Jill Dybvig

From: Elmer Claycomb <elclaycomb@gmail.com>
Sent: Thursday, July 1, 2021 6:02 PM
To: Jill Dybvig
Subject: 225 Ferguson

Jill,

Please send me a copy of the original Floodplain Development Permit and elevation certificate for the house if they are in the file.

Thanks

Elmer

CLAYCOMB ENGINEERING
11896 EMERALD ROAD
CUSTER, SD 57730
(605)673-3939
sdcaller@goldenwest.net

July 8, 2021

TOWN OF HERMOSA

FLOODPLAIN ADMINISTRATOR STAFF REPORT: Floodplain Development Permit for construction of a carport on Lot 16, Ferguson Subdivision, 225 Ferguson Street submitted by Shannon Schulz. Permit #2021-19

Physical Conditions

The subject lot is within the Floodway of Battle Creek as delineated on the current FEMA Flood Insurance Rate Map (FIRM). The depth of flow for the 1% return chance event is about 1.2 feet according to the Flood Insurance Rate Map (FIRM) at the location of the proposed structure. A map plotted from the Custer County GIS illustrates the location of the existing home in the Floodway. The Base Flood Elevations (BFE) and existing ground elevations are illustrated on the attached topographic map.

Proposed Construction

The applicant intends to install an open sided carport adjacent to the existing concrete driveway as illustrated on the map included with the Floodplain Development Permit Application. The area beneath the carport would be gravel.

Ordinance Provisions

151.19(B) Encroachments are prohibited, including fill, new construction, substantial improvements and other development within the adopted regulatory floodway unless it has been demonstrated through hydrologic and hydraulic analyses performed in accordance with standard engineering practice that the proposed encroachment would not result in any increase in flood levels within the community during the occurrence of the base flood discharge.

The application does not include any hydraulic analysis as required by 151.19(B). The application should therefore technically be denied until a hydraulic analysis is submitted showing that the proposed encroachment would not result in any increase in flood levels within the community during the occurrence of the base flood event.

Alternatives

An acceptable alternative to submitting a hydraulic analysis would be to lower the ground elevation below the carport area 2 inches to compensate for the area blocked by the posts for the carport.

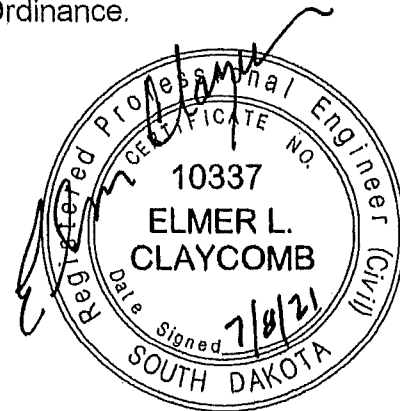
Recommendations

The Floodplain Development Permit is recommended for approval with the stipulation that the ground elevation beneath the carport be lowered 2 inches to compensate for the area blocked by the carport posts. As an alternative, the Permit may be resubmitted with a hydraulic analysis as required by 151.19(B) of the Ordinance.

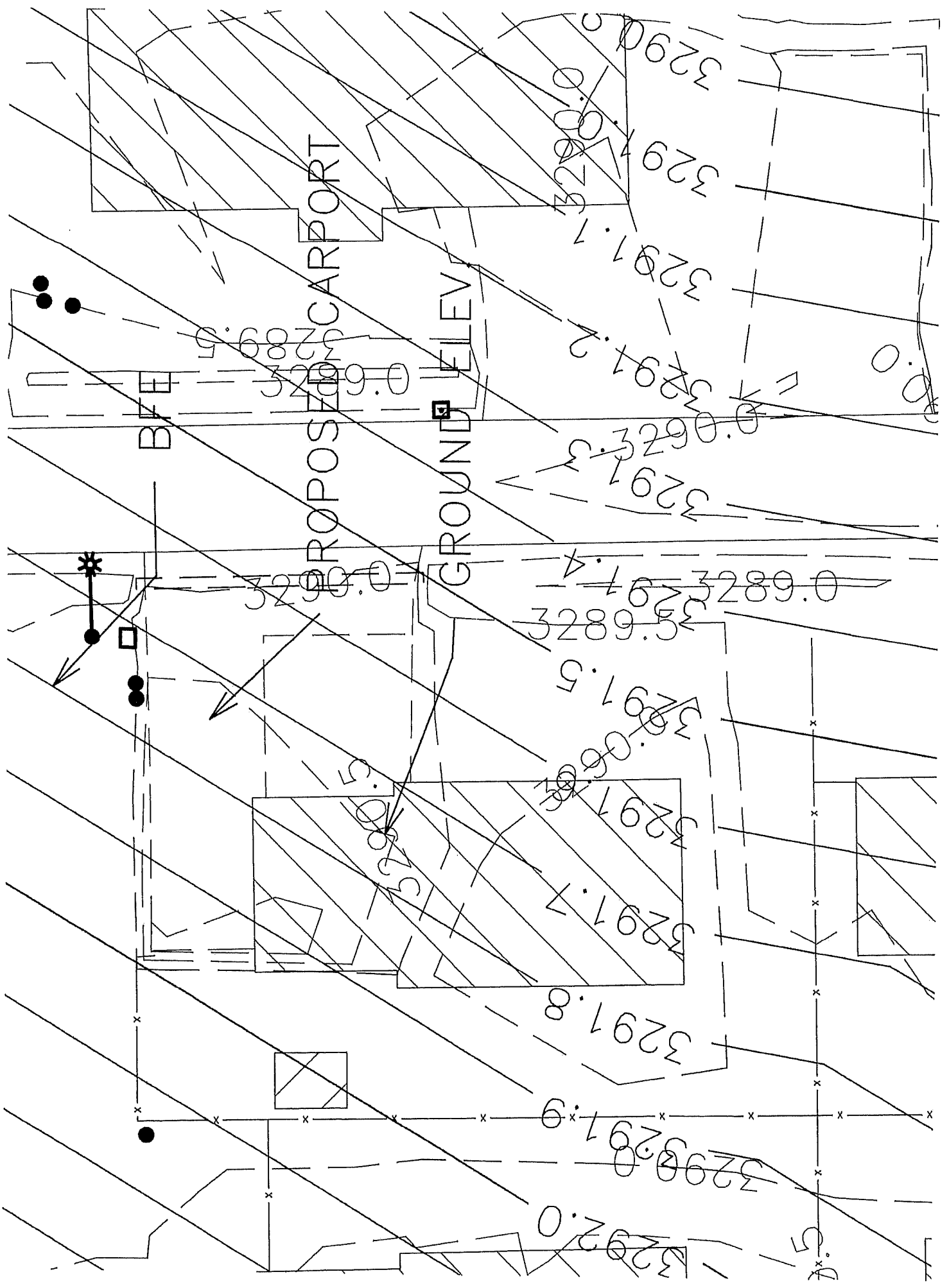
Elmer Claycomb, P.E.
Floodplain Administrator

Attachments:

- BEACON MAP showing site and floodplains
- Topography map showing existing ground & BFE's.
- Permit Application with additions







Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
 Phone (605) 255-4291 • Fax (605) 255-4094
 Email: town@hermosasd.com

FLOODPLAIN DEVELOPMENT PERMIT APPLICATION INFORMATION

AES No.:

DATE 6-15-21

PERMIT # 2021-19

Receipt # <u>980962</u>	Cash <input checked="" type="checkbox"/>	Check # _____	Application Fee <u>\$100.00</u>
-------------------------	--	---------------	---------------------------------

***Please be advised all permits are reviewed by the town engineer; those expenses will be included with the permit fees and applicant will be responsible for those expenses.

OWNER Shannon J. Schulte TELEPHONE 605-415-8791

ADDRESS 225 Ferguson St BBox 297

EMAIL Shannschulz@gmail.com

CONTRACTOR me

ADDRESS 225 Ferguson St.

PROJECT LOCATION/DIRECTIONS 225 Ferguson St. North side of
concr **LOT 16, FERGUSON SUBDIVISION, TOWN OF HERMOSA** ay

PROJECT DESCRIPTION

- | | | |
|---|--|----------------------|
| <input checked="" type="checkbox"/> Single Family Residential | <input checked="" type="checkbox"/> New Construction | _____ Channelization |
| _____ Multi-Family Residential | _____ Substantial (>50%) Improvements | _____ Fill |
| _____ Manufactured (Mobile) Home | _____ Improvements (<50%) | _____ Bridge/Culvert |
| _____ Nonresidential | _____ Rehabilitation | _____ Levee |

Other/Explanations carport, roof with no side walls, will anchor to railroad ties and concrete driveway

Project Valuation: _____ Market Value of Structure: 1,700.00

FLOOD HAZARD DATA

Watercourse Name FERGUSON SPIT FLOW AREA OF BATTLE CREEK

The project is proposed in the Floodway YES _____ Floodway Fringe _____

Base (100-year flood elevations(s)) at project site 3291.9

Elevation required for Lowest Floor NA _____ NAVD/Floodproofing NA _____ NAVD

Source Documents: Reports/Maps CURRENT FEMA FIRM MAP

Parcel # 010719
FOR OFFICE USE ONLY

LOT 16, FERGUSON SUB, HERMOSA, SD

COMPLETE IF APPLICABLE TO THIS PROJECT

Does this project involve the placement of an external fuel storage tank? No
Compliance of FEMA regulation CFR44 60.3, (a) (3) requires that all liquid storage tanks be properly anchored.

Does this project involve the placement of a manufactured/mobile home? No
Compliance of FEMA regulation CFR44 60.3, (b) (8) requires that all manufactured/mobile homes be properly anchored.

MS
Initial

In accepting this permit, the applicant understands that all conditions of the permit must be met, all other regulatory permits have been obtained, an elevation certificate will be provided once project is completed, and agrees to allow on-site inspections, as needed during or after construction, to determine compliance with this permit.

MS
Initial

The applicant also acknowledges that he/she is aware of the risks associated with the above development within the Flood Plain and has evaluated that risk.

MS
Initial

The applicant acknowledges that Flood Insurance is available to anyone in an eligible community, which Hermosa is eligible, whether in the Flood Plain or Not.

MS
Initial

It's the Applicant's responsibility to provide copies of the approved documents to all architect(s), engineer(s), general contractor(s) and any other interested parties as are appropriate for each job.

Accepted this 06 day of 15 year 2021.

[Signature]

(Applicant)

PROPOSAL REVIEW CHECKLIST

- _____ Site development plan is complete and depicts flood hazard.
- _____ Engineering data is provided for ~~provided for~~ proposed map and floodway revision.
- _____ Floodway Certification and data document no increase in flood heights.
- _____ Subdivision proposal minimizes flood damage and protects utilities.
- _____ Lowest floor elevation is 1' above the BFE.
- _____ Manufactured homes meet elevation and anchoring requirements.
- _____ A Floodproofing Certificate certifies floodproofing designs.
- _____ Other: _____

PERMIT ACTION

YES PERMIT APPROVED WITH CONDITIONS: The information submitted for the proposed project was reviewed and is in compliance with approved floodplain management standards (site development plans are on file), (Building Site Plan)

_____ PERMIT DENIED: The proposed project does not meet approved floodplain management standards (explanation is on file).

_____ VARIANCE GRANTED: A variance was granted from the base (100-year) flood elevations established by FEMA consistent with variance requirements of NFIP regulations Part 60.6 (variance action documentation is on file).

Recommendation by Authorized Staff:

Elm Clayton _____ 7/8/21
Floodplain Administrator's Signature Date

Comments: See Conditions of Approval - page 4 of 4

COMPLIANCE DOCUMENTATION

_____ MAP REVISION DATA: Certified documentation by a registered professional engineer of as-built conditions for floodplain alterations were received and submitted to FEMA for a flood insurance map revision.

_____ FILL CERTIFICATE: A community official certified the elevation, compaction, slope, and slope protection for all fill placed in the floodplain consistent with NFIP regulations Part 65.5 for map revisions.

_____ ELEVATION AND FLOODPROOFING CERTIFICATES: The as-built elevation of the building's lowest floor was certified as _____ NGVD; or the building's floodproofing level was certified as _____ NGVD by a registered professional engineer or licensed surveyor and is on file.

_____ CERTIFICATE OF OCCUPANCY OR COMPLIANCE ISSUED ON _____
Date

APPROVAL CONDITIONS

LOT 16, FERGUSON SUB., HERMOSA, SD

NOTES:

1. Lowest Floor must be 1-foot above the BFE per local ordinance.
2. An elevation certificate will be required following construction to verify compliance.
3. All fill must be placed in accordance with FEMA requirements and cannot be placed to raise natural grade above BFE.
- ④ No (Stick Built) Recommend that the enclosed AREA meet FEMA defined crawl space requirements. (See Tech Bulletin 11-01, Fig. 3)
- ⑤ No (Stick Built) Enclosed space below the BFE must be vented in accordance with FEMA requirements.
- ⑥ No No Mechanical Equipment is allowed below BFE.
- ⑦ No Lowest floor of attached garage must be above the BFE or will require venting as an enclosed space.
- ⑧ No Detached Garage is an accessory building and cannot be used for living space and the use cannot be converted at a later time.
- ⑨ No (Modular) Skirting on modular must meet FEMA definitions of Breakaway Skirting or the enclosed space under the modular must meet FEMA requirements of an Enclosed Area, (Vented).
- ⑩ No (Modular) Must be Anchored in accordance with FEMA requirements

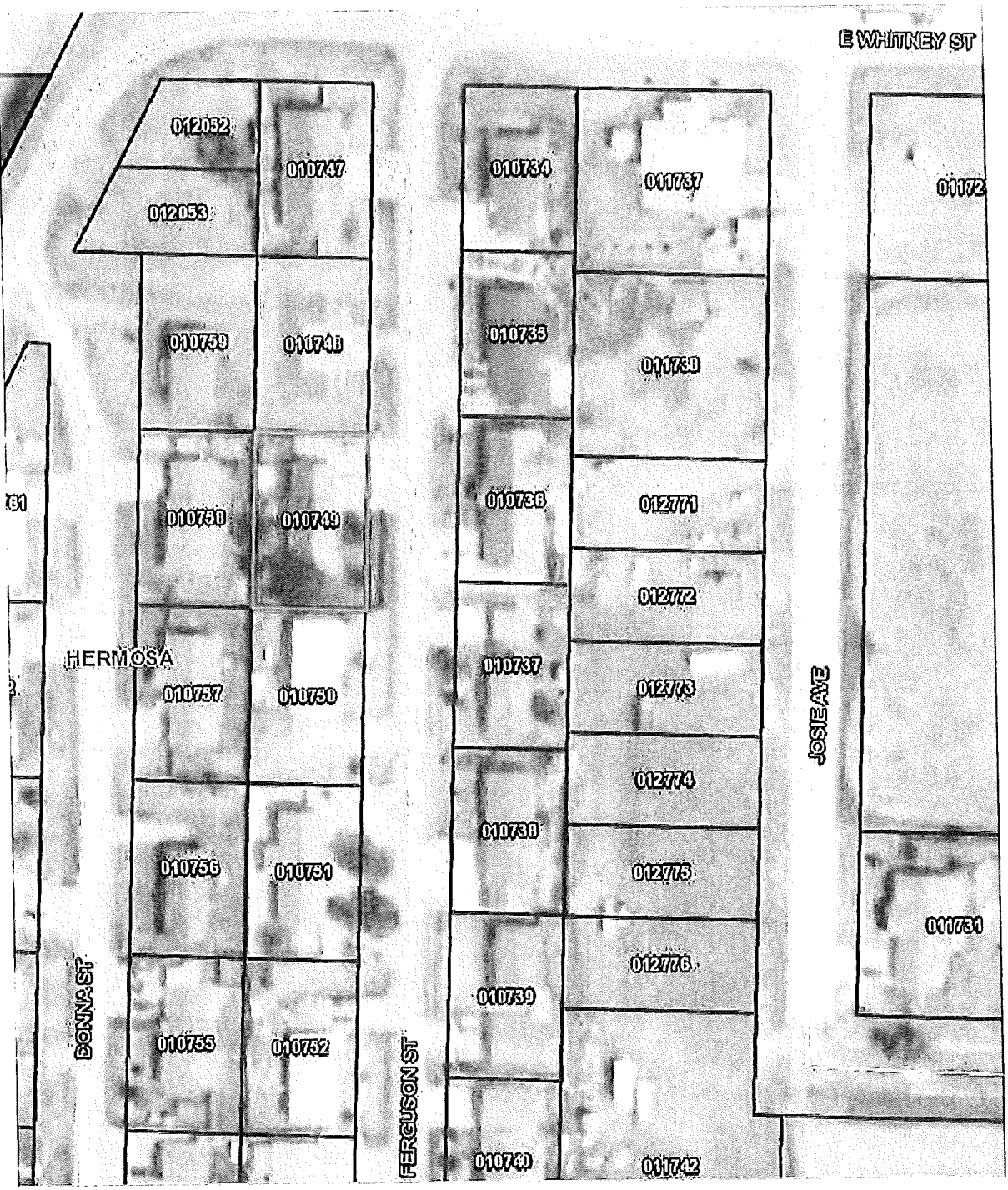
2 INCHES OF GROUND BE REMOVED BENEATH THE CARPORT TO COMPENSATE FOR AREA BLOCKED BY POSTS

It is the Owner's and Builder's responsibility to insure ALL FEMA requirements are understood and complied with before beginning construction in the flood plain.

The BFE is calculated but may change if FEMA reviews – this document provides no guarantee that the calculated BFE will match FEMA's determined BFE.

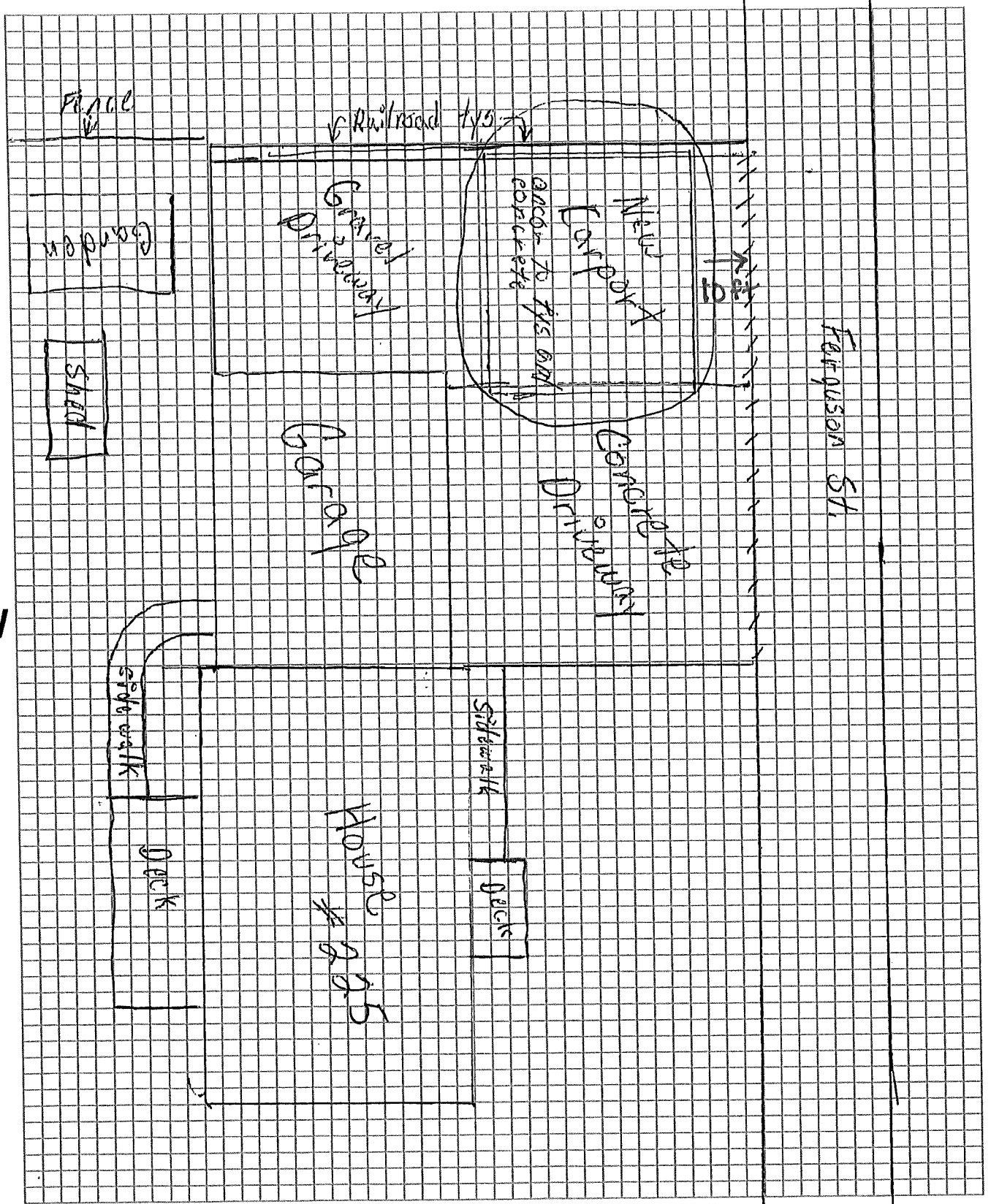
Flood Insurance can be purchased on this structure and should be evaluated by the Owner.

E WHITNEY ST



010749

N



Ferguson St

Newport Corp
Concrete Driveway

Garage

Garden

Shed

House # 225

Sidewalk

Deck

Sidewalk

Deck

W

E

S

Town of Hermosa

100

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermosasd.com

RESIDENTIAL BUILDING PERMIT APPLICATION

(This Building Permit is Valid for One Year – Please See Page 3 for Exceptions)

DATE 6/25/2021

PERMIT # 2021-22

Receipt # _____	Cash _____	Check # <u>1954</u>	Amount <u>5000</u>
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** PLEASE INCLUDE TO-SCALE DRAWINGS **

APPLICATION SUBMITTED BY:

Property Owner Name(s) Pulis Construction

Mailing Address 5670 Doubletree Rd

City Rapid City State SD Zip 57702

Email 67fpulis@gmail.com

Phone # Home 341-0280 Cell 390-7533 Work _____

LEGAL DESCRIPTION

Subdivision name: Hermosa Hills Lot # 9 Block _____ Lot Size _____

Zoning District R1 Is this property in the Flood Plain? Yes _____ No

Building address: 830 Marie St.

CLASS OF WORK TO BE DONE

New structure Demolition _____ Remodel _____ Addition _____

Residential: Single Family Accessory _____ Multi-Family _____

Proposed Use Building: Single Family Dwelling

Building Area (Sq. Ft.): 1200 Height: 15' # of Units _____

No. of Stories: 1 No. of Bathrooms: 2 Deck: 4x6 Deck Area (Sq. Ft.): 48

SETBACK FROM LOT LINES:	FEET	CITY MINIMUM
Front _____	_____	Applicable Zoning District (20'/25')
Rear _____	_____	(5'/8'/15')
Sides _____	_____	(8'/10'/25')

Parcel # 015176 OFFICE USE ONLY

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermosasd.com

TYPE OF CONSTRUCTION

Wood Concrete _____ Block _____ Brick _____ Modular _____ Other _____

FOUNDATION

Thickness of Foundation 8" Thickness of footings 8" Width of Footings 24" Depth 42"
Pier Foundation System: _____ Diameter of pier _____ Spacing of pier _____

CONTRACTOR INFORMATION

Contractors must all be registered with the Town of Hermosa

General Contractor (Project POC/responsible party): Pulis Construction Phone: 390-7533

Structural Contractor: _____ Phone: _____

Electrical Contractor: _____ Phone: _____

Plumbing Contractor: _____ Phone: _____

Heat/Mechanical Contractor: _____ Phone: _____

Excavation Contractor: Pulis Construction Phone: 390-7533

Are there any of the following on site: Hazardous materials Yes _____ No
Lead paint Yes _____ No
Asbestos Yes _____ No

Does the building have a Historical Designation: Yes _____ No

Current utilities on site: Gas _____ Water Electricity Municipal Sewer Septic _____

Proposed utilities: _____

Describe Work: Install governor's home on cranspace
Build unattached garage

TOTAL COST ESTIMATE OF IMPROVEMENTS: \$ 150,000

TOTAL SQUARE FOOTAGE OF PROJECT: 1200

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

Every permit issued by the Planning Department under the provisions of this code shall expire by limitation and become null and void if the building or the work authorized by such permit is commenced within 12 months from the date of such permit or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of one year. If so, before such work can be re-started, an extension of the permit shall be first obtained to do so, and a service charge of \$35.00 shall be required, provided no changes have been made or will be made in the original plans and specifications for such work. Provided that such suspension or abandonment has not exceeded two (2) years.

In filing this application, I hereby grant to the Hermosa Planning & Zoning commission, and the Hermosa Town Board, and their designee(s), permission to inspect any and all structures and land involved in my application for the purpose of ascertaining compliance with the ordinance of the Town of Hermosa and the State of South Dakota which permission shall continue so long as the application or an appeal there-on is pending. It is my responsibility to ensure the presence of the Town Maintenance Supervisor during water and sewer connections.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BEFORE OCCUPYING STRUCTURE.

Signature(s) of Owner(s) (If Owner Builder)

Date

Trent Q. Puli

6/25/2021

Signature(s) of Contractor/Authorized Agent

Date

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT

PLANNING AND ZONING COMMISSION	HERMOSA BOARD OF TRUSTEES
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
NAME: _____	NAME: _____
TITLE: _____	TITLE: _____
SIGNATURE: _____	SIGNATURE: _____
DATE: _____	DATE: _____
APPLICATION FEE: <u>\$50.00</u> DATE PAID: <u>6.25.21</u>	DATE PERMIT ISSUED: _____

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermsoasd.com

DIGGING/GRADING PERMIT

DATE 6/25/2021

PERMIT # 2021-22

Receipt # _____	Cash _____	Check # <u>1954</u>	Amount <u>35⁰⁰--</u>
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All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not presume to give authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other local law or ordinance regulating construction or the performance of construction in the Town of Hermosa.

Sketch and/or describe work: (use separate sheet, or attach grading plan)

Will grading operation be located in the floodplain? _____ Yes No

If yes, have ordinance requirements been met? _____ Yes No

Will drainage patterns be altered? _____ Yes No

Will grading operation take place in a geologically hazardous area? _____ Yes No

If yes, have proper precautions been taken? _____ Yes _____ No

Quantity of Grading or Excavation: 200 Cubic Yards Area to be disturbed by proposed work: .2 acres

Identify types of erosion control to be applied: _____

Source/Destination of materials: _____

Provide traffic control per Manual on Uniform Traffic Control Devices.

Hard route: _____

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached? _____ Yes No _____ N/A

This permit will expire one year from date of issuance.

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Name Pulis Construction

Lot Address Lot 9 Hermosa Hills

Mailing Address 5670 Dowshee Rd Rapid City, SD 57702

Email 67pulis@gmail.com

Legal Description _____

Telephone # 341-0280 Cellphone # 390-7533

Relationship to Property: _____ Owner Contractor _____ Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

Signature Trent Q. Pulis Date 6/24/2021

<p>PLANNING AND ZONING COMMISSION</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____</p> <p>TITLE: _____</p> <p>SIGNATURE: _____</p> <p>DATE: _____</p> <p>APPLICATION FEE: <u>\$35.00</u> DATE PAID: <u>6-25-21</u></p>	<p>HERMOSA BOARD OF TRUSTEES</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____</p> <p>TITLE: _____</p> <p>SIGNATURE: _____</p> <p>DATE: _____</p> <p>DATE PERMIT ISSUED: _____</p>
---	--

Parcel # 615174 OFFICE USE ONLY

In accordance with Federal law and U.S. Department of Agriculture policy, this institution is prohibited from discriminating on the basis of race, color, national origin, age, disability, religion, sex, and familial status. (Not all prohibited bases apply to all programs.) To file a complaint of discrimination, write USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD).



STAFF REPORT

MUNICIPALITY: Town of Hermosa, 230 Main Street, Hermosa, SD 57744
PROJECT: Pulis Construction
830 Marie Street, Lot 9, Hermosa Hills Subdivision
Hermosa, SD
DATE: July 7, 2021
PERMIT NUMBER: 2021-22
REPORTED BY: Leah M. Berg, P.E.

ITEMS:

Conditions:

The site is located on the north side of Marie Street, west of Walter Street, Hermosa Hills Subdivision.

Flood Plain:

Based on the flood map overlay, the lot is NOT located in any identified special hazard area (floodplain).

Zoning:

Zoning is R-1 and single family is a permitted use.

Water and Sewer service:

Existing water and sewer service has been stubbed to the lot.

It is the contractor's responsibility to verify the existing services will meet code requirements and properly serve the proposed home.

Setbacks:

For R-1 zoning, the following setbacks are required:

Main Structure:

Front: 20 feet
Side: 10 feet Main Structure
Rear: 15 feet main

Accessory Structure:

Front yard unattached structures: 25 feet
Side yard unattached structures: 8 feet
Rear yard unattached structures: 5 feet

Per the attached site plan: The setbacks are met.
The site plan indicates a front setback of 25 – 20 feet is allowed.
The front deck is in the 25-foot area.
The deck is 6' x 4' plus stairs. A portion of the stairs will likely be in the 25- foot setback.

It is the contractor's responsibility to verify the required setbacks are met.

The lot coverage is less than 40% - OK

Access:

Access will be from Marie Street. The driveway culvert needs to be sized to accommodate the design flows. No size provided in the application.

Foundation:

The permit indicates a standard footing and foundation wall, 8 inches thick, 8" x 24" footing at 42-inch depth.

The application includes an option for a basement/crawlspace but does not indicate what is being provided.

The contractor is responsible for sizing the footing, foundation wall and any reinforcing required. No soils information is provided. The contractor is responsible for verification of soil bearing pressures for the foundation.

Radon Testing: Not applicable.

It is not a requirement of the Town's ordinances, however, one of the homes in Hermosa Hills has tested and found radon. It is HIGHLY RECOMMENDED that radon testing be conducted, and radon mitigation be done during construction if needed.

Comments:

1. Contractor to verify the existing utility service location will properly service the home.
2. Site drainage must be maintained.
3. Driveway culvert sized for design flow.
4. No structural evaluation was completed as part of this review.
5. Contractor to ensure setbacks are met.

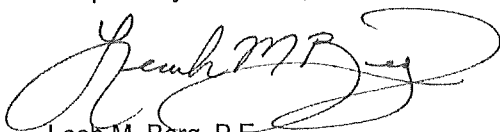
Recommendations – Permit 2021-22:

Based on the application information, the permit complies with the Town of Hermosa's requirements.

Recommendation is to approve with the following stipulations:

1. Setbacks must be met.
2. Applicant needs to verify if a crawlspace or basement is being provided.
3. Appropriate drainage must be maintained on the site.
4. Contractors must be licensed in Hermosa and carry required insurance.
5. All construction must meet applicable code requirements as well as Town Ordinance requirements.
6. All fees to be paid prior to issuing permit.
7. Applicable inspections must be performed by the Town of Hermosa.

Respectfully submitted,



Leah M. Berg, P.E.

LBerg@proacesinc.com

END OF STAFF REPORT

015391

015408

015179

015170

015177

015176

015175

MARIE ST

015180

015181

015182

015183

015184

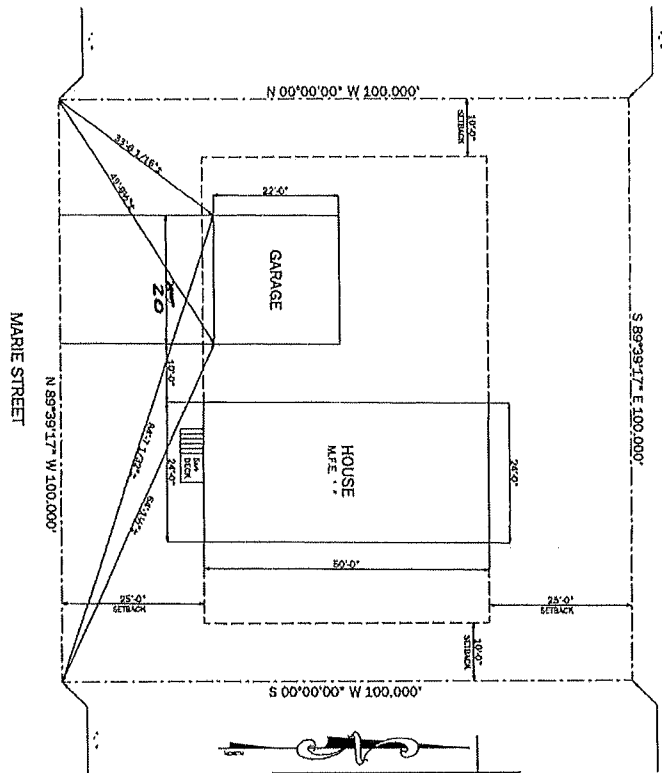
015185

015186

HERMOSA

015402

15178



PLOT PLAN

HERMOSA HILLS ADDITION
FOR LOT 9

CUSTER COUNTY
SOUTH DAKOTA

SCALE: 1" = 20'

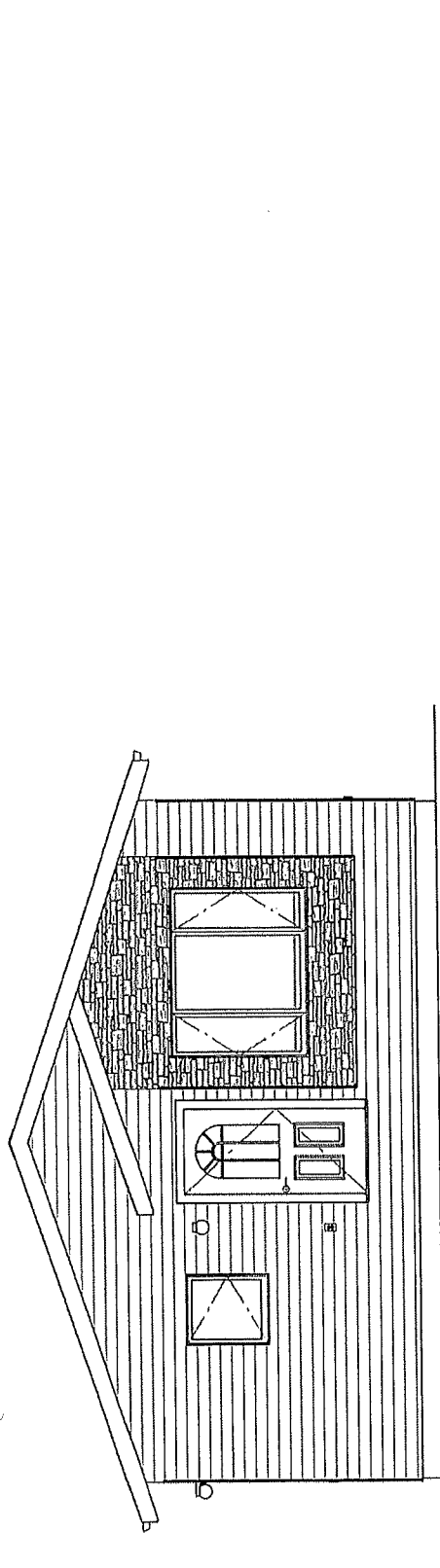
WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE PLANS TO AVOID MISTAKES, THE DRAFTER/CANONICANT GUARANTEE AGAINST HUMAN ERROR, THE CONTRACTOR ON THE OTHER SIDE OF THE ALL DIMENSIONS AND OTHER DETAILS AND BE RESPONSIBLE FOR THE SAME.

06/16/21

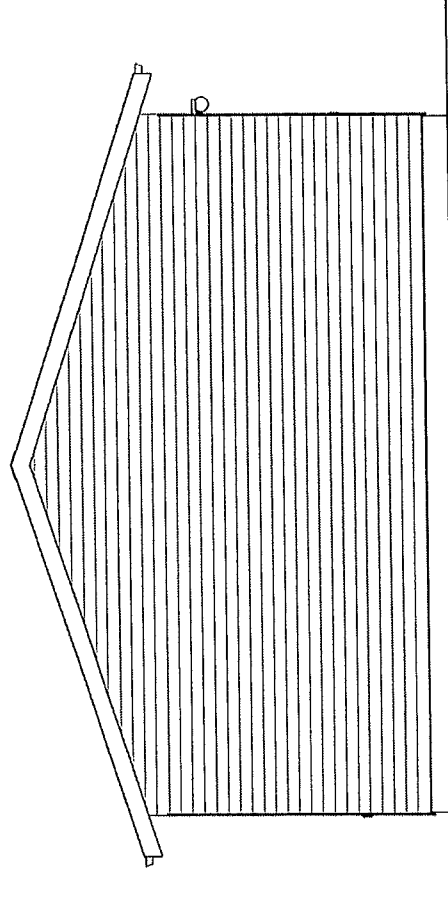
VERIFY W/ G.C. OR OWNER ON LOCATION OF HOUSE ON SITE. GENERAL CONTRACTOR TO VERIFY ALL SETBACKS PRIOR TO START OF PROJECT. BUILDERS FIRST SOURCE SITE PLAN IS INTENDED FOR PERMITS ONLY. IT IS RECOMMENDED THAT THE HOUSE BE PLACED ON THE LOT BY A REGISTERED LAND SURVEYOR

Matthew Ray 6-17-21

AEDJ 6-17-21

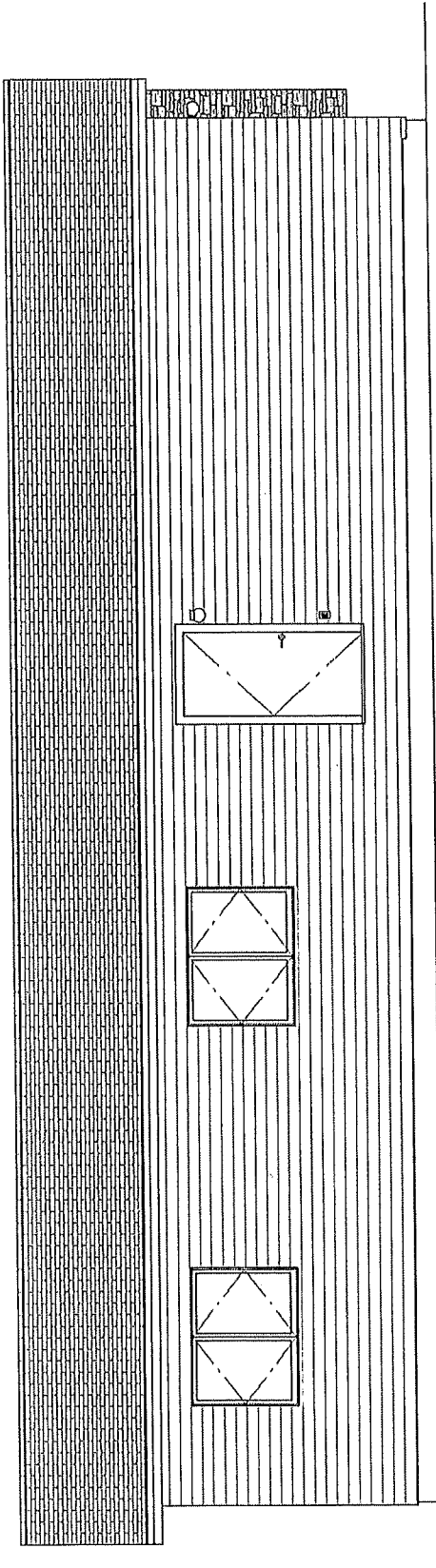


Front Elevation 1/4"=1'



Rear Elevation 1/4"=1'

**Governor's House Narrow Lot
3-Bed Door Left (standard)**

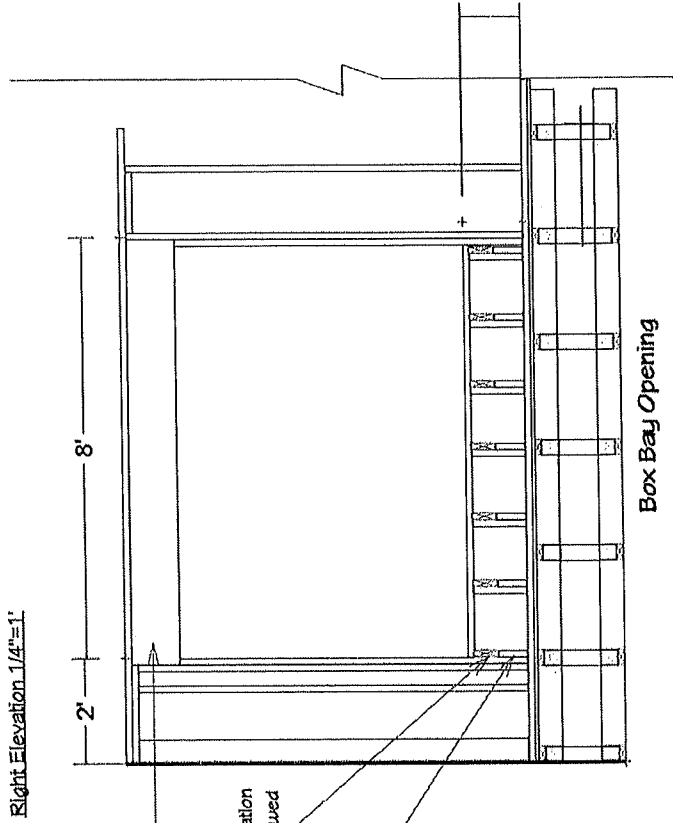
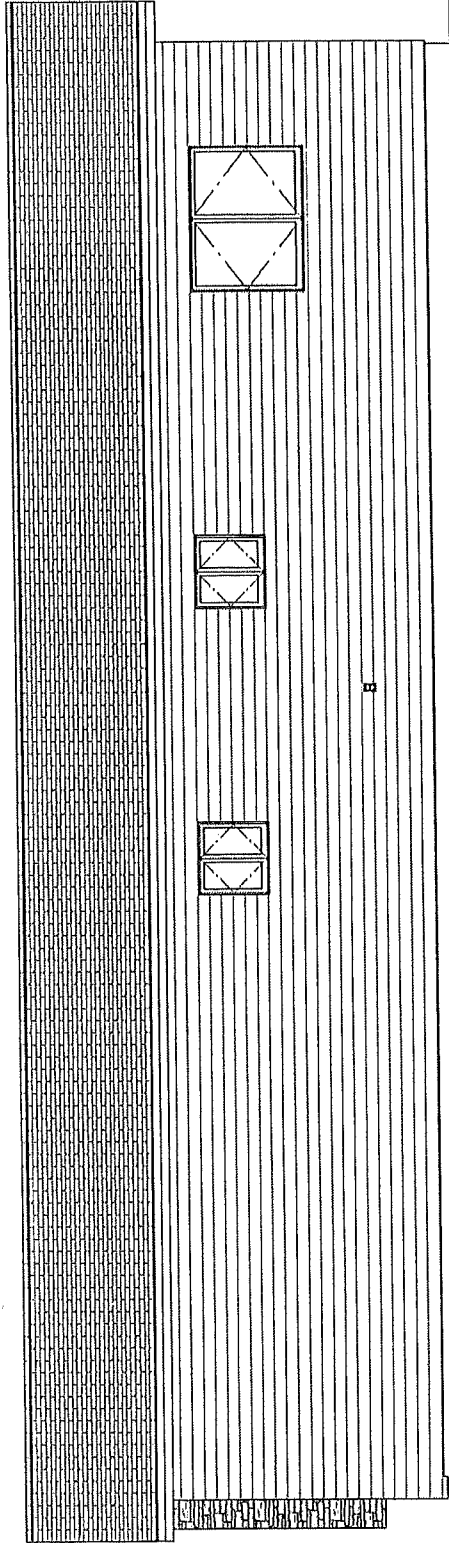


Left Elevation 1/4"=1'

Window Schedule		
Type	R.O. Size	Style
A	60"x48"	Casement
B	30"x36"	Casement
C	30"x30"	Casement
D	72"x60"	Triple Casement

Door Schedule			
Type	Size	R.O. Size	Style
A	3'-0"x6'-8"	38 1/2"x82 1/2"	Ins. Steel w/ Lite
B	3'-0"x6'-8"	38 1/2"x82 1/2"	Ins Steel
D	3'-0"x6'-8"	38 1/2"x82 1/2"	Wood Passage
E	3'-0"x6'-8"	38 1/2"x82 1/2"	Wood Bifold
G	5'-0"x6'-8"	62 1/2"x82 1/2"	Wood Bifold

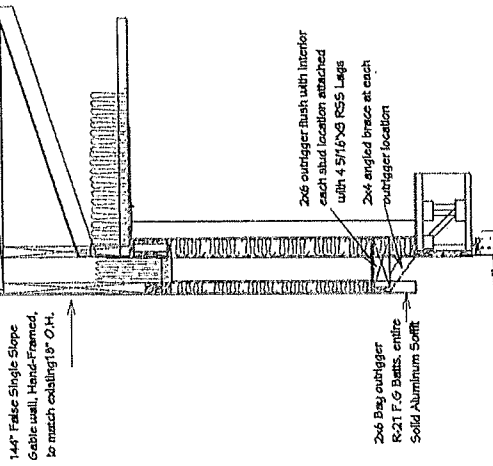
**Governor's House Narrow Lot
3-Bed Door Left (standard)**



Dbl. 2x12 Header at opening

2x6 Outriggers at each stud location
Attach flush to interior stud, screwed
with 4 - 5/16x3" RSS Lags

2x6 Blocking under each
outrigger con't to floor



144" False Single Slope
Gable wall, Hand-Framed,
to match existing 18" O.H.

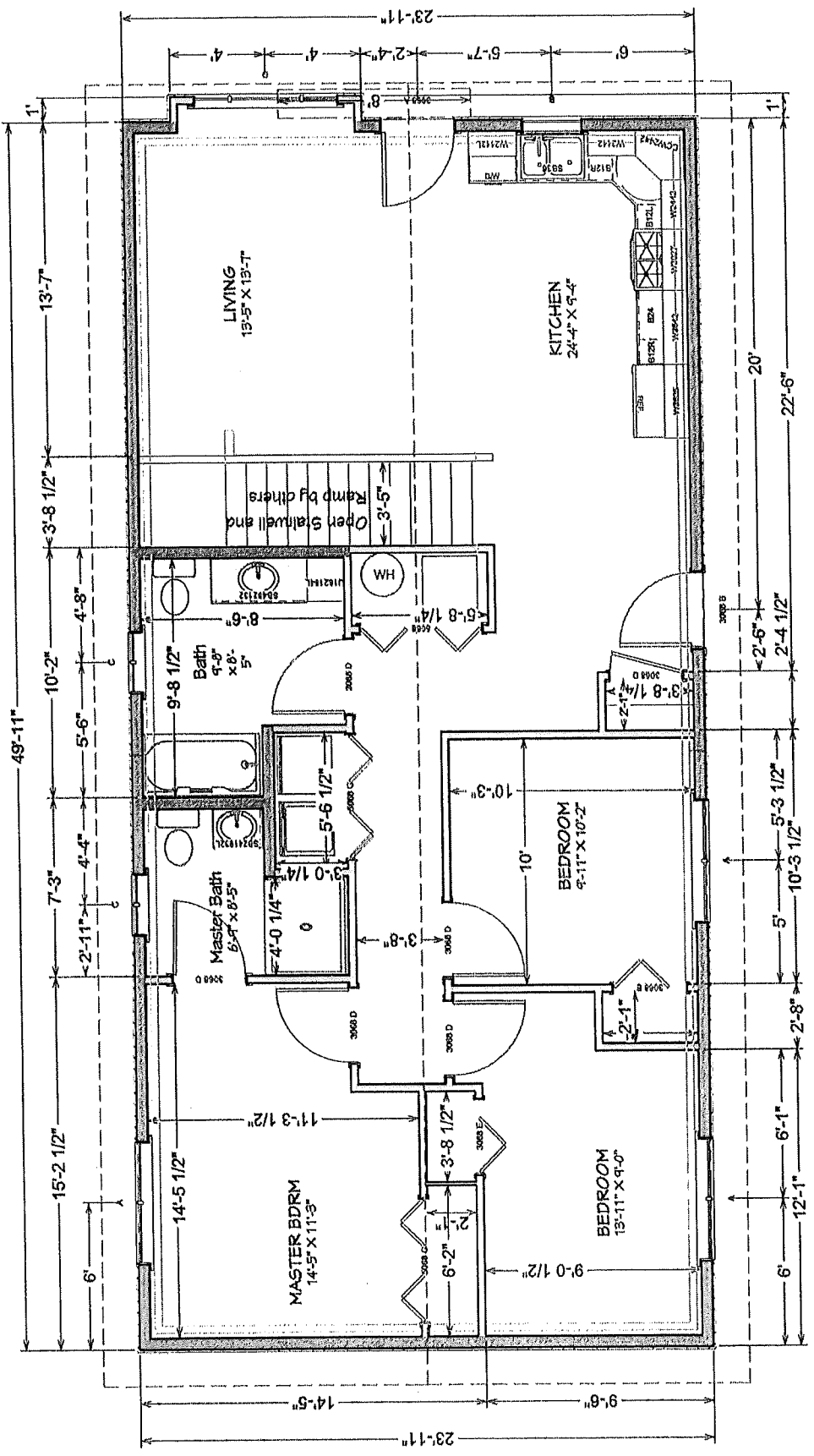
2x6 outrigger flush with interior
each stud location attached
with 4 5/16x3 RSS Lags

2x4 angled brace at each
outrigger location

2x6 Bag outrigger
R-21 P.G Batts, entire
Solid Aluminum Soffit

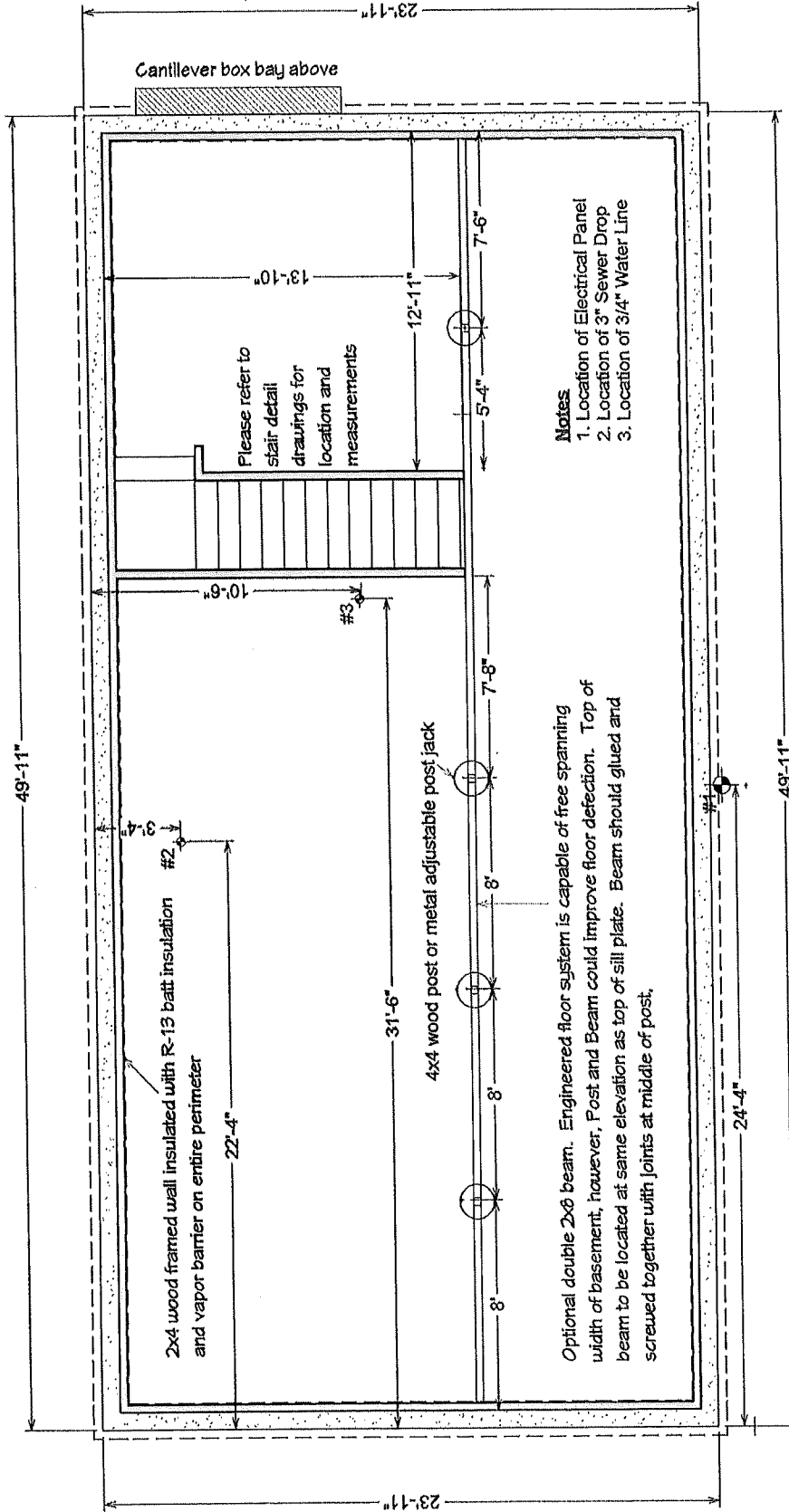
Box Bay Section

**Governor's House Narrow Lot
3-Bed Door Left (standard)**



Dimensions are Framing Dimension
 Verify surface dimension upon ordering
 1/4" = 1'

Governor's House Narrow Lot
 3-Bed Door Left (standard)



General Notes:
 These Plans are meant to be a guide for foundation construction only. Because local codes and conditions vary widely across the state, owner/contractor should consult with local code officials and verify soil conditions prior to beginning work. Wall dimensions, blocking locations, reinforcement type and footing details could change substantially from location to location.

Note:
 The Governor's House is designed to be placed on an insulated and sealed basement. It should be treated as a conditioned area. Supply air to 1 CFM per 50 CFM of volume should be routed to the area from the existing main floor duct system and an equal quantity of return air provided from the existing return duct system.

**Governor's House Narrow Lot
 3-Bed Door Left (standard)**

Town of Hermosa

PO Box 298 * 230 Main St. Hermosa, SD

605-255-4291

Email: town@hermosasd.com

Pre-Inspection Form

To be retained in permanent file

Customer Name	Permit #	Date
Pulis Construction	2021-22	6-28-21

Site Address	Parcel #
830 Marie St. - Lot 9	015178

MUST MEET ALL PERMIT REQUIREMENTS

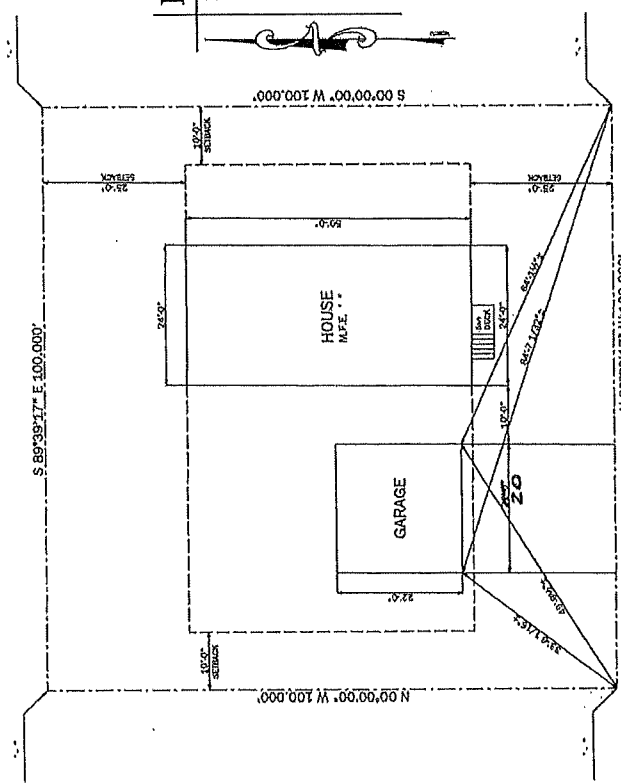
Inspection

1. Walked site YES
2. Lot measurement _____ X _____
3. Lot usage Res (40%)
4. Suitability of lot for proposed construction GOOD
 - A. Fill needed NO
 - B. Excavation/Trenching needed YES
5. Utilities properly located on lot YES
6. Check for any easements YES
7. Check for Pins or Survey YES

Inspection Notes		
LOT 10	LOT 9	LOT 8 Drainage Ditch Jefford House

Inspectors Signature
<i>Chuck Ferguson</i>

See Plat Plan



PLOT PLAN

HERMOSA HILLS ADDITION
 FOR LOT 9
 CUSTER COUNTY
 SOUTH DAKOTA
 SCALE: 1" = 20'

WHILE EVERY ATTEMPT HAS BEEN MADE
 IN THE PREPARATION OF THESE PLANS TO
 AVOID MISTAKES, THE DRAFTSMAN CANNOT
 GUARANTEE AGAINST HUMAN ERROR. THE
 CONTRACTOR ON THE JOB MUST CHECK
 ALL DIMENSIONS AND OTHER DETAILS
 AND BE RESPONSIBLE FOR THE SAME.

06/16/21

VERIFY W/ G.C. OR OWNER ON LOCATION OF HOUSE
 ON SITE. GENERAL CONTRACTOR TO VERIFY ALL SETBACKS
 PRIOR TO START OF PROJECT. BUILDERS FIRST SOURCE SITE PLAN
 IS INTENDED FOR PERMITS ONLY. IT IS RECOMMENDED THAT
 THE HOUSE BE PLACED ON THE LOT BY A REGISTERED LAND SURVEYOR

LOT 9

MARIE STREET

6-17-21 *AEJ*
 6-17-21 *AEJ*

Town of Hermosa

10E

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermosasd.com

RESIDENTIAL BUILDING PERMIT APPLICATION

(This Building Permit is Valid for One Year – Please See Page 3 for Exceptions)

DATE 6/26/2021

PERMIT # 2021-23

Receipt # _____	Cash _____	Check # <u>1954</u>	Amount <u>50⁰⁰</u>
-----------------	------------	---------------------	-------------------------------

** PLEASE INCLUDE TO-SCALE DRAWINGS **

Is Property in the Flood Plain? ___ Yes ___ No Zoning District _____

IF YES – YOU NEED A FLOODPLAIN DEVELOPMENT PERMIT

APPLICATION SUBMITTED BY:

Property Owner Name(s) Pulis Construction

Mailing Address 5670 Doubletree Rd

City Rapid City State SD Zip 57702

Email 67hpulis@gmail.com

Phone # Home 341-0280 Cell 390-7533 Work _____

LEGAL DESCRIPTION

Subdivision name: Hermosa Hills Lot # 10 Block _____ Lot Size .2

Zoning District R1 Is this property in the Flood Plain? Yes ___ No X

Building address: 840 Marie St.

CLASS OF WORK TO BE DONE

New structure X Demolition _____ Remodel _____ Addition _____

Residential: Single Family X Accessory _____ Multi-Family _____

Proposed Use Building: Single Family Dwelling

Building Area (Sq. Ft.): 1200 Height: 15' # of Units _____

No. of Stories: 1 No. of Bathrooms: 2 Deck: 2-4x6 Deck Area (Sq. Ft.): 48

SETBACK FROM LOT LINES:	FEET	CITY MINIMUM
Front <u>12.5</u>	_____	Applicable Zoning District (20'/25')

Parcel # 01517A
OFFICE USE ONLY

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

Rear 128
Sides _____

(5'8"/15')

(8'/10'/25')

TYPE OF CONSTRUCTION

Wood _____ Concrete Block _____ Brick _____ Modular _____ Other _____

FOUNDATION

Thickness of Foundation 8" Thickness of footings 8" Width of Footings 24" Depth 3/2"
Pier Foundation System: _____ Diameter of pier _____ Spacing of pier _____

CONTRACTOR INFORMATION

Contractors must all be registered with the Town of Hermosa

General Contractor
(Project POC/responsible party): Pulis Construction Phone: 390-7533

Structural Contractor: _____ Phone: _____

Electrical Contractor: work already Phone: _____

Plumbing Contractor: Completed Governor Home Phone: _____

Heat/Mechanical Contractor: _____ Phone: _____

Excavation Contractor: Pulis Construction Phone: 390-7533

Are there any of the following on site: Hazardous materials Yes _____ No
Lead paint Yes _____ No
Asbestos Yes _____ No

Does the building have a Historical Designation: Yes _____ No

Current utilities on site: Gas _____ Water Electricity Municipal Sewer Septic _____

Proposed utilities: _____

Describe Work: Install Governors Home w/ attached garage

TOTAL COST ESTIMATE OF IMPROVEMENTS: \$ 150,000

TOTAL SQUARE FOOTAGE OF PROJECT: 1200

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094


Email: town@hermosasd.com

Every permit issued by the Planning Department under the provisions of this code shall expire by limitation and become null and void if the building or the work authorized by such permit is commenced within 12 months from the date of such permit or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of one year. If so, before such work can be re-started, an extension of the permit shall be first obtained to do so, and a service charge of \$35.00 shall be required, provided no changes have been made or will be made in the original plans and specifications for such work. Provided that such suspension or abandonment has not exceeded two (2) years.

In filing this application, I hereby grant to the Hermosa Planning & Zoning commission, and the Hermosa Town Board, and their designee(s), permission to inspect any and all structures and land involved in my application for the purpose of ascertaining compliance with the ordinance of the Town of Hermosa and the State of South Dakota which permission shall continue so long as the application or an appeal there-on is pending. It is my responsibility to ensure the presence of the Town Maintenance Supervisor during water and sewer connections.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BEFORE OCCUPYING STRUCTURE.



Signature(s) of Owner(s) (If Owner Builder)

6/25/2021

Date

Signature(s) of Contractor/Authorized Agent

Date

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT

PLANNING AND ZONING COMMISSION	HERMOSA BOARD OF TRUSTEES
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
NAME: _____	NAME: _____
TITLE: _____	TITLE: _____
SIGNATURE: _____	SIGNATURE: _____
DATE: _____	DATE: _____
APPLICATION FEE: <u>\$50.00</u> DATE PAID: _____	DATE PERMIT ISSUED: _____

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermsoasd.com

DIGGING/GRADING PERMIT

DATE 6/25/2021

PERMIT # 2021-23

Receipt # _____	Cash _____	Check # _____	Amount _____
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All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not presume to give authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other local law or ordinance regulating construction or the performance of construction in the Town of Hermosa.

Sketch and/or describe work: (use separate sheet, or attach grading plan)

Will grading operation be located in the floodplain?	_____ Yes	<input checked="" type="checkbox"/> No
If yes, have ordinance requirements been met?	_____ Yes	<input checked="" type="checkbox"/> No
Will drainage patterns be altered?	_____ Yes	<input checked="" type="checkbox"/> No
Will grading operation take place in a geologically hazardous area?	_____ Yes	<input checked="" type="checkbox"/> No
If yes, have proper precautions been taken?	_____ Yes	_____ No

Quantity of Grading or Excavation: 200 Cubic Yards Area to be disturbed by proposed work: _____ acres

Identify types of erosion control to be applied: _____

Source/Destination of materials: _____

Provide traffic control per Manual on Uniform Traffic Control Devices.

Hard route: _____

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached? _____ Yes No _____ N/A

This permit will expire one year from date of issuance.

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Name Polis Construction

Lot Address _____

Mailing Address _____

Email _____

Legal Description Lot 10

Telephone # 390-7533 Cellphone # _____

Relationship to Property: _____ Owner Contractor _____ Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

Signature [Signature] Date 6/25/2021

PLANNING AND ZONING COMMISSION <input type="checkbox"/> Approved <input type="checkbox"/> Denied NAME: _____ TITLE: _____ SIGNATURE: _____ DATE: _____ APPLICATION FEE: <u>\$35.00</u> DATE PAID: _____	HERMOSA BOARD OF TRUSTEES <input type="checkbox"/> Approved <input type="checkbox"/> Denied NAME: _____ TITLE: _____ SIGNATURE: _____ DATE: _____ DATE PERMIT ISSUED: _____
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Parcel # 01517A OFFICE USE ONLY



STAFF REPORT

MUNICIPALITY: Town of Hermosa, 230 Main Street, Hermosa, SD 57744
PROJECT: Pulis Construction
840 Marie Street, Lot 10, Hermosa Hills Subdivision
Hermosa, SD
DATE: July 7, 2021
PERMIT NUMBER: 2021-23
REPORTED BY: Leah M. Berg, P.E.

ITEMS:

Conditions:

The site is located on the north side of Marie Street, west of Walter Street, Hermosa Hills Subdivision.

Flood Plain:

Based on the flood map overlay, the lot is NOT located in any identified special hazard area (floodplain).

Zoning:

Zoning is R-1 and single family is a permitted use.

Water and Sewer service:

Existing water and sewer service has been stubbed to the lot. Chuck F. has verified the stubs are in place and noted that on the Pre-Inspection Form attached.

It is the contractor's responsibility to verify the existing services will meet code requirements and properly serve the proposed home.

Setbacks:

For R-1 zoning, the following setbacks are required:

Main Structure:

Front: 20 feet
Side: 10 feet Main Structure
Rear: 15 feet main

Accessory Structure:

Front yard unattached structures: 25 feet
Side yard unattached structures: 8 feet
Rear yard unattached structures: 5 feet

Per the attached site plan: The setbacks are met.

The site plan indicates a front setback of 25 – 20 feet is allowed.

The site plan shows one deck, however, the permit indicates two. Assumed at front and rear doors to home/garage. If garage has a side walk door, the deck would be located within the setback.

The deck shown is 6' x 4' plus stairs.

It is the contractor's responsibility to verify the required setbacks are met.

The lot coverage is less than 40% - OK

Access:

Access will be from Marie Street. The driveway culvert needs to be sized to accommodate the design flows. No size provided in the application.

Foundation:

The permit indicates a standard footing and foundation wall, 8 inches thick, 8" x 24" footing at 42-inch depth.

The application does not indicate a crawlspace being provided. Assumed stairs in floorplan will be eliminated.

The contractor is responsible for sizing the footing, foundation wall and any reinforcing required. No soils information is provided. The contractor is responsible for verification of soil bearing pressures for the foundation.

Radon Testing: Not applicable.

It is not a requirement of the Town's ordinances, however, one of the homes in Hermosa Hills has tested and found radon. It is HIGHLY RECOMMENDED that radon testing be conducted, and radon mitigation be done during construction if needed.

Comments:

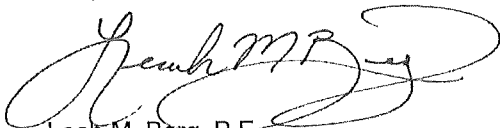
1. Contractor to verify the existing utility service location will properly service the home.
2. Applicant needs to verify deck information and location so setbacks can be verified.
3. Site drainage must be maintained.
4. Driveway culvert sized for design flow.
5. No structural evaluation was completed as part of this review.
6. Contractor to ensure setbacks are met.

Recommendations – Permit 2021-23:

Based on the application information, the permit complies with the Town of Hermosa's requirements. Recommendation is to approve with the following stipulations:

1. Setbacks must be met (no decks shall be located within the setback(s))
2. Appropriate drainage must be maintained on the site.
3. Contractors must be licensed in Hermosa and carry required insurance.
4. All construction must meet applicable code requirements as well as Town Ordinance requirements.
5. All fees to be paid prior to issuing permit.
6. Applicable inspections must be performed by the Town of Hermosa.

Respectfully submitted,



Leah M. Berg, P.E.

LBerg@proacesinc.com

END OF STAFF REPORT



015103

015179

015170

015177

015178

015175

MARIE ST

015180

015181

015182

015183

015184

015185

015186

HERMOSA

015402

015179

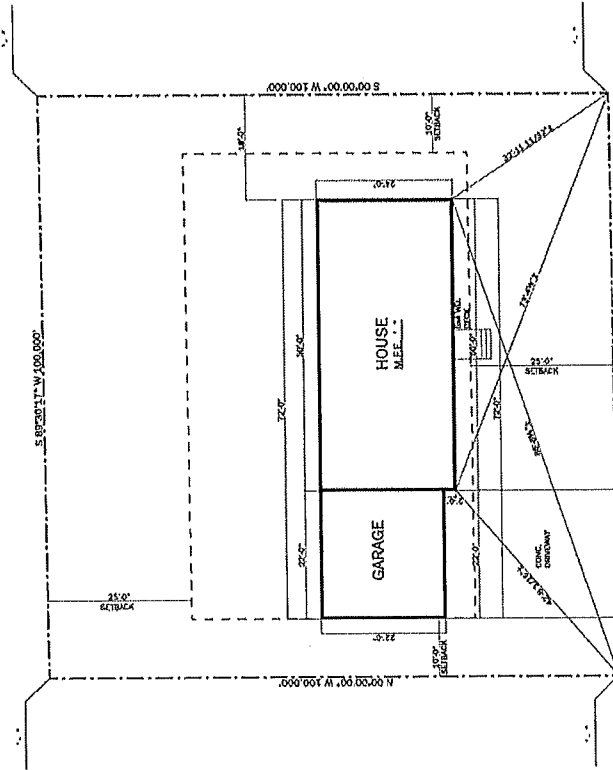
PLOT PLAN

FOR LOT 10
HERMOSA HILLS ADDITION
CLUSTER COUNTY
SOUTH DAKOTA
SCALE: 1" = 20'

WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE PLANS TO AVOID MISTAKES, THE DRAFTSMAN CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS AND BE RESPONSIBLE FOR THE SAME.

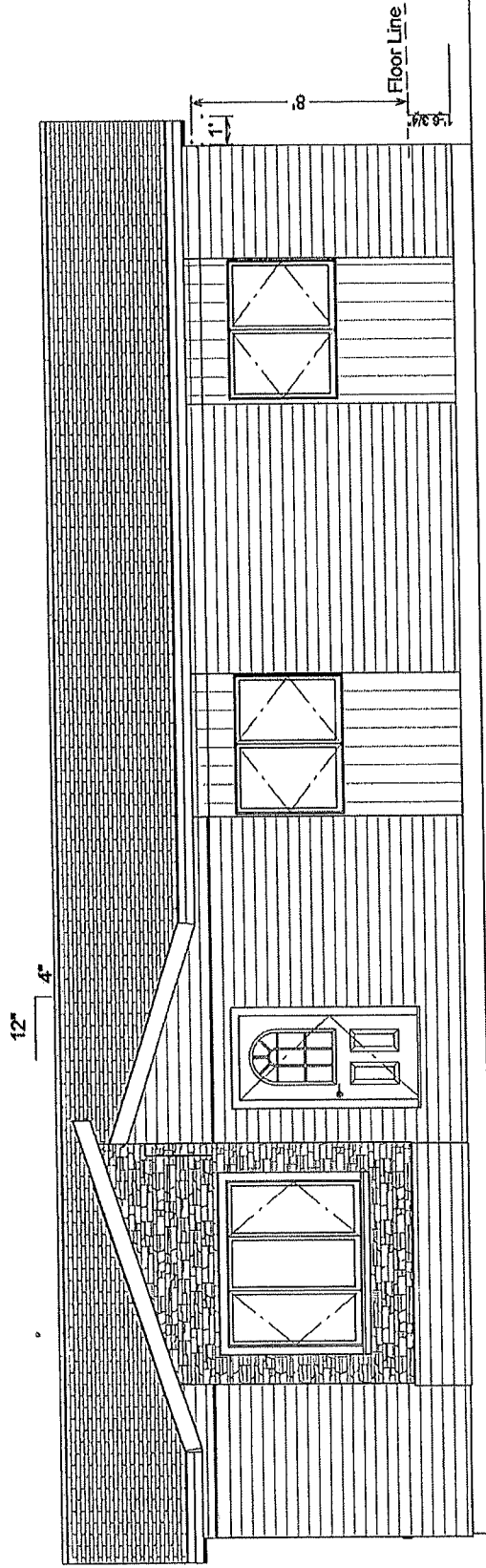
06/16/21

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MARIE STREET

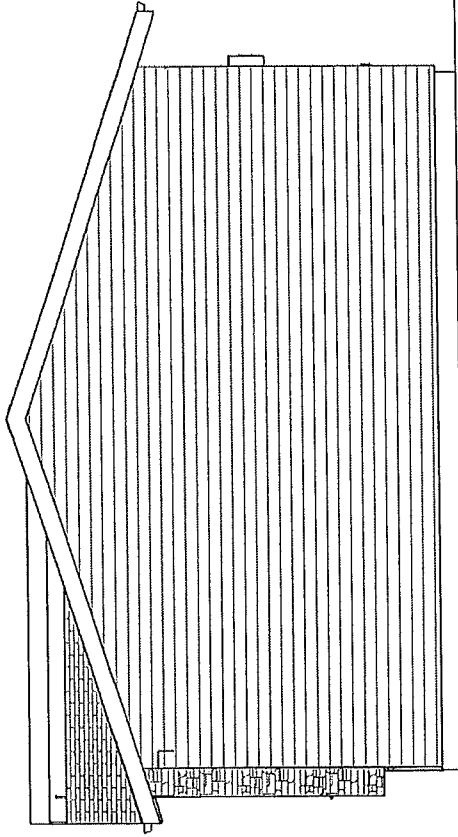
Handwritten: 1/14/21 M E E Land
6-21-2021



Front Elevation 1/4"=1'

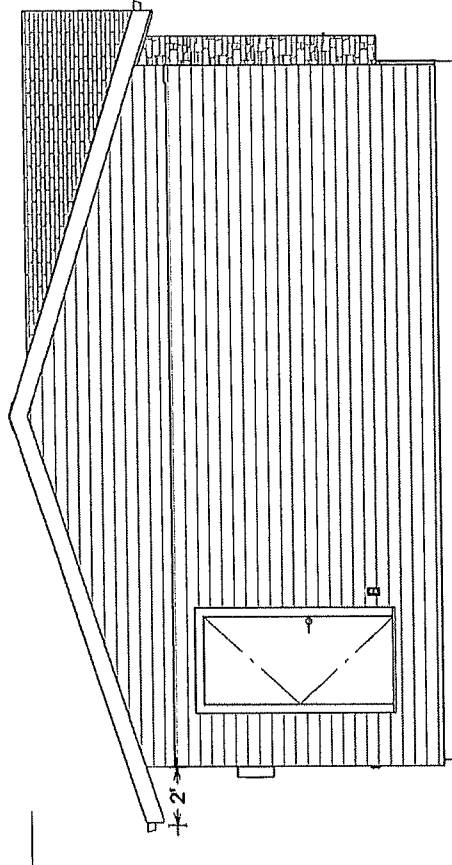
Governor's House 3-Bedroom
Door Left (reverse)

Door Schedule			
Type	Size	R.O. Size	Style
A	3'-0" x 6'-8"	38 1/2" x 82 1/2"	Ins. Steel w/ Lite
B	3'-0" x 6'-9"	38 1/2" x 82 1/2"	Ins. Steel
C	2'-0" x 6'-8"	26" x 82 1/2"	Wood Passage
D	3'-0" x 6'-8"	38 1/2" x 82 1/2"	Wood Passage
E	4'-0" x 6'-8"	50 1/2" x 82 1/2"	Wood Bifold
F	2'-6" x 6'-8"	32" x 82 1/2"	Wood Passage
G	5'-0" x 6'-9"	62 1/2" x 82 1/2"	Wood Bifold



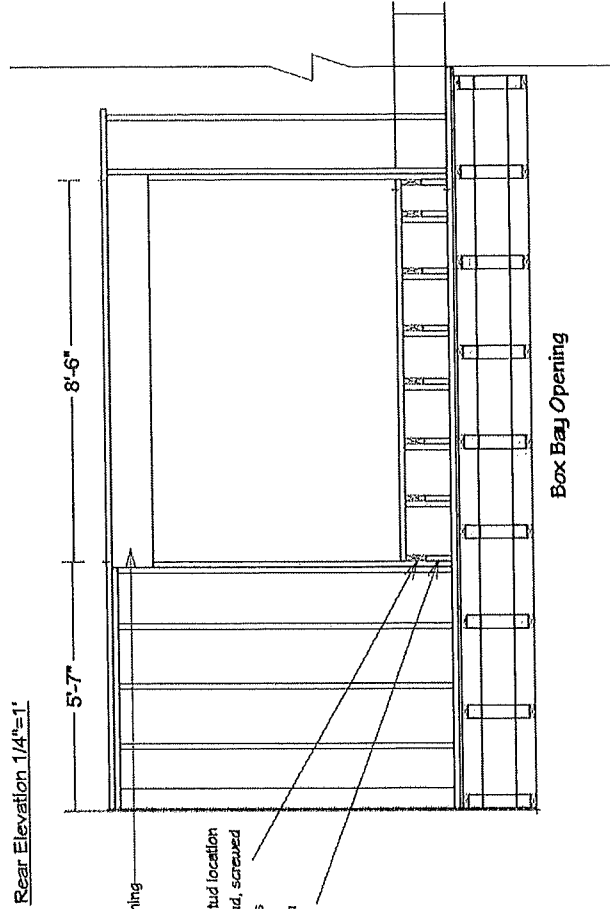
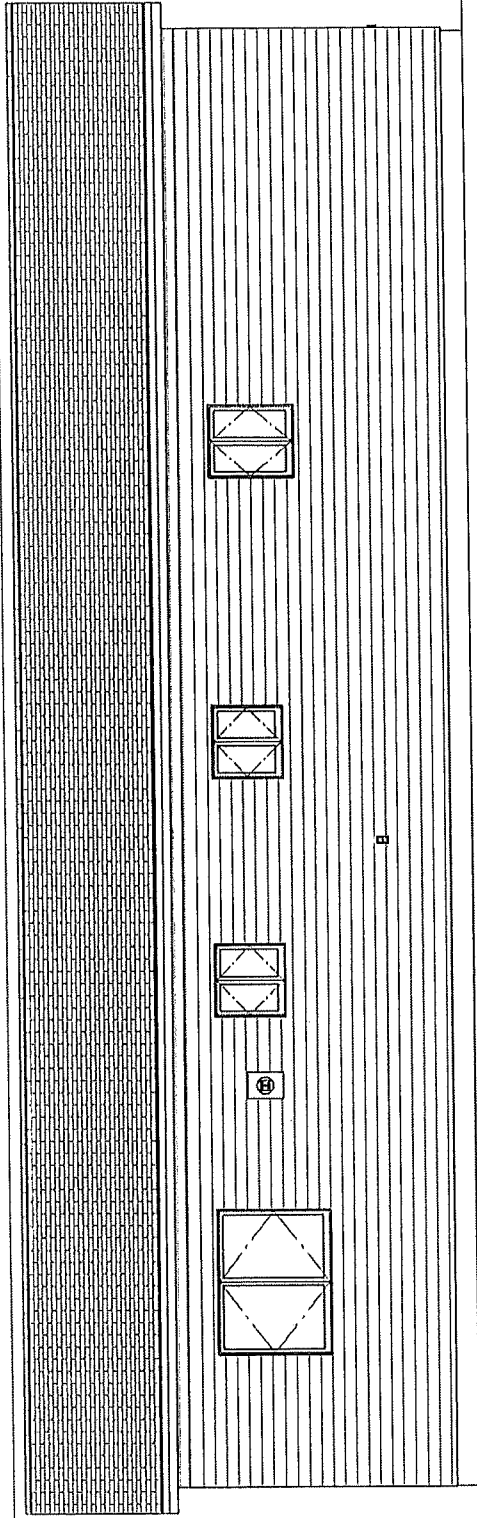
Right Elevation 1/4"=1'

Window Schedule		
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B	30" x 36"	Casement
C	30" x 30"	Casement
D	72" x 60"	Triple Casement



Left Elevation 1/4"=1'

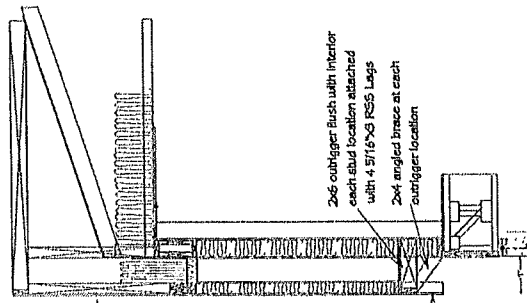
**Governor's House 3-Bedroom
Door Left (reverse)**



Dbl. 2x12 Header at opening

2x6 Outriggers at each stud location
Atbach flush to interior stud, screwed
with 4 - 5/16x8" RSS Lags

2x6 Blocking under each
outrigger con't to floor



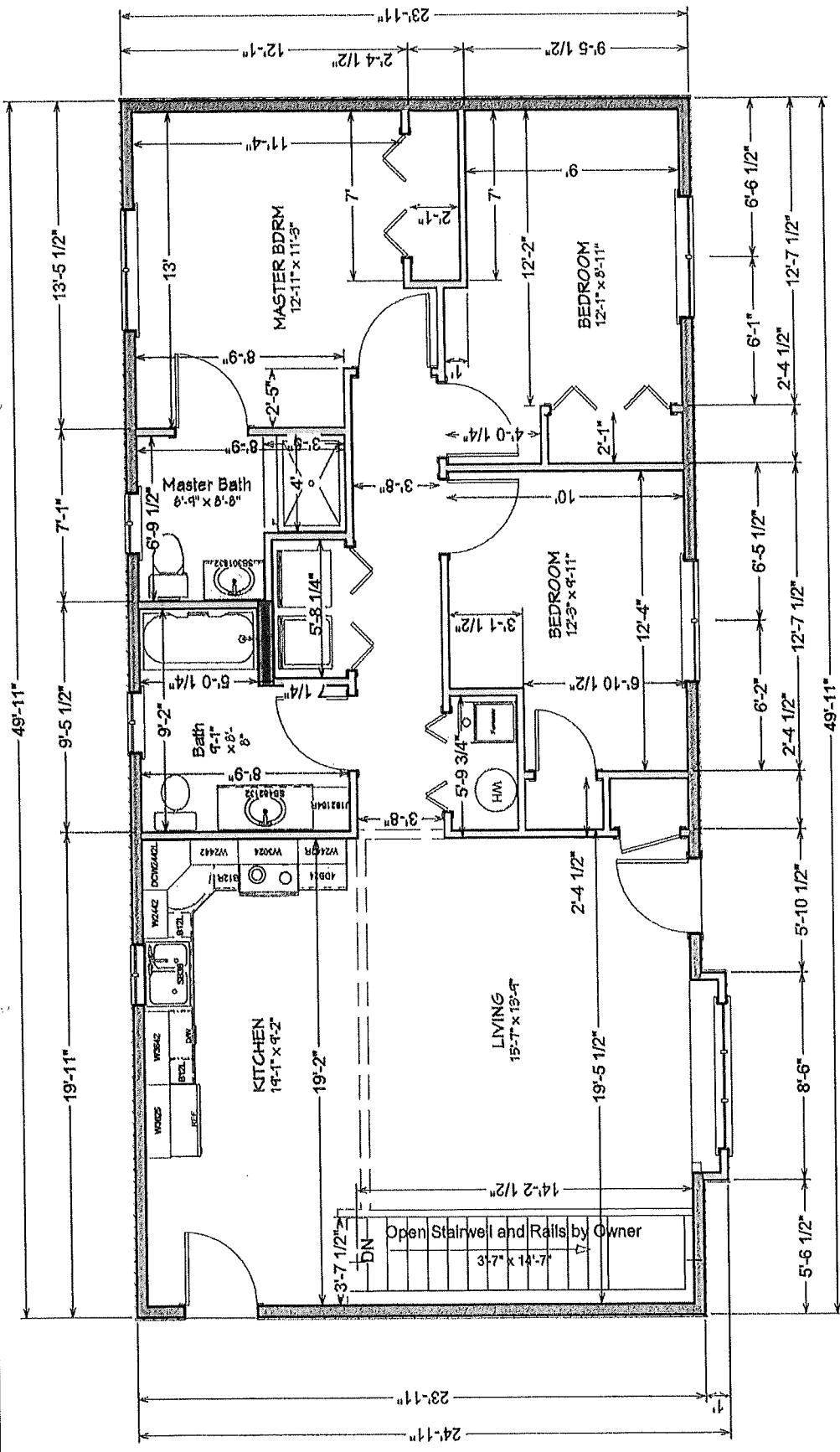
144" False Single Slope
Gable wall, Hand-Framed,
to match ceiling 18" O.H.

2x6 outrigger flush with interior
each stud location attached
with 4 5/16x8 RSS Lags

2x4 angled brace at each
outrigger location

2x6 Bay outrigger
R-21 F.O. Batts, entire
Solid Aluminum Soffit

Governor's House 3-Bedroom Door Left (reverse)



Dimensions are Framing Dimensions
Please verify surface dimensions
1/4" = 1'

**Governor's House 3-Bedroom
Door Left (reverse)**

Town of Hermosa

PO Box 298 * 230 Main St. Hermosa, SD

605-255-4291

Email: town@hermosasd.com

Pre-Inspection Form

To be retained in permanent file

Customer Name	Permit #	Date
Pulis Construction	2021-23	6.28-21


Site Address	Parcel #
840 umarie St. - Lot 10	015179

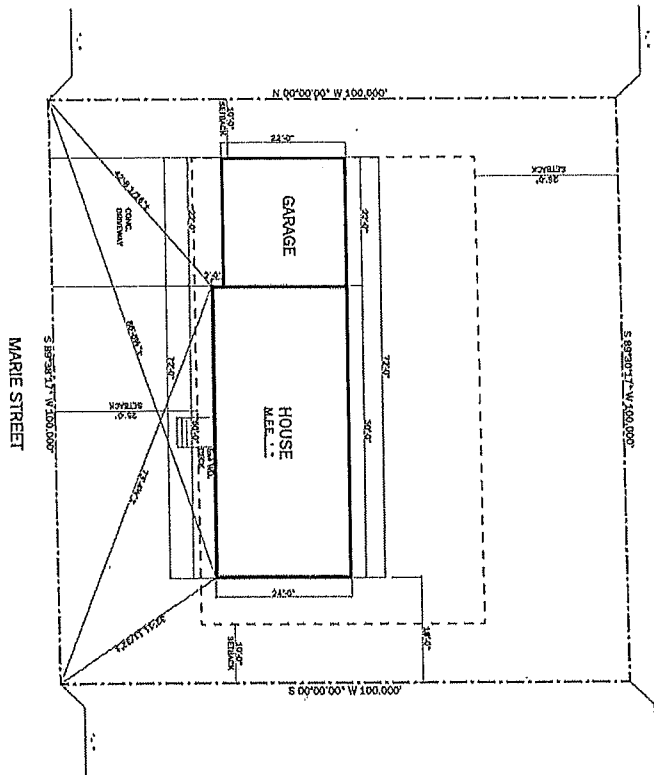
MUST MEET ALL PERMIT REQUIREMENTS

Inspection

1. Walked site yes
2. Lot measurement 100' X 100'
3. Lot usage Res (40%)
4. Suitability of lot for proposed construction OK
 - A. Fill needed NO
 - B. Excavation/Trenching needed yes
5. Utilities properly located on lot yes
6. Check for any easements yes
7. Check for Pins or Survey yes

Inspection Notes		
LOT 10	LOT 9	LOT 8 Gifford House

Inspectors Signature




*Make me a plan
6-21-2021*

PLOT PLAN

FOR LOT 10
HERMOSA HILLS ADDITION
CLUSTER COUNTY
SOUTH DAKOTA
SCALE: 1" = 20'

WHILE EVERY ATTEMPT HAS BEEN MADE
IN THE PREPARATION OF THESE PLANS TO
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06/16/21

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THE HOUSE BE PLACED ON THE LOT BY A REGISTERED LAND SURVEYOR

LOT-10

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermosasd.com

Extension 10F

DIGGING/GRADING PERMIT

DATE 5/18/2020

PERMIT # 2020-16

Receipt # _____	Cash _____	Check # _____	Amount <u>3500</u>
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All provisions of the Laws and Ordinances of the Town of Hermosa and the State of South Dakota governing the type of work being done and will be complied with, whether specified herein or not.

The granting of a permit does not presume to give authority to violate, cancel, or set aside any of the provisions of the building code, zoning ordinances, or any other local law or ordinance regulating construction or the performance of construction in the Town of Hermosa.

Sketch and/or describe work: (use separate sheet, or attach grading plan)

- Will grading operation be located in the floodplain? _____ Yes X No
- If yes, have ordinance requirements been met? _____ Yes _____ No
- Will drainage patterns be altered? _____ Yes X No
- Will grading operation take place in a geologically hazardous area? _____ Yes X No
- If yes, have proper precautions been taken? _____ Yes _____ No

Quantity of Grading or Excavation: _____ Cubic Yards Area to be disturbed by proposed work: _____ acres

Identify types of erosion control to be applied: _____

Source/Destination of materials: _____

Provide traffic control per Manual on Uniform Traffic Control Devices.

Hard route: _____

Buildings constructed on fill will be required to have foundations designated by a professional engineer, per SDCL 36-18 and the current building codes adopted by the Town of Hermosa.

A stormwater discharge permit from the South Dakota DENR (605-773-3351) may be required if the work under this application or the overall plan of development will result in the disturbance of over 1 acre of land.

Stormwater permit application attached? _____ Yes _____ No X N/A

This permit will expire one year from date of issuance.

The Finance Officer will be notified upon start of work and completion of work for inspection purposes (255-4291).

Name Leah & Tommy Gifford

Lot Address 820 Marie Dr

Mailing Address P.O. Box 437 Hermosa SD 57744

Email twentyfourkfan2008@hotmail.com

Legal Description Hermosa Hills Addition lot 8

Telephone # 605-381-6858 Cellphone # _____

Relationship to Property: X Owner _____ Contractor _____ Owners Representative

I certify that I have read and understand and agree to all terms and conditions set forth herein this entire document. I specifically understand that by signing this document I am agreeing to be jointly and severally responsible, personally, and for any and all work done under this permit.

Signature [Signature] Date 5/18/2020

Parcel # 15117
OFFICE USE ONLY

<p>PLANNING AND ZONING COMMISSION</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____</p> <p>TITLE: _____</p> <p>SIGNATURE: _____</p> <p>DATE: _____</p> <p>APPLICATION FEE: \$35.00 DATE PAID: _____</p>	<p>HERMOSA BOARD OF TRUSTEES</p> <p><input type="checkbox"/> Approved <input type="checkbox"/> Denied</p> <p>NAME: _____</p> <p>TITLE: _____</p> <p>SIGNATURE: _____</p> <p>DATE: _____</p> <p>DATE PERMIT ISSUED: _____</p>
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In accordance with Federal law and U.S. Department of Agriculture policy, this institution is prohibited from discriminating on the basis of race, color, national origin, age, disability, religion, sex, and familial status. (Not all prohibited bases apply to all programs.) To file a complaint of discrimination, write USDA, Director, Office of Civil Rights, 1400 Independence Avenue, S.W., Washington, D.C. 20250-9410 or call (800) 795-3272 (voice) or (202) 720-6382 (TDD).

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

Email: town@hermosasd.com

RESIDENTIAL BUILDING PERMIT APPLICATION

(This Building Permit is Valid for One Year – Please See Page 3 for Exceptions)

DATE 5/18/2020

PERMIT # 2020-16

Receipt # 595262 Cash 85⁰⁰ Check # _____ Amount 85⁰⁰

** PLEASE INCLUDE TO-SCALE DRAWINGS **

APPLICATION SUBMITTED BY:

Property Owner Name(s) Tommy + Leah Grifford

Mailing Address P.O. Box 437

City Hermosa State SD Zip 57744

Email twentyfourfan2008@hotmail.com

Phone # Home _____ Cell 605-381-6858 Work _____

Building address if different than mailing address: 820 Marie St, Hermosa SD 57744

LEGAL DESCRIPTION

Subdivision name: Hermosa Hills Lot # 8 Block 1 Lot Size 1/4 acre

Zoning District _____ Is this property in the Flood Plain? Yes _____ No X

CLASS OF WORK TO BE DONE

New structure X Demolition _____ Remodel _____ Addition _____

Residential: Single Family X Accessory _____ Multi-Family _____

Proposed Use Building: Single Family dwelling

Building Area (Sq. Ft.): _____ Height: _____ # of Units _____

No. of Stories: 1 No. of Bathrooms: 2 Deck: 2 Deck Area (Sq. Ft.): _____

SETBACK FROM LOT LINES:

FEET

CITY MINIMUM

Front 32 Feet

Applicable Zoning District
(20'/25')

Parcel #
15177
OFFICE USE ONLY

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744
Phone (605) 255-4291 • Fax (605) 255-4094
Email: town@hermosasd.com

Rear 11 feet (5'/8'/15')
Sides 11 foot westside 12 ft east side (8'/10'/25')

TYPE OF CONSTRUCTION

Wood _____ Concrete _____ Block _____ Brick _____ Modular _____ Other manufactured home

FOUNDATION

Thickness of Foundation _____ Thickness of footings _____ Width of Footings _____ Depth _____
Pier Foundation System: Diameter of pier _____ Spacing of pier _____

CONTRACTOR INFORMATION

Contractors must all be registered with the Town of Hermosa

General Contractor
(Project POC/responsible party): _____ Phone: _____

Structural Contractor: Ideman Homes/Shane Phone: 605-342-7100

Electrical Contractor: Mike Shorb/EMTEC electrical Phone: 605-431-6297

Plumbing Contractor: Jon Anderson/Plumbing Plus Phone: 605-390-1284

Heat/Mechanical Contractor: Josh Ebel/Ebelution Phone: 605-393-9804

Excavation Contractor: Jon Anderson / Plumbing Plus Phone: 605-390-1284

Are there any of the following on site: Hazardous materials Yes _____ No
Lead paint Yes _____ No
Asbestos Yes _____ No

Does the building have a Historical Designation: Yes _____ No

Current utilities on site: Gas _____ Water _____ Electricity _____ Municipal Sewer _____ Septic _____

Proposed utilities: Water, Electricity, Sewer

Describe Work: Dig water, electric, sewer lines, place manufactured home on lot site, build oversized garage & 2 decks, gravel driveway with walkway from drive to home.

TOTAL COST ESTIMATE OF IMPROVEMENTS: \$ 130,000

Town of Hermosa

PO Box 298 • 230 Main Street • Hermosa, SD 57744

Phone (605) 255-4291 • Fax (605) 255-4094

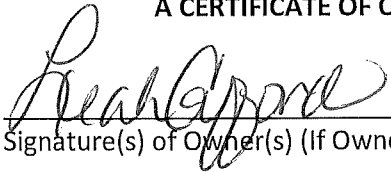
Email: town@hermosasd.com

Every permit issued by the Planning Department under the provisions of this code shall expire by limitation and become null and void if the building or the work authorized by such permit is commenced within 12 months from the date of such permit or if the building or work authorized by such permit is suspended or abandoned at any time after the work is commenced for a period of one year. If so, before such work can be re-started, an extension of the permit shall be first obtained to do so, and a service charge of \$35.00 shall be required, provided no changes have been made or will be made in the original plans and specifications for such work. Provided that such suspension or abandonment has not exceeded two (2) years.

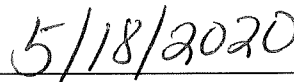
In filing this application, I hereby grant to the Hermosa Planning & Zoning commission, and the Hermosa Town Board, and their designee(s), permission to inspect any and all structures and land involved in my application for the purpose of ascertaining compliance with the ordinance of the Town of Hermosa and the State of South Dakota which permission shall continue so long as the application or an appeal there-on is pending. It is my responsibility to ensure the presence of the Town Maintenance Supervisor during water and sewer connections.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BEFORE OCCUPYING STRUCTURE.



Signature(s) of Owner(s) (If Owner Builder)



Date

Signature(s) of Contractor/Authorized Agent

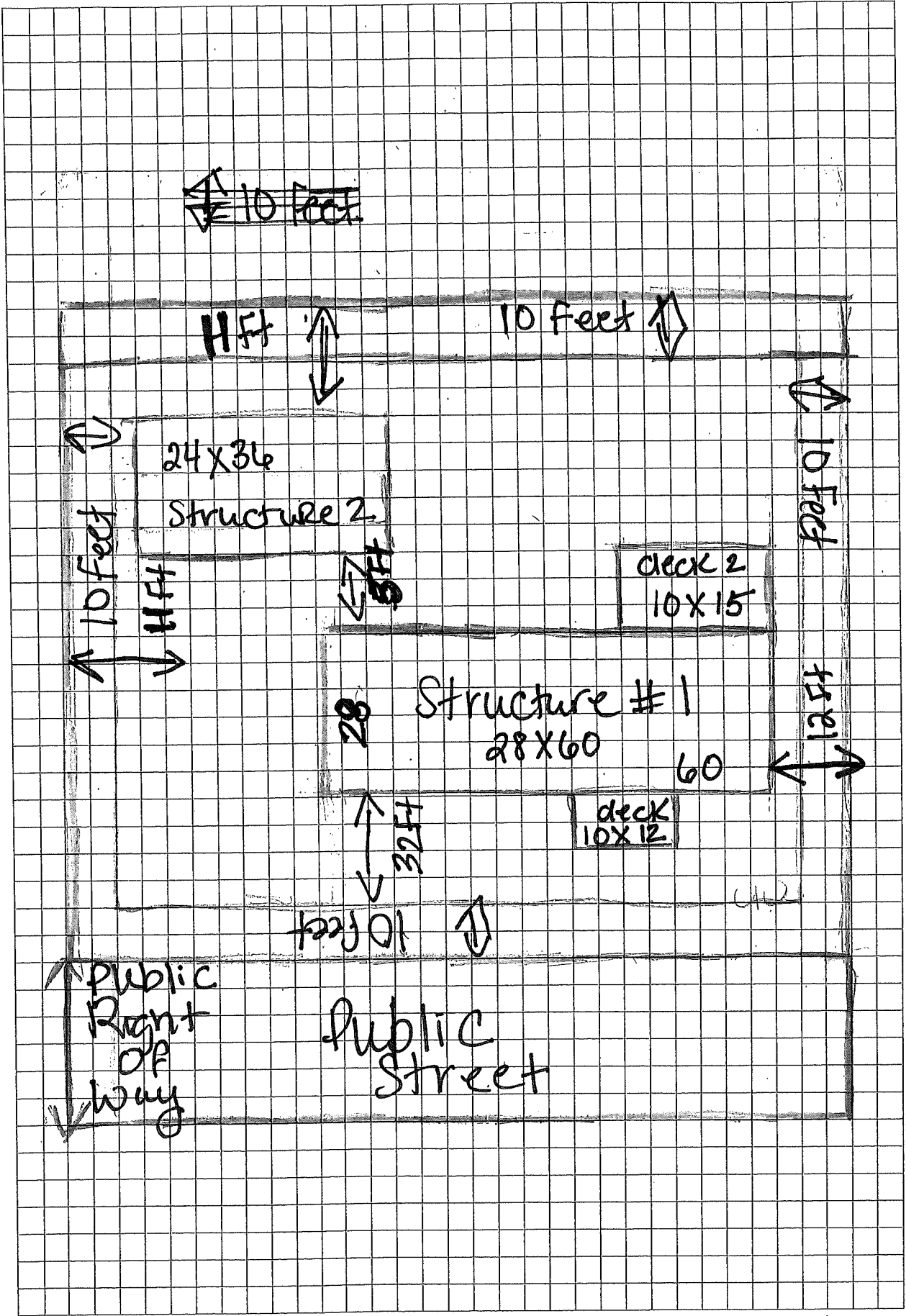
Date

ALL APPLICATIONS MUST BE APPROVED BY THE HERMOSA PLANNING AND ZONING COMMISSION AND THE HERMOSA BOARD OF TRUSTEES PRIOR TO COMMENCEMENT

PLANNING AND ZONING COMMISSION	HERMOSA BOARD OF TRUSTEES
<input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input type="checkbox"/> Approved <input type="checkbox"/> Denied
NAME: _____	NAME: _____
TITLE: _____	TITLE: _____
SIGNATURE: _____	SIGNATURE: _____
DATE: _____	DATE: _____
APPLICATION FEE: <u>\$50.00</u> DATE PAID: <u>5/18/20</u>	DATE PERMIT ISSUED: _____



00x
100
lot



Lot 100x100 10 Ft Setback
 Structure 1 Starts 32 Ft in from lot line
 5 Ft between Structure 1 and 2 — 11 Ft from West North lot line to Structure #2
 12 Ft from East line to Structure #1

11c

(B) The town has the right to require annexation to any new or current serviced area. All new services may be required to agree, in writing, to annex into the town limits when, and if, the property is within the legal proximity.

(Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015)

§ 50.23 RESPONSIBILITY FOR BREAKAGE OF LINES.

The town shall have authority to close the curb stop at any time a break in the service line appears to have occurred, and will reopen the curb stop when satisfied that no break exists or the break has been repaired.

(Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015)

§ 50.24 RATES AND CHARGES FOR SERVICES.

The Board of Trustees shall establish just and equitable rates by policy. Refer to the current water rate resolution, as outlined within the current fee schedule.

(Ord. 10R-2015, passed 2-2-2015)

§ 50.25 FEES; WATER FUND.

WATER

Any fees, regular charges, connection collections, etc., shall be deposited in the Water Fund.

(Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015)

§ 50.26 CONSTRUCTION STANDARDS.

All construction covered under this chapter shall comply with state codes, and laws, and shall comply with the *Town of Hermosa Standard Construction Specifications and Details*.

(Ord. 10, passed 6-20-2006; Ord. 10R-2015, passed 2-2-2015)

§ 50.27 REPAIRS OF CITY WATER MAINS AND SERVICE LINES.

(A) Any repairs performed to the city's water mains are the sole responsibility of the municipality with the exception of any damage incurred during the installation of any private service. In this situation the licensed contractor will be responsible to complete repairs to the line, per the current adopted Building Codes, and the supervision of the Public Works Department.

I goofed. We did not discuss the final rate for above 3000 gallon rate. Good News is fee structure is taken care of by Resolution (see copy of ordinances.)

§ 51.08 RATES AND CHARGES FOR SERVICES.

SEWER

Fees, charges, and rates for sewer services, connections, and tap fees may be changed per resolution by the Board of Trustees whose authority to do so is granted by the State of South Dakota SDCL § 9-48-26. The Board of Trustees shall establish just and equitable rates by policy. Refer to the current sewer rate resolution, as outlined within the current fee schedule.
(Ord. 15, passed 6-20-2006; Ord. 15.1, passed 8-18-2009; Ord. 15R-2015, passed 2-2-2015)

§ 51.09 FEES.

Any fees, regular charges, connection collections, etc., shall be deposited in the Sewer Fund.
(Ord. 15, passed 6-20-2006; Ord. 15R-2015, passed 2-2-2015)

§ 51.10 CONSTRUCTION STANDARDS.

All construction covered under this chapter shall comply with state codes, laws and shall comply with the *Town of Hermosa Standard Construction Specifications and Details*.
(Ord. 15, passed 6-20-2006; Ord. 15R-2015, passed 2-2-2015)

§ 51.11 REPAIRS OF CITY SEWER MAINS AND SERVICE LINES.

(A) Any repairs performed to the city's sewer mains are the sole responsibility of the municipality with the exception that any damage incurred during the installation of any private service. In this situation the licensed contractor will be responsible to complete repairs to the line per the current adopted Building Codes and the Public Works Department.

(B) Any repairs required to private service lines, starting from the property line to the structure will be the responsibility of the property owner, and from the property line to the main is the responsibility of the town. If during the repairs it is discovered that the damaged section is not up to current adopted codes the service will not be continued until the line from the main is replaced.
(Ord. 15R-2015, passed 2-2-2015)

RESOLUTION #2021-05 WATER RATE STRUCTURE

A RESOLUTION TO ESTABLISH WATER RATES AND CHARGES FOR THE MUNICIPALITY OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA.

BE IT RESOLVED by the Municipality of Hermosa, Custer County, South Dakota that the owners or occupants connected with the Hermosa Municipal Water System shall pay for water consumed at the following rates:

GALLONS	IN TOWN RESIDENTIAL	IN TOWN COMMERCIAL	N HERMOSA WATER USERS	OUT OF TOWN RESIDENTIAL	OUT OF TOWN COMMERCIAL
0-3000	\$31.00	\$55.00	\$46.00	\$65.00	\$80.00
3001-4000					
4001-5000					
5001-6000					
6001-7000					
7001-8000					
8001-9000					
9001-10000					
10001-11000					
11001-12000					
12001-13000					
13001-14000					
14001-15000					
15001-16000					
16001-17000					
17001-18000					
18001-19000					
19001-20000					

Each 1000 gallons thereafter shall be calculated at the rate of \$3.75 for in town residential users, \$3.75 for in town commercial users, \$7.00 for out-of-town residential users, and \$7.00 for out-of-town commercial users.

Dated this ____ day of _____, 2021

ATTEST:

TOWN OF HERMOSA

Gail Boddicker
Finance Officer

Dan Holsworth
Town Board President

Vote: Flug
Henrichsen
Holsworth
King
Schumack

First Reading: August 3, 2021

Published: August 11, 2021

Published once at the approximate cost of _____.

**RESOLUTION #2021-06
SEWER RATE STRUCTURE**

A RESOLUTION TO ESTABLISH THE SEWER RATES AND CHARGES FOR THE MUNICIPALITY OF HERMOSA, CUSTER COUNTY, SOUTH DAKOTA.

BE IT RESOLVED by the Municipality of Hermosa, Custer County, South Dakota that the owners or occupants connected with the Hermosa Municipal Sewer System shall pay for discharged sewer at the following rates:

HERMOSA SEWER RATES

GALLONS	IN TOWN RESIDENTIAL	IN TOWN COMMERCIAL	OUT OF TOWN RESIDENTIAL	OUT OF TOWN COMMERCIAL
0-3000	\$31.00	\$55.00	\$65.00	\$80.00
3001-4000				
4001-5000				
5001-6000				
6001-7000				
7001-8000				
8001-9000				
9001-10000				
10001-11000				
11001-12000				
12001-13000				
13001-14000				
14001-15000				
15001-16000				
16001-17000				
17001-18000				
18001-19000				
19001-20000				

Each 1000 gallons thereafter shall be calculated at the rate of \$1.25 for in town residential users, \$2.50 for in town commercial users, \$3.75 for out-of-town residential users, and \$4.50 for out-of-town commercial users.

Dated this _____ day of _____, 2021

ATTEST:

TOWN OF HERMOSA

Gail Boddicker
Finance Officer

Dan Holsworth
Town Board President

Vote: Flug
Henrichsen
Holsworth
King
Schumack

First Reading:

August 3, 2021

Published:

August 11, 2021

Published once at the approximate cost of _____.



FYI

July 8, 2021

Ms. Vicki Henrich - President
Town of Hermosa
P.O. Box 298
230 Main Street
Hermosa, SD 57744

RE: Public Notice

Facility Location (Site): Red Giant Oil Company, LLC
10 Big Red Road
Newcastle, WY 82701

Dear Ms. Henrich:

Trihydro is distributing the attached Public Notice on behalf of Red Giant Oil Company, LLC (RGO) for the above referenced site to maintain compliance with the Wyoming Department of Environmental Quality (WDEQ) permitting procedures. Please see the attached Public Notice for the permit renewal for the waste processing facility. This letter was sent to you because your city is located within a 50-mile radius of the facility. If you have any questions, please contact me by telephone at (307) 745-7474.

Sincerely,

A handwritten signature in black ink that reads "David J. Mamrose".

David J. Mamrose
Senior Engineer

69W-001-003

Attachment

cc: Robert Edwards – RGO
Roger Davis – RGO

PUBLIC NOTICE

In accordance with the provisions of the Wyoming Environmental Quality Act and Chapter 1 of the Solid Waste Rules and Regulations, the Red Giant Oil Company LLC has submitted a renewal permit application for the Red Giant Oil Newcastle Facility.

This facility provides for the transfer, treatment, storage of used oil, used antifreeze, slop diesel, and process water which have been generated within Wyoming, Idaho, Nebraska, Montana, South Dakota and Northern Colorado. The 8.8-acre facility is located approximately 2.5 miles southwest of the Town of Newcastle on Highway 16. More specifically, this facility is located in a portion of the SE ¼ of Section 2 and the NW ¼ SW ¼ of Section 1, T44N, R61W, in Weston County, Wyoming. The volumetric capacity of this facility is comprised of 30 yards of petroleum contaminated soil, 371,620 gallons of used oil, 8,000 gallons of used anti-freeze, 98,500 gallons of slop diesel and 19,800 gallons process water totaling 497,920 gallons and 30 cubic yards. The life of the facility is estimated to be indefinite.

The Department of Environmental Quality, Solid and Hazardous Waste Division (DEQ) has issued a proposed permit for this facility. Copies of the application and the proposed permit can be viewed at DEQ's Casper office, at the Weston County public library (23 W. Main St., Newcastle, WY 82701) and the Weston County Clerk's Office (1 W. Main St, Newcastle, WY 82701).

Any interested person has the right to file written comments, including objections on the proposed permit. The period for providing comments on the proposed permit shall begin on **July 15, 2021** and end on **August 23, 2021**. Any written comments must be received by 5:00 PM on the last day of the notice period. Comments must be submitted in writing to the Department of Environmental Quality, Todd Parfitt, Director, 200 West 17th Street, Cheyenne, WY 82002 or submitted using the DEQ comment portal provided at <https://shw.wyomingdeq.commentinput.com/>.

In accordance with the Americans with Disabilities Act, special assistance or alternative formats will be made available upon request for individuals with disabilities.

Para español, visite deq.wyoming.gov.